

# TAURANGA CITY COUNCIL

No 11351

## PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

Mr M.W. Kovenidge Plumber

Address 101 Sutherland Rd.

Drainlayer

Tauranga

PLAN No. 8064

RECEIPT No. 4653

APPLICATION No. 13469

BUILDING PERMIT No. 10573

RATING AREA No. \_\_\_\_\_

IS HEREBY AUTHORISED TO CARRY OUT WORK DESCRIBED HEREIN AS SET FORTH IN THE PLANS DEPOSITED WITH ME IN THE PREMISES.

OWNED BY: G.T. Rankin

OCCUPIED BY: \_\_\_\_\_

AND SITUATED IN HOUSE No.: 10 Anchorage Grove

Street  
Road  
Avenue

DESCRIBED AS LOT No.: 14 D.P. 5476

### SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT:

	W.C.'s	BATHS	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOSE TAPS	Hot & Cold WATER SERVICES
INSTALL										
RENEW										
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

### SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT:

Construct new drain together with septic tank and effluent disposal system.

~~Construct new drain and connect to sewer or other approved outfall.~~

~~Extend drain.~~

~~Repair drain.~~

\* Cross out whichever is not applicable.

Estimated Cost of Plumbing ..... \$  
Estimated Cost of Drainage ..... \$ 150  
Total \$ 150-00

FEES — Plumbing ..... \$  
Drainage ..... \$ 3-00  
Total \$ 3-00

The work is to be carried out in strict accordance with the Drainage and Plumbing Regulations 1959 and shall be completed on or before the \_\_\_\_\_ day of \_\_\_\_\_ 19\_\_\_\_

Mal Jones  
for CITY ENGINEER

Date: 1/2/72

Date Completed 23-3-72

Date Work Commenced \_\_\_\_\_

REMARKS: Noted ok by owner

NOTE: Before commencing work, and on completion, please notify the Inspector.

No work to be covered up or enclosed until approved.

# TAURANGA CITY COUNCIL

No 11300

## PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

Mr R. J. Morris Plumber

Address 15 Landscape Rd Drainlayer

Tauranga

PLAN No. 8064  
RECEIPT No. 4663  
APPLICATION No. 13469  
BUILDING PERMIT No. 10573  
RATING AREA No. —

IS HEREBY AUTHORISED TO CARRY OUT WORK DESCRIBED HEREIN AS SET FORTH IN THE PLANS DEPOSITED WITH ME IN THE PREMISES:—

OWNED BY: G. T. Ruckin

OCCUPIED BY: "

AND SITUATED IN HOUSE No.: 10 Anchorage Grove Street

DESCRIBED AS LOT No.: 14 D.P. 5476 Road Avenue

### SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT:

	W.C.'s	BATHS	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOSE TAPS	Hot & Cold WATER SERVICES
INSTALL	<u>2</u>	<u>1</u>	<u>2</u>	<u>2</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>showers</u>	<u>2</u>	<u>1 Hr.</u>
RENEW					<u>BLE.</u>					
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

### SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT:

Construct new drain together with septic tank and effluent disposal system.

Construct new drain and connect to sewer or other approved outfall.

Extend drain.

Repair drain.

\* Cross out whichever is not applicable.

Estimated Cost of Plumbing	\$ <u>850</u>	FEES — Plumbing	\$ <u>12-00</u>
Estimated Cost of Drainage	\$	Drainage	\$
Total	\$ <u>850-00</u>	Total	\$ <u>12-00.</u>

The work is to be carried out in strict accordance with the Drainage and Plumbing Regulations 1959 and shall be completed on or before the ..... day of ..... 19.....

Walton  
for CITY ENGINEER  
28/1/72

Date: .....

Date Completed .....

Date Work Commenced .....

REMARKS: .....

NOTE: Before commencing work, and on completion, please notify the Inspector.

No work to be covered up or enclosed until approved.



## Permit No 10573

File 8064

Application No. 1349

Date 1/2/73

In pursuance of your Application for Permit to erect dwelling, permission is hereby granted you to carry out the work, as proposed in your application, and in accordance with the plans, particulars and other documents submitted to me, such work to be subject at any time during progress to my inspection, and to be carried out in strict conformity with all requirements of the Building By-laws of the Tauranga City Council, and all other By-laws of the City for the time being in force and of all Acts of Parliament and regulations respectively affecting such work.

Fee \$33.00 Rec. No. 4663

Valuation Roll No. 663/125/10

Lot No. 14 D.P. No. 3470

Area 1.00 ac. 1.00 rd. 0.5 p.

Floor Area ..... 1335 Sq. Ft.

for City Engineer

## CERTIFICATE OF COMPLETION OF WORK

I hereby certify that I have carried out the following inspections of the building work covered by this permit and that the work has now been satisfactorily completed.

No. of Units	W.C.'s	Urinals	Baths	Refuse	
INSPECTION DATE	STAGE REACHED WITH WORK				REMARKS
1/5/72	Framing				Laps floor joists
6/7/72	Roof g/ raft & ronal				1 <sup>st</sup> floor small panel has 3/8" l.o.s. may grouted timber, as usual
11/12/72	Part linings				Chimney to have 1" clear
25/1/73	(closed in) Floor layers.				Seal Metal windows at sill cracked vent in Brickwork.
2/3/73	Paints				Seal Fibrolight & Brickwork Packing at R.S.T. & turn down
19/4/73	Interior completed living in				East door at Basement needs Pinning also ✓
11-6-73	Outside Verandah in progress				rusticated weather lds.
	complete.				
	Building Inspector J. K. Ginnest				Date 11-6-73

Date 11-6-73



## SPECIFICATION

Of the work to be done and the materials to be used in the erection and completion of:

Proposed.....RESIDENCE  
at.....MANUKATTARA - LOT 14 ANCHORAGE GROVE  
for.....G.T. RANKIN.....

### PRELIMINARY AND GENERAL.

#### 1. GENERAL.

The contract is to construct, completely finish, and maintain for a period of three months the various works described or indicated in the plans, specifications, and related documents and in accordance with the conditions of contract. The Contractor shall be deemed to have informed himself and his sub-contractors of every circumstance connected with the Works, and the Contractor must allow in his tender for every contingency that may arise. Except as expressly provided otherwise, the contract price tendered shall be deemed to be all-inclusive and shall not be subject to adjustment.

#### 2. INSURANCE.

The Contractor shall at all time during the continuance of the Contract, effect and sustain at his own cost with an approved insurance corporation, an accident insurance policy, and a fire insurance policy, the latter for the full amount of the contract price. The Contractor is to insure himself and indemnify the Owner against any liability, loss, claim or proceedings in respect of any injury or damage arising out of, or in the course of, or by any reason of the execution of the works, and provided always that the same is due to any negligence, omission or default of the Contractor, his agents, or of any sub-contractor, or to any circumstances within the Contractor's control.

#### 3. DOCUMENTS.

The Contractor and his sub-contractors shall be deemed to have familiarized themselves with all the documents comprising the contract, including any amendments thereto. Such documents shall be regarded as mutually explanatory, but special attention is drawn to Provisional and P.C. Sums and other matters relating to this particular contract which are set out in the Notice to Contractors.

#### 4. INDEX OF TRADE SECTIONS.

The work of each trade has been classified in sections as under for convenient reference, but the onus is on all trade to make themselves conversant with all or any clauses elsewhere in the Specification (or other contract documents) that may effect their work.

<u>Trade</u>	<u>Page</u>
Excavator. . . . .	
Concretor. . . . .	
Bricklayer. . . . .	
Concrete Block Layer. . . . .	
Solid Plasterer. . . . .	
Carpenter and Joiner. . . . .	
Hardware. . . . .	
Roofer. . . . .	
Plumber. . . . .	
Drainlayer. . . . .	
Electrician. . . . .	
Fibrous Plasterer. . . . .	
Painter & Paperhanger. . . . .	
Glazier. . . . .	



5. TRADE-NAMES.

Where any article or material is referred to by a tradename, this shall be deemed to mean the type of article or material so mentioned of any other type approved by the Supervisor as equal thereto in price, quality, finish, and durability and equally serviceable for the purpose intended.

6. PROVIDE AND FIX.

The words 'provide' or 'fix' if used separately shall be deemed to mean 'provide and fix' unless expressly stated otherwise.

7. CLEARING UP.

In respect of every unit, the Contractor shall, at regular periods during construction and particularly prior to floors being laid, remove all broken tiles, wood, shavings, and other combustible material. At completion sweep all floors, clean all sanitary fittings, remove all paint and putty marks, replace all cracked and broken glass, and execute any other work either inside or outside or in the vicinity of the unit that in the opinion of the Supervisor is necessary or desirable to render it fit for immediate occupation.

8. VEHICULAR CROSSINGS.

The Contractor shall supply, fix and maintain such vehicular crossings as are necessary for the protection from damage of all kerbs, channels, footpaths, berms, and public utility services over which vehicles in any way connected with or supplying materials for the contract are required to or are likely to pass.

9. CERTIFICATES.

The Contractor shall produce from the appropriate local body a certificate of satisfactory performance in respect of drainage and gas installations erected under the contract; and notwithstanding the provisions of Clause 31 of the General Conditions the Supervisor may withhold payment of all or portion of any retention moneys due under the contract until such certificates have been produced.

10. PLANS ETC.

The plans and specifications are to be taken together. Measurements are to be checked on the work, and figured dimensions are to be taken in preference to scaled measurements.

11. SITE.

The site is to be inspected by the Contractor before making a firm quotation for the Contract.

ADDENDA:



BRICKLAYER.

TUNNEL

BRICK

1. STONE. To Be ~~'Hindera Stone'~~. ~~Quarry run type.~~

2. MORTAR. Mortar shall be composed of:  
One part of cement to one part lime to 6 parts sand.  
Lime shall be well mixed with sand and water and allowed to stand at least 48 hours before use.  
Immediately before use, gauge with cement. No mortar which has become set shall be used.

3. WORKMANSHIP, WALL TIES, JOINTS.

Build the whole of the brick/stone work as shown on the drawings. Lay the bricks/stones straight and true to line, plumb at corners, not less than  $1\frac{1}{2}$ " cavity. Allow weeps at not more than 4' centres and build in twisted No. 8g. galv. wire ties (min 2 to each square yard) and secure to framework with heavy galv. staples allowing fall towards brickwork. Joints to finish hollow.

4. CEMENT DAMPCOURSE.

When bricks are to be carried up from foundation slab, provide a  $\frac{3}{4}$ " thick dampcourse at a height of not more than 12" above permanent grade level using according to manufacturers instructions, approved dampcourse cement.

5. CLEANING DOWN OF FACE BRICK/STONE - WORK:

At completion, clean down all exposed face brick/stone-work with weak acid solution and leave free of stains or defects of any description. All stonework is to be sprayed or similarly treated with a silicon or similar protective coating.



## CONCRETE BLOCK LAYER.

### 1. MATERIALS:

- a. Concrete Blocks to be 'Vibropac' or equal. 16" x 8" x 8"
- b. Cement, aggregates and water shall be as specified under 'Concretor'
- c. Sand shall be clean, sharp and mainly large grained.
- d. An approved plasticiser is to be added to mortar using recommended proportions.
- e. Mortar shall be mixed to the following preparations 1 part cement,  $4\frac{1}{2}$  parts of sand.
- f. Concrete to be Class I as specified under 'Concretor'
- g. Grout for filling cavities shall be 1 part cement to 2 parts sand and two parts  $\frac{3}{4}$ " aggregate. Water not to exceed  $6\frac{1}{2}$  gallons per 94lb of cement.

### 2. WORKMANSHIP.

The work shall comply with N.Z.S.S. 95, part 7 and 10 and shall be properly co-ordinated with that of other trades.

Work shall be carried out by tradesmen skilled in concrete block construction and in accordance with the best trade practice. Walls shall be erected true to line and plumb; block shall be level in regular courses properly bonded and bedded and jointed in mortar. All framework shall be made tight, and any concrete, grout, or mortar spilled in the wall shall be washed off before it can set.

### 5. CONCRETE BLOCK BEARING WALL CONSTRUCTION.

- a. Walls shall be of the heights, widths and lengths shown on the drawings.
- b. Foundations to block walls to be 12" x 12" min. in solid ground, reinforced with  $4\frac{1}{2}$ " dia. rods with  $\frac{1}{2}$ " dia. stirrups at 24" centres. Allow for  $\frac{1}{2}$ " dia. starter rods accurately aligned with cavities and reinforced in block walls. Allow for a 24" lap with wall reinforcing.

### 6. REINFORCEMENT:

Use deformed bars complying with N.Z.S.S. 1693: 1962. Unless otherwise shown or specified, reinforce wall with  $\frac{1}{2}$ " dia. vertical bars set in grout in cavities not less than 3" x 2" at ends of walls and at not more than 32" centres at intermediate points and lap vertical reinforcement 20" and use hooks only where shown.

### 5. SPECIAL BLOCKS.

Provide and place such special blocks as may be required to form all corners, returns, offsets, etc. and to maintain the proper bond.

### 6. JOINTS:

Horizontal and vertical joints shall be  $\frac{3}{8}$ ", finished hollow with  $\frac{3}{8}$ " rod.



7. BOLTS AND FIXINGS:

Build in all bolts, anchors, hangers, etc. required for the work of other trades.

8. CONCRETE BLOCK ATTACHED PIERS:

Supports for sleeper plates shall be at corners and fit intermediate shapings of not more than 10' centres and formed with 8" x 4" lintel blocks 8" long.

Cavities shall be filled with grout and reinforced as follows: A  $\frac{3}{8}$ " dia. rod shall be carried vertically down each pier on one side of the foundation wall and bent across the footings under the lower reinforcement and up through the pier on the opposite side of the wall. Both ends of each rod shall be bent over and securely nailed to the sleeper plates.

9. BOND BEAM COURSE:

Bond beams shall be formed where shown with purpose made bond-beam blocks filled with concrete reinforced with  $\frac{3}{8}$ " dia. mild steel rods, lapped 20" and hooked at all ends.

10. FINISH:

At completion all exposed internal and external blockwork shall be thoroughly cleaned down and painted as specified under Painter and Paperhanger.

SOLID PLASTERER:

All exposed poured concrete surfaces to be plastered with compo. of 1 part of cement to 3 parts of clean sand and finished smooth.

Immediately before applying plaster, concrete surfaces are to be well cleansed and soaked with clean water. Floors and steps to have plaster laid not less than  $\frac{3}{4}$ " thick (except basement) and finished to a straight even surface. Form 1" rod covered bases to concrete upstands around porch floors, etc., slightly round nosings to steps and weather treads  $\frac{1}{2}$ " and floors 1" in 10 feet.



CARPENTER:

GENERAL:

All materials are to be of the best of their respective finds and grades, laid true to their various levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction and to comply with the local by-laws in every respect.

2. SCHEDULE OF MATERIALS:

SCHEDULE.

<u>Component.</u>	<u>Size.</u>	<u>Kind &amp; Grade.</u>	<u>Remarks.</u>
Bedplates	4 x 2	Tan. <u>RINE.</u>	
Bearers	4 x 3	" "	
Floor joists.	<u>10</u> x 2	B/T Rad.	15" c/s
Herringbone.	2 x 2	" "	
Bot. plate.	4 x 2	" "	
	& 3 x 2		
Top plate.	4 x 2	" "	
	& 3 x 2		
Nogs	4 x 2	" "	3 rows
	& 3 x 2		
Studs.	4 x 2	" "	18" c/s
	& 3 x 2		
Braces	6 x 1	" "	
	& 4 x 1		
Ceiling joists.	4 x 2	" "	29" c/s (max)
Runners.	6 x 2	" "	
Rafters	4 x 2	" "	30" c/s
Purlins	3 x 2	" "	30" c/s
Underpurlins.	4 x 2	" "	
Struts	4 x 2	" "	4'6" c/s
Rises	9 x 1	" "	
Hips	9 x 1	" "	
Valleys	6 x 2	" "	
Valley Boards.	6 x 1	" "	
Collar Ties	6 x 1	" "	6' c/s (max)
Fascia	ex 8 x 1 1/2 cl. Ht. or Cl. Tan Rad.		
Eaves Bearers.	3 x 1 1/2	B/T Rad.	20" c/s
Flooring	<del>4 x 1 T.C. &amp; V. C.O.B/T, T/1000</del>		3/4" <u>TWO PLYCOANE</u>
Architraves	ex 2 x 1/2 (fin) double Bev.		
Skirting	ex 3 x 1/2 (fin) bev. top		
<u>BEAM SCHEDULE:</u>	Up to 3'2"	4 x 2 on flat	
	Up to 4'6"	2/4 x 2 ) Check 1/2" into 4 x 3 studs	
	Up to 6'8"	2/5 x 2 )	
	Up to 8'0"	2/6 x 2 ) Use 4 x 2 under-studs.	
	Up to 10'6"	2/8 x 2 )	
	Over 10' 6"	See plans.	



3. SUB-FLOOR.

10"x2" DRESSED TREATED PINE BOARDS ONTO  
BOLT PLATES ON BASEMENT BEAMS AT 15"  $\phi$ .

4. FRAMING.

Plates to be in long lengths, straight, and scarfed at joints. Studs to be straight, spaced at not more than 18" c/s, and nailed to plates at both ends with two 4" nails at each end. Stud height to be 8' - 2" over plate. Use three studs at corners, and nail-in 3 rows of nogs, the top row to line-up with the door trimmers, remainder evenly spaced; allow for extra nogs behind joinery fittings.

Check in 6 x 1 braces for external walls, and 4 x 1 for interior walls at approx. 45°, using as a guide, one brace for 15' of wall, two for 35', and one for every 25' of wall thereafter in the same wall. Lay 4 x 2 ceiling joists at not more than 20" c/s, crown up, and spike well to top plates. Over ceiling joist spike 6 x 2 runner (one for up to 12' of ceiling joist, and one for every 6' of ceiling joist thereafter, evenly spaced). Pitch roof at . . . . ., using . . . . . rafters at . . . . . c/s neatly birdsmouthed to ridge fit. . . . . underpurlins at mid-span, strutted at 4'6" c/s with 4 x 2 material. Securely nail-on 6 x 1 collar-ties every second pair of rafters, or not more than 6' apart. Lay 3 x 2 purlins at not more than 30" c/s across rafters and spike at every passing with one 4" nail, stretch 2" mesh galv. wire-netting tightly over purlins and secure with galv. staples, over netting lay approved building paper with min. lap of 4".

Allow . . . . . eaves from framework, nail on 5 x 1½ waling, and nail-in eaves bearers at not more than 20" c/s

Fit ex . . . . . fascia to a straight line and level, joints to be splayed and primed before fixing.

JOINERY: Schedule :-

<u>Material</u>	<u>Size</u>	<u>Grade.</u>
Interior door jambs	1½"	O.B.R.
Skirtings.	3" x ½"	O.B.R.
Sill boards.	1"	H.D.A.R. or treated O.B. Rimu
Aprons	1"	H.D.A.R. or treated O.B. Rimu.

All other internal finishing timbers not specifically mentioned to be O.B.R. or O.B.M.

Window jambs.	6" x 1½"	D.A.H. Rimu
Window sills	6" x 2½"	D.A.H. Rimu N.Z.S.S. Drawing 35.
Mullins	4" x 3"	D.A.H. Rimu.

All interior door and window frames and sills to be as mentioned in schedule and to be grooved, throated and constructed in a proper manner and primed before fixing, (except where parts visible are to be stained or clear varnished. See that adequate weather grooves are provided in the joinery to make waterproof.



SASHES:

ANODIZED ALLOY

GLAZING:

All glass to comply with N.Z.S.S. All bathroom and W.C. and shower-room glazing to be of an approved opaque type.

EXTERIOR SHEATHING:

HI-LINE FIBROUX.  
TUNNEL BRICKWORK.

FLOORING:

3/4" T.W.P. PLYWOOD OVER BASEMENT  
AND MEZZANINE ONLY.

CEILINGS:

All ceilings to be lined with 5/8" Gibraltar Board sheets. All sheets to be securely nailed on all joists and nogging with 1 1/4" galvanised flat-head nails and all joints will be flush finished.

ALTERNATIVE CEILINGS:

CORNICES:

As per sketch below:



LININGS:

All interior walls to be lined with  $\frac{3}{8}$ " Gibraltar-Board sheets. All sheets to be securely nailed with  $1\frac{1}{4}$ " galvanised F.H. nails on joints every 6" and intermediate studs every 9". All stopping to be done with the best Plaster of Paris filled to an even surface, all spots and risers removed.

PORCH LININGS:

WARDROBES:

To be lined and ceiled (at ceiling height) and to have 12" wide hat shelving. Provide 7'-0" doors as shown on plans. Provide steel tubular hanger pipe.

LINEN AND H.W. CUPBOARDS:

To be lined and finished as for wardrobes and to be fitted with 4 full-width slotted shelves at approx. 18" centres.

LAUNDRY CUPBOARD:

To be lined and finished as wardrobes and to have 12" wide shelf 5'-6" from floor.

FITTINGS : LOUNGE:

DINING ROOM:

BEDROOMS:

LAUNDRY:



SHOWER ROOM:

TOILET:

BATHROOM:

KITCHEN:

OTHER KITCHEN FITTINGS:

OTHER FITTINGS:

SKIRTINGS:

Fix skirting to all walls including inside of  
of all wardrobes and coat cupboards.



DOORS:

Doors to be hung in 1½" solid rebated jambs.

Interior main :  
Wardrobes :  
Kitchen cupboards :  
Folding doors :

Exterior back :  
Exterior front :

MANHOLE:

Provide 20" x 20" opening in ceiling and provide cover in same material as ceiling. To be in Pantry or Laundry.

FIREPLACE AND CENTRAL HEATING.:

ELECTRIC PANELS THERMO-  
STATICALLY CONTROLLED IN EACH ROOM THEY ARE IN  
STANDARD FIREPLACE IN LOUNGE.



PLUMBER

GENERAL CONDITIONS: Refer to the "Specifications General" at the head of these specifications which covers all parts of the works, and is hereby made a part of this specification. All plumbing to be installed by a Registered Plumber approved by the Health Department and Sanitary Inspector.

FLASHING: Flash chimney and all openings through roof with appropriate materials and make the building water-tight.

VALLEYS: To be 24g. Galvanised Iron with approved beaded edges.

SPOUTING AND DOWNPIPES: Spouting to 5" quater-round supported on brackets at 36" centres and given evenly graded falls to downpipe outlets. Downpipe to be 2½" diameter.

ROOF: "Decramastic" tiles; colour to owner's choice. Tile battens and rafters to be constructed in the manner recommended by the manufacturers of "Decramastic" tiles.

WATERPROOF: Leave the building absolutely waterproof in every respect. Any part or parts omitted from this specification and necessary to make the building watertight, shall be taken as mentioned.

COLDWATER: Allow <sup>3/4"</sup> to connect supply at road frontage. Lay water from supply through galvanised W.I. Piping, ~~galvanised~~ (if allowed by local authorities) or copper piping fitted with all necessary bends, tees, elbows, etc., and with all joints made in the best quality to points over basin, sink, W.C., tubs, laundry washer, bath and 3 outside taps.

HOT WATER: Provide and fix approved 40 gallon electric hot water cylinder with 1000 watt element and thermostat control and all necessary connections to make same in working order. Lay water through copper piping to shower then bath, basin, sink, tub and washing machine.

BATHROOM: Provide and fix in bathroom a 5' - 6" white cast-iron bath. Provide one earthenware wall basin fixed on C.I. brackets or cabinet (see "Fittings").

PRESSURE REDUCING VALVE: Where sufficient pressure through mains is available supply "AJAX" or similar valve.

WASTES: Bath to have 1½", tubs and sink to have 1½" basin to have 1½", shower to have 1½" copper traps and wastes. All wastes to discharge over gully traps and joints to be neatly wiped. Provide and fix all necessary anti-syphons.

SHOWER: Base will be 3' - 0" x 3' - 0", to be stainless steel. Hot and cold water supplies to be mixed in an approved mixing valve and tap combination.

TAPS: All taps to be streamlined chromium plated bib and pillar cocks. Install 3 brass hose taps and stop-cock of brass.

W.C.: To be provided complete with white earthenware pan, seat, lid, buffers etc., 3 gallon low set flush cistern, copper flush pipe, chromium plated, cast soil pipes, fittings and vent.



## DRAINLAYER

### GENERAL

All work to be performed or supervised by a registered drainlayer.

Excavate for and construct septic tank to comply with the Health Department requirement; excavate for, supply and lay all necessary drains using 4" G.E. socketed pipes, laid with the collars free and connected with rubber joint rings. Fall to be constant in each part of the drain and fall not to be less than 1 in 40

When 18" of cover to permanent ground level cannot be obtained, provide protection by a concrete cover not less than 4" thick extending over and around the top half of the pipes and fittings.

### GULLY TRAPS:

Gully traps shall be set on a level and of concrete not less than 4" thick and 64 square inches in area.

### STORMWATER

Soakholes shall be located not less than 3' from building. They shall be 8" dia. post hole bores extending to a depth of 15' or to be 'chocolate' layer, depending which is reached first. Downpipes shall deliver directly into the socket of a riser from an earthenware bend connected to the soakholes.

+ 5/4 AS ADVISED - 3 4" EW BENDS,  
1 1/2" PIPE

### INSPECTION FITTINGS

Inspection fittings shall be provided as and where considered necessary by local by-laws.

### FIELD TILES

Field tiles to be first class unglazed earthenware, 4" internal diameter.

CAST IRON GRATINGS to be fitted in all gully-trap risers and stormwater risers.

After inspection, place covers on and refill to ground level taking care to tamp evenly.



## ELECTRICIAN

### GENERAL

Refer to the specifications "Preliminary and General" at the head of these specifications which covers all parts of the works, and is hereby made a part of this specification.

### ELECTRICIAN

The electrician will make the necessary notifications to the local Power Board. All work to be carried out to the satisfaction of the said Power Board and the Underwriters' Assn. Provide and fix all necessary materials for the installation of the following points complete with 60 watt lamps in rooms under 100 sq.ft., 100 watt lamps in all others.

### METER PANEL

Provide and fix one flush meter panel and switchboard with cover in an unobtrusive position near to the rear door of the house.

### SWITCHES

Provide and fix flush switches to all light points. Provide 2-way switches on the stairs and anywhere else shown on the plans.

### LIGHTS

To be situated as shown on the plan. Selection of all light fittings to be discussed with owner of house. No. of lights:-

### POWER POINTS

Provide power points where indicated on plans.....of

### AERIAL AND EARTH

Provide one flush A and E plate where required by owner.

### STOVE

To be:-

'MOFFAT COUNTRYMET.'

### OTHER ELECTRICAL FITTINGS.



### FIBROUS PLASTERER AND PAINTER

Fibrous plaster sheets shall be  $\frac{3}{8}$ " thick and shall weigh not less than 15lb per sq.yd. Sisal fibre shall be used in "ceiling" quality sheets. Sheets shall be securely nailed in place on walls and on ceilings shall be wadded and suspended in an approved manner.

When all heavy hammering is completed stop all joints, nail-holes and imperfections with pure plaster of paris. External angles of walls are to be finished with a wood stop.

All joints and nail holes in 'Gibraltar-board' lining shall be similarly stopped with plaster of paris.

### PAINTER

Use only reliable brands of paint from unopened containers.

EXTERIOR WOODWORK Shall be finished in 3 coat work, consisting of:-

- (1) Priming coat, then stopped with good quality linseed oil putty, a light sanding with No. 1 $\frac{1}{2}$  glass paper.
- (2) An undercoat and a further light sanding.
- (3) A finishing high-gloss coat in a colour to owner's choice.

### ASBESTOS SHEETING

1st coat, water-based plastic paint.

It is important to dilute the 1st coat with 50% water to ensure penetration. When dry apply full strength coat, followed by a final coat in colour to Owner's choice. Lightly sand between coats.

### STAINED WOOD

To be stained to colour of Owner's choice with 2 coats of "Rex" or similar, interior or exterior.

### INTERIOR WOODWORK

Painted areas to receive 3 coat work as for exterior, except that the finishing coat is glass enamel. Paint inside all cupboards.

### VARNISH WORK

To have first coat of approved sanding sealer, then stopped to match grain and colour, a light sanding with No. 1 $\frac{1}{2}$  glass paper, then 2 coats of clear varnish, lightly sand between coats.

### WALLPAPER



G.T. RANKIN RESIDENCE

LOT 14 ANCHORAGE ABOVE  
MAUNGATAPU.

BOUNDARY MINIMUMS. THESE HAVE BEEN COMPLIED  
WITH EXCEPT AT REAR OF HOUSE.  
TOWN ~~PLANNING~~ PLANNING HAS  
ALREADY APPROVED A 10' MINIMUM

FOUNDATIONS - SPECIFICATIONS TO SITE PLAN

THESE HAVE BEEN PASSED  
BY THE ENGINEERS OFFICE SO  
THERE IS NONE ATTACHED TO  
THESE PLANS.

FEE FOR THE ABOVE PERMIT HAS BEEN  
ASSESSED AND PAID TO THE VALUE OF  
\$2000, WHICH IS NOT INCLUDED IN THE  
VALUE OF THE HOUSE AS SHOWN IN THIS  
APPLICATION.

WATER CONNECTION THE FEE FOR THIS HAS BEEN  
PAID A FEW YEARS AGO AND THE CONNECTION  
WAS PUT IN AT THE SAME TIME.

The provisions of the Tauranga  
City By-Laws over-ride any-  
thing that is inconsistent in this  
Specification and must be com-  
plied with.



# TAURANGA CITY COUNCIL



## APPLICATION FOR PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

To the City Engineer,  
TAURANGA CITY COUNCIL

Received 4/1/72  
Application No. 13469  
Plan No. 806A  
Permit No. 11300/51  
Receipt No. 463 Date 1/2/72

<b>PLUMBER</b> Name : <u>Boby Morris</u> Phone No. <u>69698</u> Postal Address : <u>15 Faber Rd</u>		Name of Person for whom work is to be carried out : <b>OWNER</b> Name : <u>G.T. Rankin</u> Phone No. <u>88534</u> Postal Address : <u>65 9th Ave. Tauranga</u>	
<b>DRAINLAYER</b> Name : <u>MILTON ROVERIDGE</u> Phone No. <u>101 Sutherland Rd</u> Postal Address : <u>101 Sutherland Rd</u>		<b>LOCATION</b> Lot No. <u>14</u> D.P. <u>5476</u> House No. <u>10 ANCHORAGE GROVE</u> Road Street Avenue	

hereby apply for permission to carry out the work described herein and set out in the plans attached hereto,

### SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT :

	W.C.'s	BATHS	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOSE TAPS	HOT & COLD WATER SERVICES
INSTALL	<u>2</u>	<u>1</u>	<u>2</u>	<u>2</u>	<u>2</u>	<u>1</u>		<u>2</u>	<u>2</u>	<u>17/18</u>
RENEW					<u>Double</u>					
SHIFT										

together with all necessary wastes, soil-pipes and vent pipes.

### SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT :

Cross out whichever is not applicable.

- Construct new drain together with septic tank and effluent disposal system. ✓
- ~~Construct new drain and connect to sewer or other approved outfall.~~
- ~~Extend drain.~~
- ~~Repair drain.~~

### Value of Proposed Work including materials:—

Estimated Value of

(a) Plumbing ..... \$ 850:00  
(b) Drainage ..... \$ 150:00

Total \$ .....

Fee

\$ 12:00  
\$ 3:00  
\$ 15:00

Dated this 2nd day of Dec 19 71

(Plumber)  
Signature  
(Drainlayer)

[Signatures]

NOTE: Any question as to the estimated value of the work shall be determined in his descretion by the Engineer and his determination shall be final. (D. & P. Regs Amendment, Clause 20 (5).)

Completion of work to be notified at least 24 hours before an inspection or test is required.

Drainlayers are advised to invest in plugs, torch and mirrors and to test their own work before calling for an inspection, as re-inspections incur additional fees.

ESTIMATED VALUE OF WORK*	FEE PAYABLE
Not Exceeding \$ 50	\$ c
Exceeding \$ 50 but not exceeding \$ 75	25
Exceeding \$ 75 but not exceeding \$ 100	75
Exceeding \$ 100 but not exceeding \$ 200	1.50
Exceeding \$ 200 but not exceeding \$ 400	3.00
Exceeding \$ 400 but not exceeding \$ 600	6.00
Exceeding \$ 600 but not exceeding \$ 800	8.00
Exceeding \$ 800 but not exceeding \$ 1000	10.00
Exceeding \$ 1000	12.00
Re-inspections ..... 50c	\$12 plus \$1 for every \$200 or part thereof in excess of \$1000.

ISSUE OF PERMIT APPROVED

For City Engineer

D. Kale Print - 6677

\*In assessing the value of work, no single fitting shall be deemed to have a value exceeding \$100.



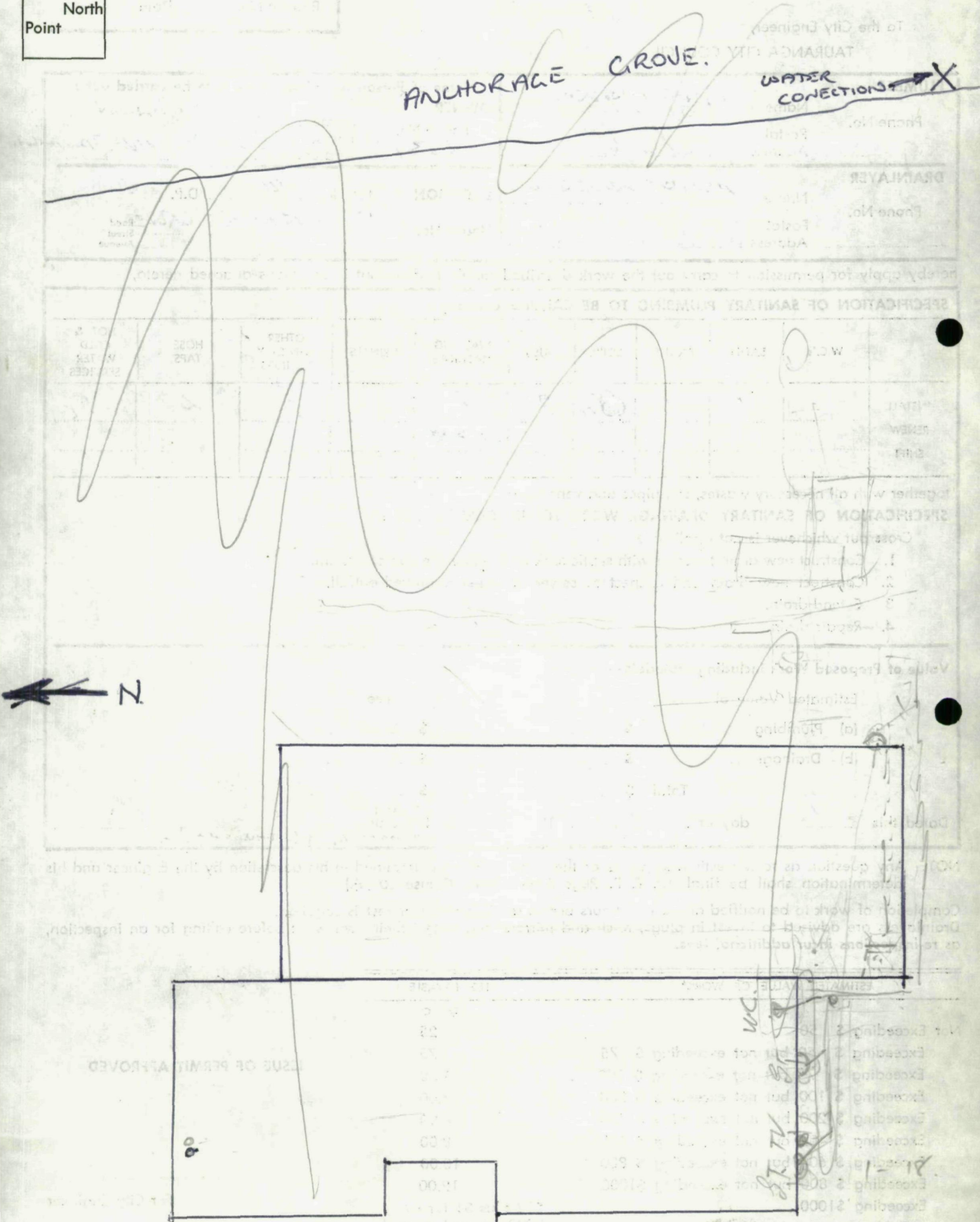
# Plumbing, Drainage and Water Service Block Plan

All Buildings and existing  
Drains to be drawn to the scale of  
1/8" or 1/16" equal 1 ft. and to  
have all measurements shown.

New drains to be shown lightly in pencil.  
Old Drains in Dotted Red Line  
Stormwater Drains in Green  
Water Connection in Blue (show to first branch off  
service pipe)

REFERENCE:—  
G.T. means Gully Trap  
T.V. means Terminal Vent  
B.V. means Back Vent  
I.P. means Inspection Pipe  
I.C. means Inspection Chamber  
F.A.I. means Fresh Air Inlet  
T.B. means Toby Box

Mark  
North  
Point





# TAURANGA CITY COUNCIL



## APPLICATION FOR PERMIT FOR SANITARY PLUMBING OR DRAINAGE WORK

To the City Engineer,  
TAURANGA CITY COUNCIL

Received .....  
Application No. ....  
Plan No. ....  
Permit No. ....  
Receipt No. .... Date .....

<b>PLUMBER</b>  Phone No. .... Name : ..... .... Postal .... Address : .....	<b>Name of Person for whom work is to be carried out :</b> <b>OWNER</b> Phone No. .... Name : ..... .... Postal .... Address : .....
<b>DRAINLAYER</b>  Phone No. .... Name : ..... .... Postal .... Address : .....	<b>LOCATION</b> Lot No. .... D.P. .... House No. .... Road Street Avenue

hereby apply for permission to carry out the work described herein and set out in the plans attached hereto,

SPECIFICATION OF SANITARY PLUMBING TO BE CARRIED OUT :										
	W.C.'s	BATHS	BASINS	SINKS	TUBS	WASHING MACHINES	URINALS	OTHER SANITARY FITTINGS	HOSE TAPS	HOT & COLD WATER SERVICES
INSTALL	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
RENEW	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
SHIFT	.....	.....	.....	.....	.....	.....	.....	.....	.....	.....

together with all necessary wastes, soil-pipes and vent pipes.

### SPECIFICATION OF SANITARY DRAINAGE WORK TO BE CARRIED OUT :

Cross out whichever is not applicable.

1. Construct new drain together with septic tank and effluent disposal system.
2. Construct new drain and connect to sewer or other approved outfall.
3. Extend drain.
4. Repair drain.

### Value of Proposed Work including materials:—

Estimated Value of	Fee
(a) Plumbing ..... \$.....	\$.....
(b) Drainage ..... \$.....	\$.....
Total \$.....	\$.....

Dated this ..... day of ..... 19.....  
(Plumber)  
Signature .....  
(Drainlayer)

NOTE: Any question as to the estimated value of the work shall be determined in his discretion by the Engineer and his determination shall be final. (D. & P. Regs Amendment, Clause 20 (5).)

Completion of work to be notified at least 24 hours before an inspection or test is required.  
 Drainlayers are advised to invest in plugs, torch and mirrors and to test their own work before calling for an inspection, as re-inspections incur additional fees.

ESTIMATED VALUE OF WORK*	FEE PAYABLE
	\$ c
Not Exceeding \$ 50	25
Exceeding \$ 50 but not exceeding \$ 75	75
Exceeding \$ 75 but not exceeding \$ 100	1.50
Exceeding \$ 100 but not exceeding \$ 200	3.00
Exceeding \$ 200 but not exceeding \$ 400	6.00
Exceeding \$ 400 but not exceeding \$ 600	8.00
Exceeding \$ 600 but not exceeding \$ 800	10.00
Exceeding \$ 800 but not exceeding \$1000	12.00
Exceeding \$1000	\$12 plus \$1 for every \$200 or part thereof in excess of \$1000.
Re-inspections ..... 50c	

ISSUE OF PERMIT APPROVED

For City Engineer

D. Kale Print - 6677

\*In assessing the value of work, no single fitting shall be deemed to have a value exceeding \$100.



# Plumbing, Drainage and Water Service Block Plan

All Buildings and existing  
Drains to be drawn to the scale of  
1/8" or 1/16" equal 1 ft. and to  
have all measurements shown.

New drains to be shown lightly in pencil.

Old Drains in Dotted Red Line

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Water Connection in Blue (show to first branch off  
service pipe)

REFERENCE:—

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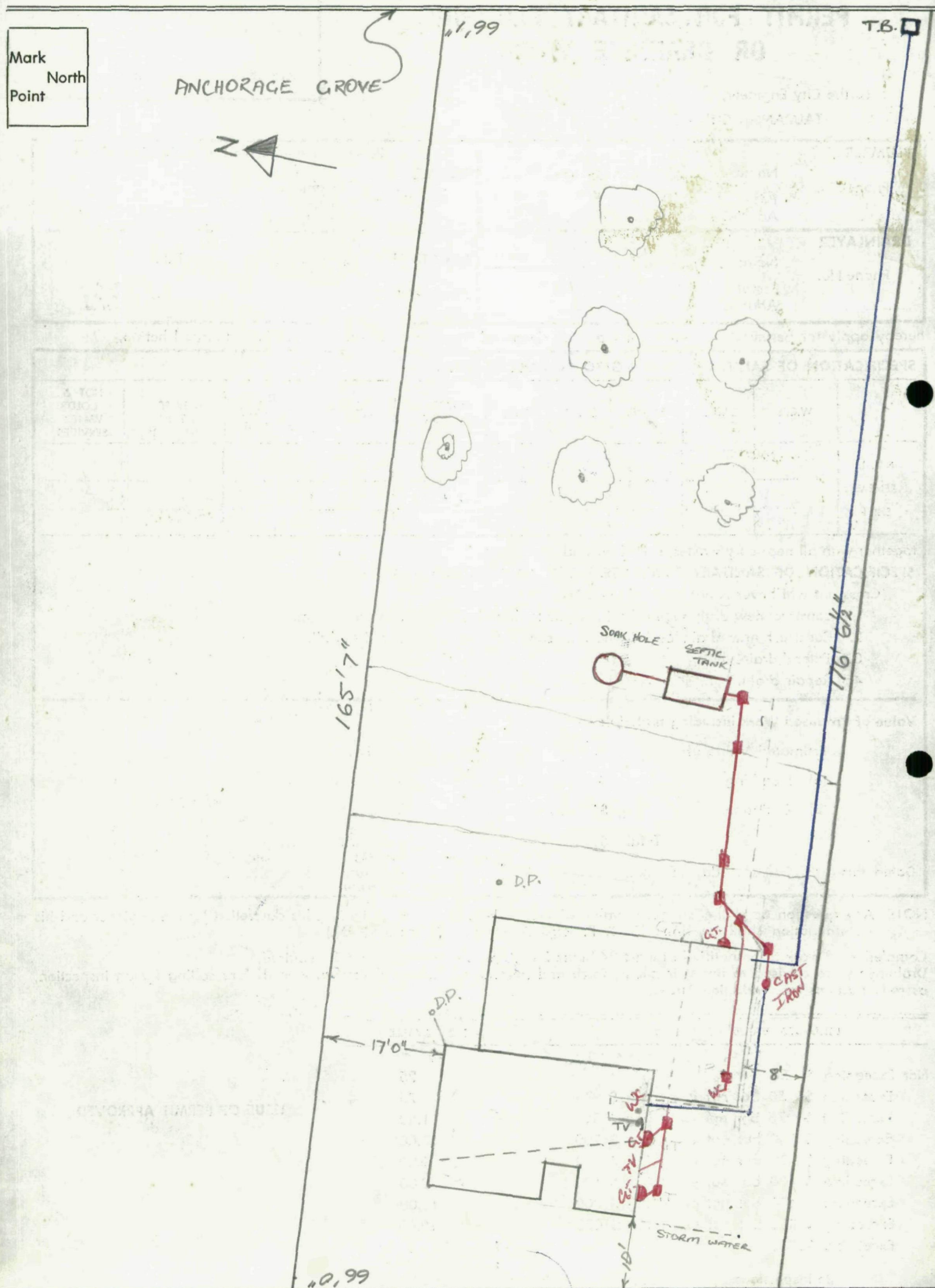
B.V. means Back Vent

I.P. means Inspection Pipe

I.C. means Inspection Chamber

F.A.I. means Fresh Air Inlet

T.B. means Toby Box



ROAD FRONTAGE (State name of Street, Road or Avenue)  
(OTHER END)



Checked  
&  
Approved

Building Insptr.
Date 25/1/71

Health & Drainage Insptr.
Date 25/1/71

Town Planning
Date

City Engineer
Date 26/1/72

## CITY OF TAURANGA



### BUILDING APPLICATION FORM

I hereby apply for permission to Erect, Repair, Alter, Add to, Demolish, Remove or Reinstate a Building, Chimney, Sign.

- (1) ATTACH 2 COPIES PLANS (elevations, cross sections, site plan, plus some indication of locality on valuation map).  
2 COPIES SPECIFICATIONS.

All Builders should be conversant with the Building By-laws wherein the requirements regarding drawings are stipulated.

Any applications not complying will not be accepted.

It is an offence to start building work before a permit is issued.

All plans must be drawn to scale.

Plan No. 806A

App. No. 13469

Date 14/1/72

BUILDER	Phone 88534
Name (Print) G.T. Rankin	
Address 65 9th AVE TAURANGA.	
Signature G.T. Rankin	

BUILDING LOCATION	
Address 10 Anchorage Grove LOT 140 ANCHORAGE GROVE TAURANGA. (MAUNGATARA)	
Owners Name G.T. Rankin	Phone No. 88534
Owners Signature G.T. Rankin	

#### (2) COMPLETE DETAILS OF LOCATION

LOT No. 14	D.P.S. No. 5476
AREA 1 ROOD. 50	FRONTAGE 66' 1" links
VALUATION ROLL No. 665/125/10.	DEPTH 165' 7" links

#### (3) COMPLETE DETAILS OF BUILDING

TYPE indicate	AREA	VALUE	N.B.
DWELLING <input checked="" type="checkbox"/>	GROUND FLOOR		
FLATS			
MOTEL			
SHOP	1335 sq. ft.		
OFFICE	OUTBUILDINGS		
GARAGE			
SHED			
MISC.			

ESTIMATED VALUE OF BUILDING \$9000

EST. VALUE SANITARY PLUMBING DRAINAGE \$1000

TOTAL \$10,000

#### FOR OFFICE USE ONLY

In the case of dwelling units indicate with a ✓ whether building is to be

Owner occupied A ☒

For lease or rent B ☐

One unit owner occ. C ☐

One unit for lease D ☐

Two units for lease E ☐

For sale (spec house) F ☐

Date	Application / Permit No.	Fee
28/1/72	11300/51	15-00. 5-00.
	BUILDING RESEARCH	
	Sewer Connection	
	Stormwater Connection	
	Vehicular Crossing	8931 12-00.
	Water Connection	EXISTING
	Propn. Water Rate	
28/1/72	10573	33-00.
	Building	
	RECEIPT No. 4663	TOTAL 65-00.

1-2-72



# SCALE OF FEES PAYABLE ACCORDING TO THE ESTIMATED VALUE OF WORK

N.B. In any dispute the City engineer has absolute determination of the values concerning any permit.

Estimated Value of Work			Estimated Value of Work		
		Fees \$ c			Fees \$ c
Not exceeding \$20 .....		50c	Over \$14,001 and not exceeding \$16,000		48.00
Over \$20 and not exceeding \$200		1.00	Over \$16,001 and not exceeding \$18,000		52.00
Over \$201 and not exceeding \$400		2.00	Over \$18,001 and not exceeding \$20,000		56.00
Over \$401 and not exceeding \$600		3.00	Over \$20,001 and not exceeding \$25,000		64.00
Over \$601 and not exceeding \$800		4.00	Over \$25,001 and not exceeding \$30,000		72.00
Over \$801 and not exceeding \$1,000		5.00	Over \$30,001 and not exceeding \$35,000		80.00
Over \$1,001 and not exceeding \$1,200		6.00	Over \$35,001 and not exceeding \$40,000		88.00
Over \$1,201 and not exceeding \$1,400		7.00	Over \$40,001 and not exceeding \$50,000		98.00
Over \$1,401 and not exceeding \$1,600		8.00	Over \$50,001 and not exceeding \$60,000		108.00
Over \$1,601 and not exceeding \$1,800		9.00	Over \$60,001 and not exceeding \$70,000		118.00
Over \$1,801 and not exceeding \$2,000		10.00	Over \$70,001 and not exceeding \$80,000		128.00
Over \$2,001 and not exceeding \$2,500		12.00	Over \$80,001 and not exceeding \$90,000		138.00
Over \$2,501 and not exceeding \$3,000		14.00	Over \$90,001 and not exceeding \$100,000		148.00
Over \$3,001 and not exceeding \$3,500		16.00	Over \$100,001 and not exceeding \$120,000		158.00
Over \$3,501 and not exceeding \$4,000		18.00	Over \$120,001 and not exceeding \$140,000		168.00
Over \$4,001 and not exceeding \$5,000		21.00	Over \$140,001 and not exceeding \$160,000		178.00
Over \$5,001 and not exceeding \$6,000		24.00	Over \$160,001 and not exceeding \$180,000		188.00
Over \$6,001 and not exceeding \$7,000		27.00	Over \$180,001 and not exceeding \$200,000		198.00
Over \$7,001 and not exceeding \$8,000		30.00	Over \$200,001 and not exceeding \$240,000		210.00
Over \$8,001 and not exceeding \$9,000		33.00	Over \$240,001 and not exceeding \$280,000		220.00
Over \$9,001 and not exceeding \$10,000		36.00	For every \$40,000 or part thereof in excess of \$280,000 an additional fee of .....		\$10.00
Over \$10,001 and not exceeding \$12,000		40.00			
Over \$12,001 and not exceeding \$14,000		44.00			

## FEES PAYABLE FOR SPECIAL DUTIES

Nature of Duty	Fees \$ c
For inspection required in the case of proposed structural alterations before plans are submitted for approval .....	1.00
For inspecting every detached stove, furnace, oven, close fire, or forge erected subsequently to the building .....	.50
For inspecting old timber before re-using the same in a new building .....	1.50
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid .....	.25



12 Anchorage Grove,  
Mangakapu,  
Tauranga.  
22nd Dec 1970.

The Building Inspector,  
City Council,  
Tauranga.

Dear Sir,

Re. the property belonging to Mr G.T. Rankin,  
Lot 14, Anchorage Grove Tauranga,

I approve of Mr. Rankin building his house  
up to ten feet (10') of the rear boundary. I state that I

Yours faithfully  
Hughes Mander



8 Anchorage Grove  
Maungatapu  
Gauranga

21st December 1970

To the Building Inspector  
Gauranga City Council.

Dear Sir

About two days ago we were approached by Mr Gary Rankin of Ninth Avenue Gauranga who has a vacant section next to no 8 Anchorage Grove Maungatapu. In regard to building on his section No 10 Anchorage Grove as he wants to build up to 10ft away from his back boundary which backs onto Mr. Robinson's property in Vine Avenue.

Mr. Rankin informed me that his immediate neighbours on either side, would also be involved in as much as objecting or agreeing to this proposal.



as his neighbours on the right hand side we can see no objection to his idea of building at the back of his section, as this will be to our advantage in the fact that if he built down towards the road he would block our view of Mt Maunganui entirely.

As there are quite a number of trees at the back of both sections we feel that his choice of siting would be the ideal spot for him as far as view, privacy and inconvenience to all neighbours concerned.

We remain  
Yours Truly  
Roger Bartlett  
Gwendoline E Bartlett.



15 Vine Avenue,  
Mangatahi.

8. 12. 70.

The Building Inspector,  
Tauranga City Council.

Dear Sir,

We agree to a  
reduction of 4 feet in the regulation distance  
of 15 feet from our boundary, making an  
overall distance of 11 feet from said boundary  
to Mr. Garry Rankin's proposed residence  
on Lot 14 Anchorage Grove.

Yours faithfully,

N.E. Robertson.

Ed. L. Robertson