

APPLICATION FOR BUILDING PERMIT

Wanganui City Council

H116829

THE CITY ENGINEER,

Date: 21/6/97

DEAR SIR,

I hereby apply for a Building Permit to erect/demolish

11/Line Garage

according to locality plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate at:

Street: 19 Taimu St Val. No.: 1310/127
Lot: 32 D.P. 21942 Section: Block:

Owner Name: Mr B Hamlen
Address: 19 Taimu St
Builder Name: J D Ken
Address: R.D 4 Westmere

NATURE OF PERMIT (Tick box)

New building including separate buildings added to existing complex ☒ Repairs, alterations or extensions to an existing building ☐ Conversion ☐ Demolition ☐

DESCRIPTION OF BUILDING OR STRUCTURE AND MAIN PURPOSE FOR WHICH IT WILL BE USED:

GARAGE

ESTIMATED VALUE:

Building \$ 1135 - 00
Plumbing & Drainage \$
TOTAL \$ 1135 - 00

If valued at more than \$20,000 state:
Estimated commencement date: Mth. 19
Estimated completion date: Mth. 19
Building registration No. 32-4 2

Building Fee \$ 6-00 Rec. 07/20
Plumbing & Drainage Fee \$ Rec.
Water Connection \$ PWR
Drain Connection \$ PWR
Stormwater Connections \$ PWR
Crossing Fee Exist \$ PWR
Footpath Damage Deposit \$ Rec.
TOTAL CITY COUNCIL FEES \$ 6-00
Building Research Levy \$ Rec.

Signature: J D Ken

TOTAL \$ 6-00

INFORMATION REQUIRED BY DEPARTMENT OF STATISTICS

A. TYPE OF BUILDING OR STRUCTURE—

(a) Newly built, altered, repaired, extended, or demolished

Type Code
(See back of form for instructions)

04

(b) Converted—

Type Code from to Type Code

B. DWELLING UNITS GAINED OR LOST—

Number Gained Lost Number

C. IS BUILDING TO BE RENTED OR LEASED?

(Tick appropriate box)

Yes No

D. SCOPE OF PERMIT—(Tick box)

Complete building including foundations ☒ Foundations only ☐ Building only, foundations covered by previous permit ☐

1310/127

19. TAINWU ST

LOT 32 D.P. 21942

B. J. HAMLEY

WANGANUI CITY COUNCIL
CITY ENGINEER'S DEPARTMENT

APPROVAL FOR ISSUE OF BUILDING PERMIT

Date of Application: 22/06/77
Application for: GARAGE
Owner: B. HAMLEY
Builder: T. D. KEAR

Lot No. 32 D.P. 21942 Sec: _____
Locality: 19 TAINUI ST

Plumber: _____
BUILDING INSPECTOR

	Not Applicable	Satisfactory Provision Made	Date	Amount of Fee Where Applicable
1. Values on Application:			23/06	
2. Builder's Footway Deposit:				
3. Material of Construction:				
4. Ground levels and foundations:				
5. Requirements for Public Bldgs, Factories etc.				
6. Description of use of Building on Application:				
7. General Construction - Dwg etc.				
8. Chimneys, Heating appliances flues:				
9. Means of Egress Code:				
10. Temporary Hoardings on footpath:				
11. Crossing Fee:				
APPROVED BUILDING INSPECTOR:	24/6/77		23/6/77	
HEALTH INSPECTOR				
12. Plumbing & Drainage requirements and fees:				
13. Stormwater drainage requirements:				
14. Water connection requirements and fees:				
15. Health & Food Acts & Regs. etc.				
16. Storage of Dangerous Goods, fuel, oil, etc.				
17. General requirements:				
18. Value on application, drainage:				
APPROVED SANITARY INSPECTOR:				
DRAINAGE ENGINEER				
19. Sewer connection requirements & Fee				
20. Stormwater connection requirements & Fee				
APPROVED DRAINAGE INSPECTOR:				
WATER ENGINEER				
21. Water connection requirement & Fees				
DESIGNING ENGINEER				
22. Structural calculations:				
APPROVED DESIGNING ENGINEER				
TOWN PLANNING			22/06	
23. Zoning, coverage, siting, height:				
24. Proposed roads & service lanes:			23/6	
25. Road widenings & B.L. restrict.				
26. Vehicles; loading, parking, crossings:				WPR.
27. General requirements (easements etc)				
APPROVED TOWN PLANNER:				

Permit may be issued subject to the following conditions:

BUILDING PERMIT CHECK LIST

TYPE OF BUILDING		Garage			RESERVES		
PROPERTY REFERENCE		19 Tainui St.					
NET SITE AREA	709m ²	OPERATIVE SCHEME			REVIEWED SCHEME		
ZONING		Res A			R1		
NO.	O.K. REQUIREMENTS	REQUIRED	PROVIDED	O.K.	REQUIRED	PROVIDED	O.K.
1	COVERAGE (Open Space Storage Area Service Area F.A.R. etc)	35%	23%	✓	30%	23%	✓
2	DENSITY			NA	1:120m ² 5		NA
3	FRONT YARDS			NA			NA
4	SIDE YARDS	5'	3'	✓	1.26	0.9	✓
5	REAR YARD	25'	5'	✓	1.32	1.8	✓
6	HEIGHT	35'	8'	✓	4.5m	2.4m	✓
7	VIEW PROTECTION PLANE			NA			NA
8	SUNLIGHT PROTECTION PLANE			NA			NA
9	CAR SPACES			NA			NA
10	VEHICULAR ACCESS			✓			✓
11	LOADING			✓			✓
12	TREES HISTORIC PLACES			✓			✓
13	PROPOSED ROAD			✓			✓
14	PROPOSED SERVICE LANE			NA			NA
15	ROAD WIDENING : B.L.R: EASEMENTS			NA			NA

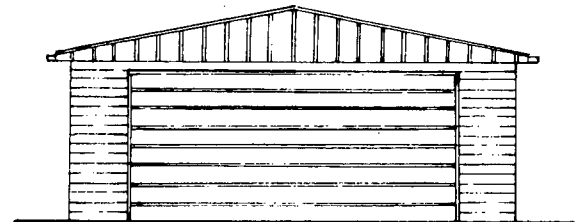
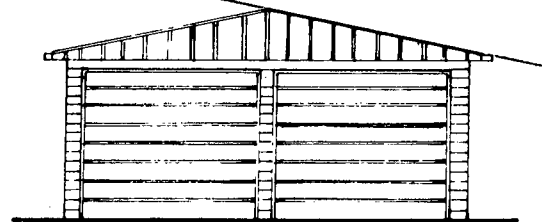
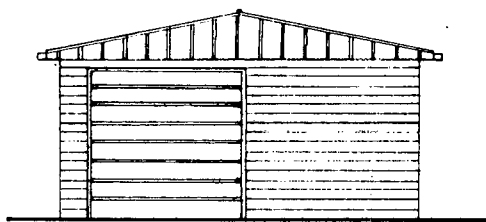
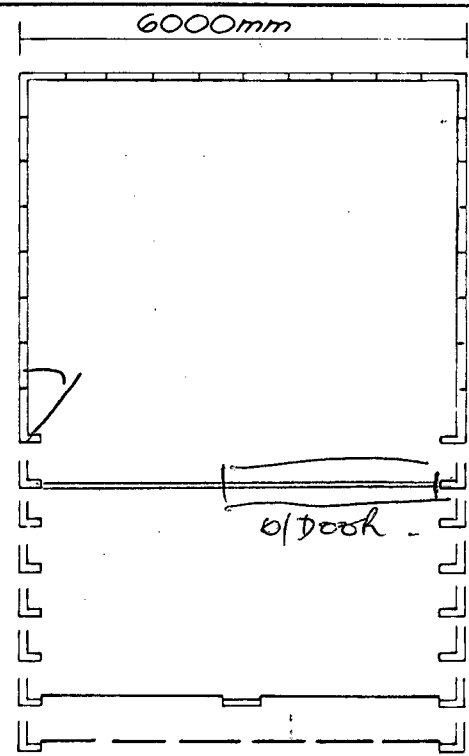
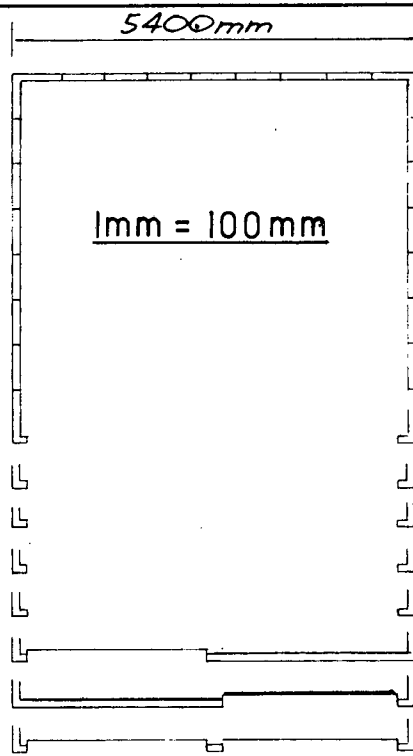
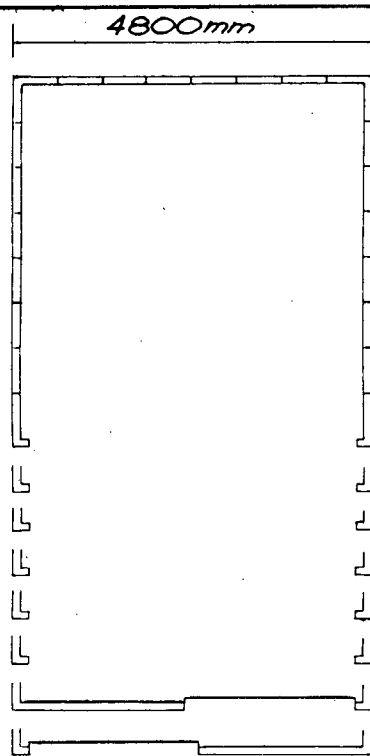
OPERATIVE SCHEME : Dispensation required in respect of nos. 7, 8, 9, 10, 11, 12, 13, 14, 15

REVIEWED SCHEME : Special application required in respect of nos. —

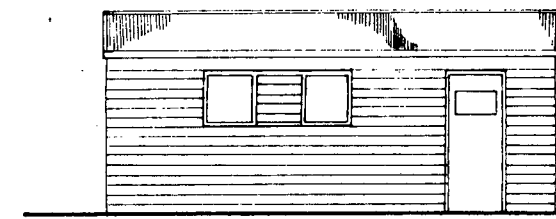
DESIGN SUB - COMMITTEE APPROVAL REQUIRED

YES ☐

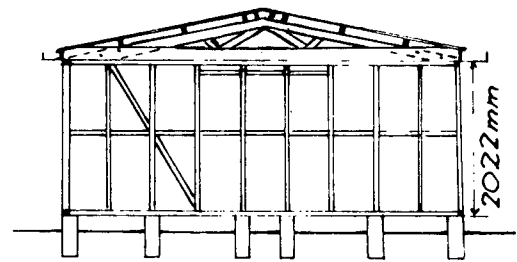
NO ☒



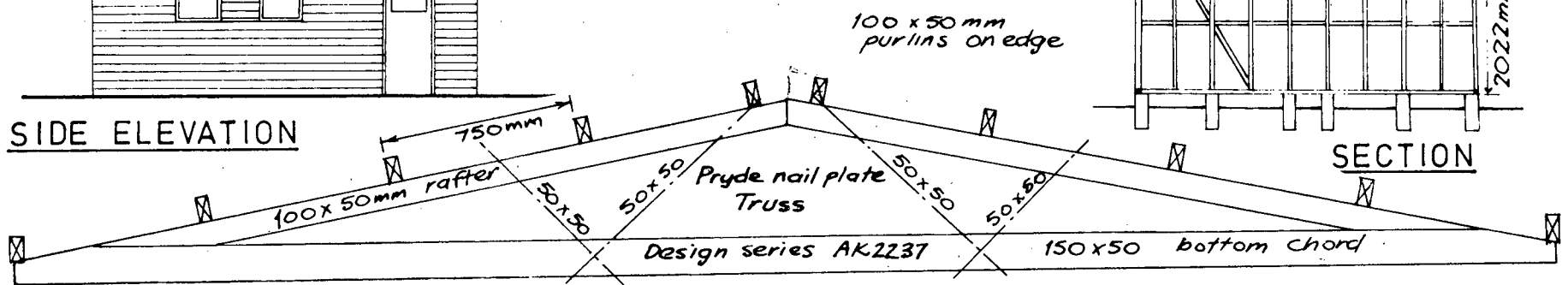
ELEVATION



SIDE ELEVATION



SECTION



SCALE 1m = 25m

Detail of 6000mm span truss

Trusses for 5400mm & 4800mm are similar but reduced to suit and have stiffeners of 50x50mm in lieu of 75x50mm. When 4500mm doors are fitted in double garages, the gable end is formed with a similar truss and completely metal lined.

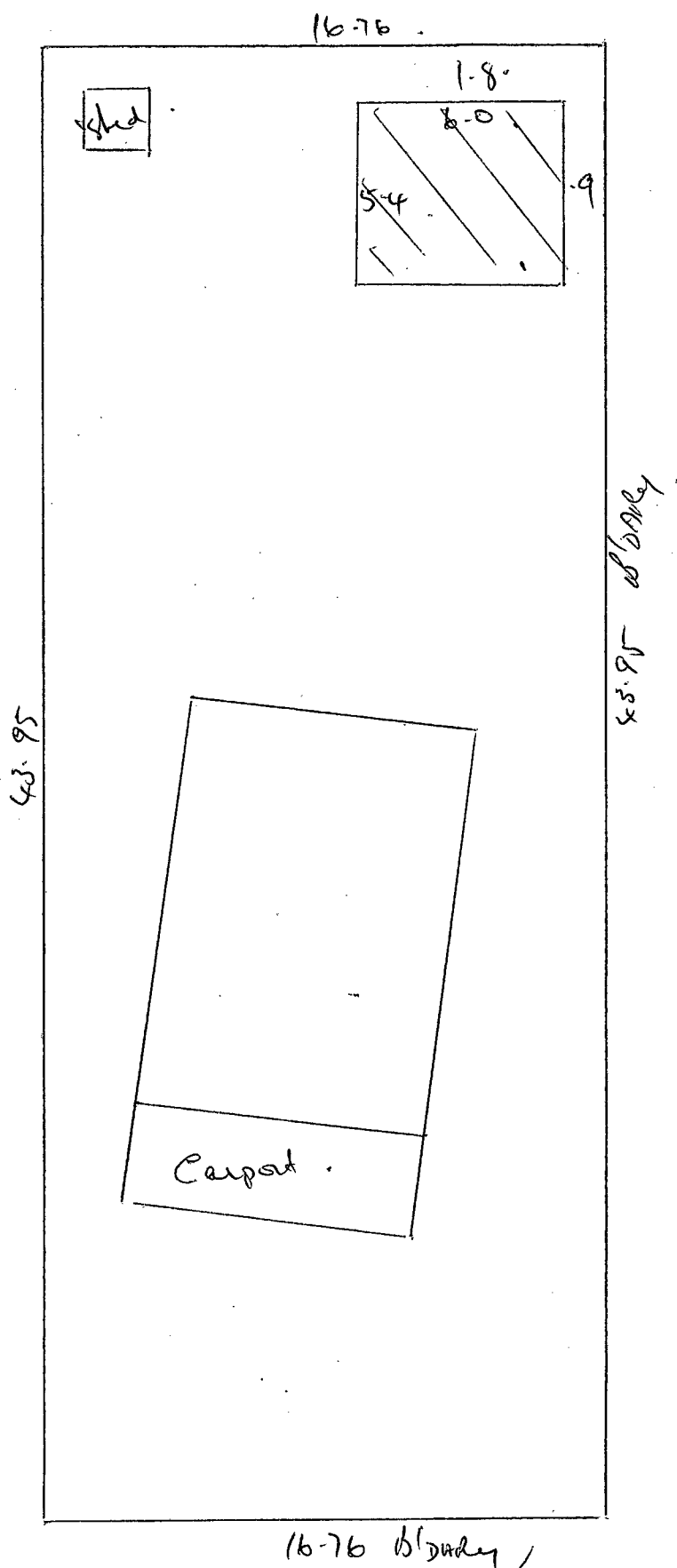
- SPECIFICATIONS:
- Foundations : ~~200x150mm concrete piles at 1200mm & 600mm centres under studs or continuous concrete dwarf walls or complete floors.~~ *in as per*
 - Dampcourse : 2 ply d.p.c. under all plates.
 - Framing : All timber is boron treated machine gauged radiata.
All framing is housed i.e. studs checked into plates & nogs checked into studs.
Studs at 600mm centres top and bottom plates and nogs - 100 x 50mm.
 - Wall Braces : 75 x 50 mm cut on edge
 - Door Beams : Minimum 150 x 50 mm with minimum of 13mm check in at each end
 - Roof trusses and purlins as per detail drawing placed over studs at 1800mm and 2400mm centres to suit.
 - Dragon ties : 75 x 50 mm at 45° over top plate to each corner.

Roofing : 26g. galv. corr. iron single sheets. Ridging : 26g. galv. lead edged. Walls : 26g. galv. metal weatherboards.
Spouting : 24g. galv. iron gutters fixed ea. side. Downpipes : 75 x 50mm galv. iron Doors : 24g. or 26g. metal doors on overhead gear or galv. roller doors.

GARAGE, SHED at 15 Tairua St for Mr. Hamilton

SKYLINE GARAGES

manufactured by Skyline Buildings Ltd,
64 A Wall's Rd, Penrose, Auckland. Ph. 598.821



TAIRUA STREET

SITE PLAN 1mm = 200mm.

VALUATION ROLL No.

1310/127 071/13

LEGAL DESCRIPTION

LOT 32 D.P. 21942

1189

19 TAINUI ST.

DRAINAGE & PLUMBING PERMITS

BUILDING PERMITS

Existing Use

DWELLING

Designation

Zoning

Residential A

Undersize Section

Building Line Restriction

Proposed Street

Proposed Service Lane

Proposed Access Way

Conditional Use

File:

Specified Departure

File:

Dispensations

Reference

Date

Permit No.

Date

Permit No.

Date

Nature of Work

1322

14.5.74

F84645

17.5.74

DWELLING

G38634

13.6.75

SHED

H116829

28.6.77

GARAGE

B 007055

17.8.83

ENCLOSE PORCH

B056030

26/10/83

Extn. garage

Dangerous
Goods Licence

Fill Points

Housing File No.

Underground Tank

Type

Capacity
gals

Water Connection

Reg. No.

Amt. Paid.

Water Meter

Water Bore

Drainage Connection

Reg. No.

Amt. Pd.

Pool

Filtered

Unfiltered

Back Flow
PreventerStormwater
Connection

Reg. No.

Amt. Pd.

Heating

Gas

Oil-fired

Coal-
Wood

Electric

Other

Kerb Crossing

Reg. No.

Amt. Pd.

35807

\$22

Processed 10/2/94

Subdivision Conditions	Yes	_____	Easements	See above	_____
	No			None	

SCALE: