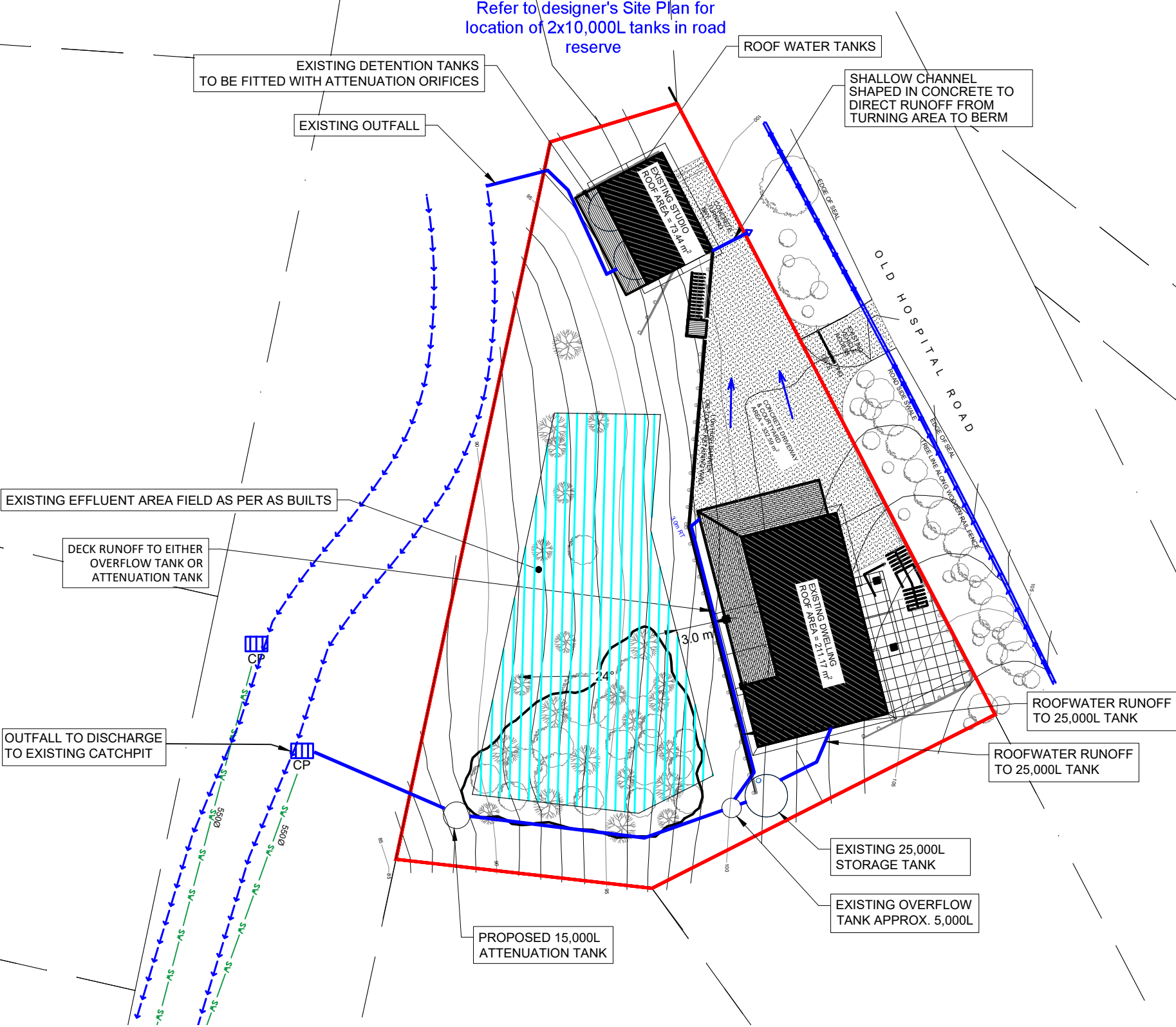


NOTES:

— SITE BOUNDARY

SCHEME PLAN REPRODUCED FROM DAWSON
DESIGN PLANS FOR LIVING, 'PROPOSED NEW
DWELLING FOR JENNY ANN EMMANUEL,
36 HOSPITAL ROAD, WHANGAROA, 0478',
DRAWING CODE: 102, RC-01 - ISSUED 27/09/2019



IMPERMEABLE SURFACES:	
DWELLING ROOF:	211.17m²
CABIN ROOF:	73.44m²
CONC DRIVE/ COURTYARD:	332.59m²
TOTAL:	617.2m²

Issue	Date	Revision
A	24/07/2019	FIRST ISSUE
B	18/10/2019	REVISED SITE PLANS
C	26/02/2024	REVISED STORMWATER LAYOUT WITH WASTEWATER AS-BUILT

DWG Proposed Stormwater Management Plan	
Scale 1:400 @A3	Date 24/07/2019
Drawn LP	Checked TA
Approved JP	
File T:\CLIENTS\JENNY MORGAN\JOBS\19 123 PETER MORGAN\ENGINEERING\DRAWINGS\19 123_20240226_WW & SW_REV C.DWG	

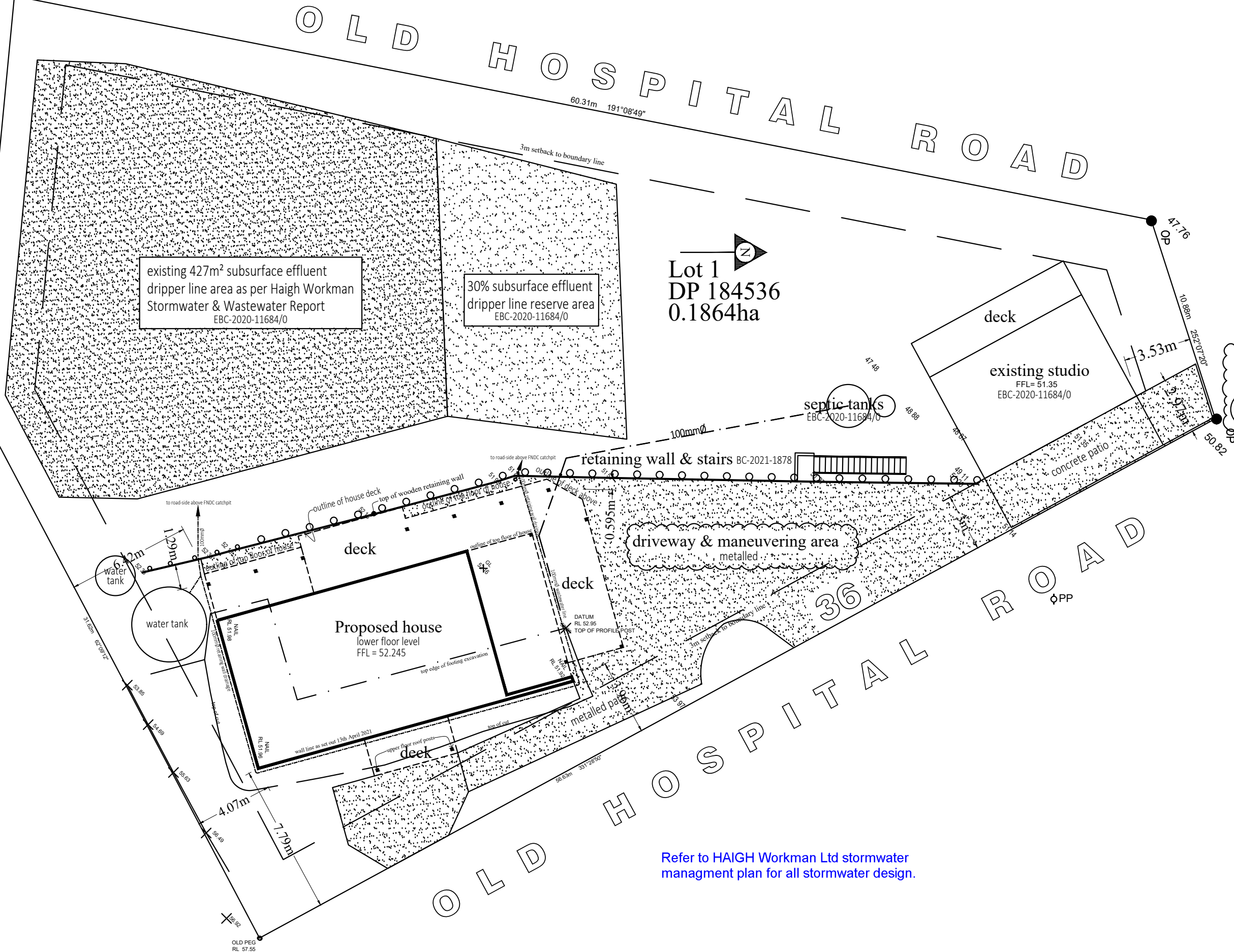
HAIGH WORKMAN
Civil & Structural Engineers

6 Fairway Drive
Kerikeri, BOI.
T: 09 407 8327
F: 09 407 8378
E: info@haighworkman.co.nz

DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THERE OF REMAIN THE PROPERTY OF HAIGH WORKMAN. ©2006

Project	36 Old Hospital Road, Whangaroa Lot 1 DP 184536
Client	Jenny Morgan
Project No.	19 123
RC no.	

DWG No.	
Sheet No.	1 of 1



Notes:
district plan zone:
site is in Coastal Living zone

wind zone:
building site wind zone is 'very high'

exposure zone:
building site exposure zone is 'D'

ground:
see Haigh Workman Geotechnical Investigation & Retaining Wall Design Report attached

exposure zone:
building site exposure zone is C

topography:
building site contour is near flat

excavation:
maximum depth: <2m
maximum volume: <3m³

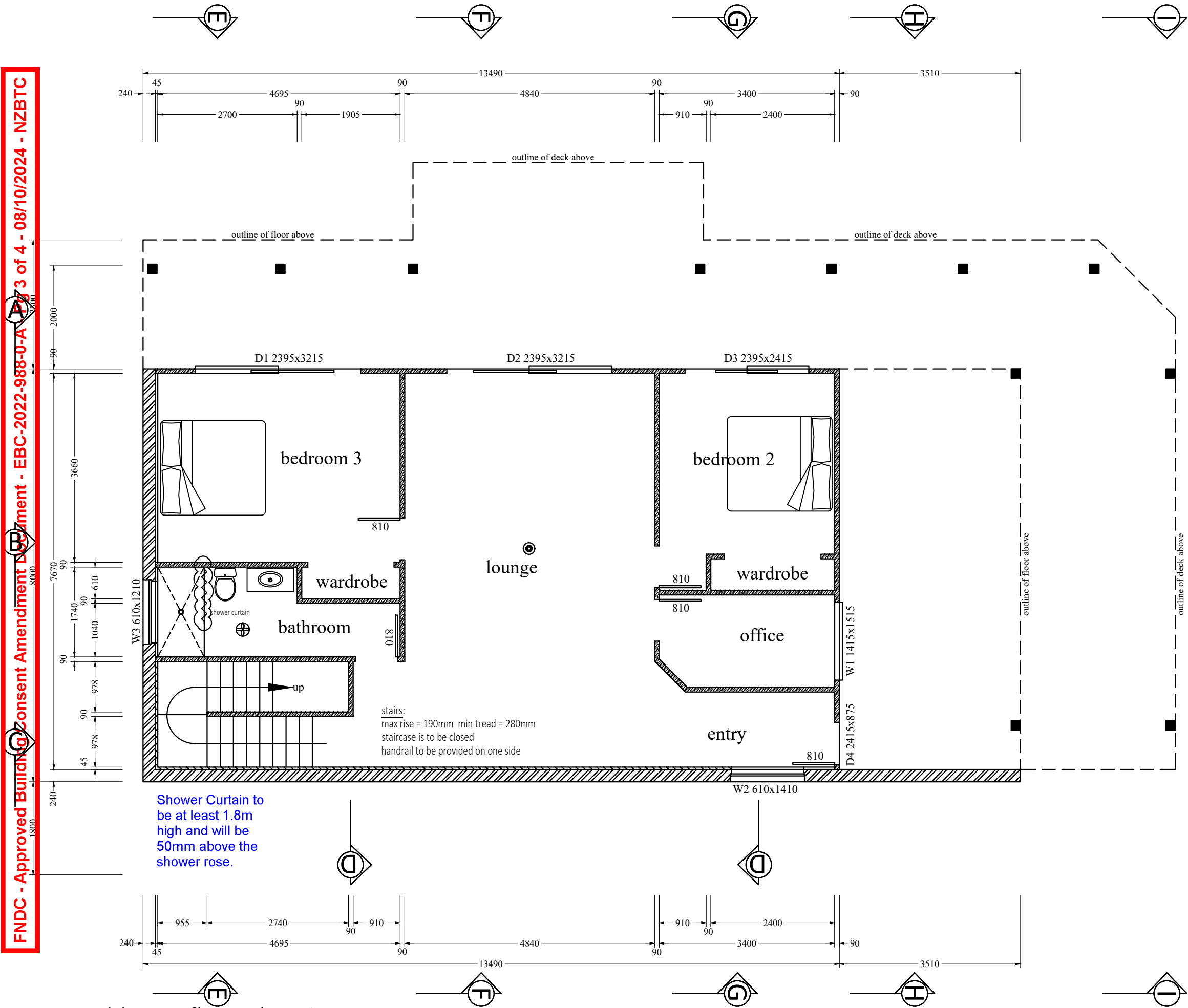
plumbing & drainage:
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations
wastewater is to be piped to existing connection

building coverage:	
area of site	1864m ²
existing studio footprint	54m ²
Proposed house footprint	108.76m ²
total building coverage	162.76m ²

8.73% of site has building coverage

site coverage:	
area of site	1864m ²
existing studio roof area	67.32m ²
Proposed house roof area	204.36m ²
house decks	35.76m ²
driveways, paths	250.0m ²
total impermeable surfaces	557.44m ²

29.90% of site has impermeable surfaces
10% impermeable surfaces is permitted
see RC2200280



Notes:

lower floor area: 107.9m²

walls:

denotes 90x45 SG8 H1.2 framed walls

external wall: studs at 400mm centres, nogs at 900mm centres max

internal load bearing wall: studs at 400mm centres, nogs at 900mm centres max

internal non load bearing wall: studs at 600mm centres, nogs at 900mm centres max

wall bottom plates are to be H3.2 with dpc under

external walls: Fortress M12 x 150mm screwbolts at 900mm centre3s

internal walls: Fortress M10 x120mm screwbolts at 900mm centres

denotes 45x45 SG8 H3.1 strapping with verticals at 600mm centres

fixed with dpc under with shot-fired 75mm nails at 300mm centres

denotes already built series 240 masonry block wall to NZS 4229:2013

denotes smoke alarm

insulation:

to be by Northern Glazing method with <30% wall area glazed insulation

installation is to comply with manufacturers specifications

fit R1.4 50mm EPS underslab insulation

fit R2.2 batts between framing timbers etc. to walls

fit Expol R1.4 Platinum board between strapping members

joinery:

all joinery measurements are nominal trim sizes

windows, doors & flashings are to be installed as per NZBC E2/AS1

exterior jamb liners are to be H3.1

site measure all joinery before manufacture

wet areas:

bathroom floor to be tiled over membrane throughout

shower walls & wall behind wc and vanity to be tiled over Aqualine Gib

safety glass:

glass shower door to be toughened safety glass

in accordance with NZS 4223.1:2008

ventilation:

bathroom ventilation by light switch operated extractor fan

Proposed lower floor plan 1:75

Proposed house for Jenny & Peter Morgan, 36 Old Hospital Road, Whangaroa

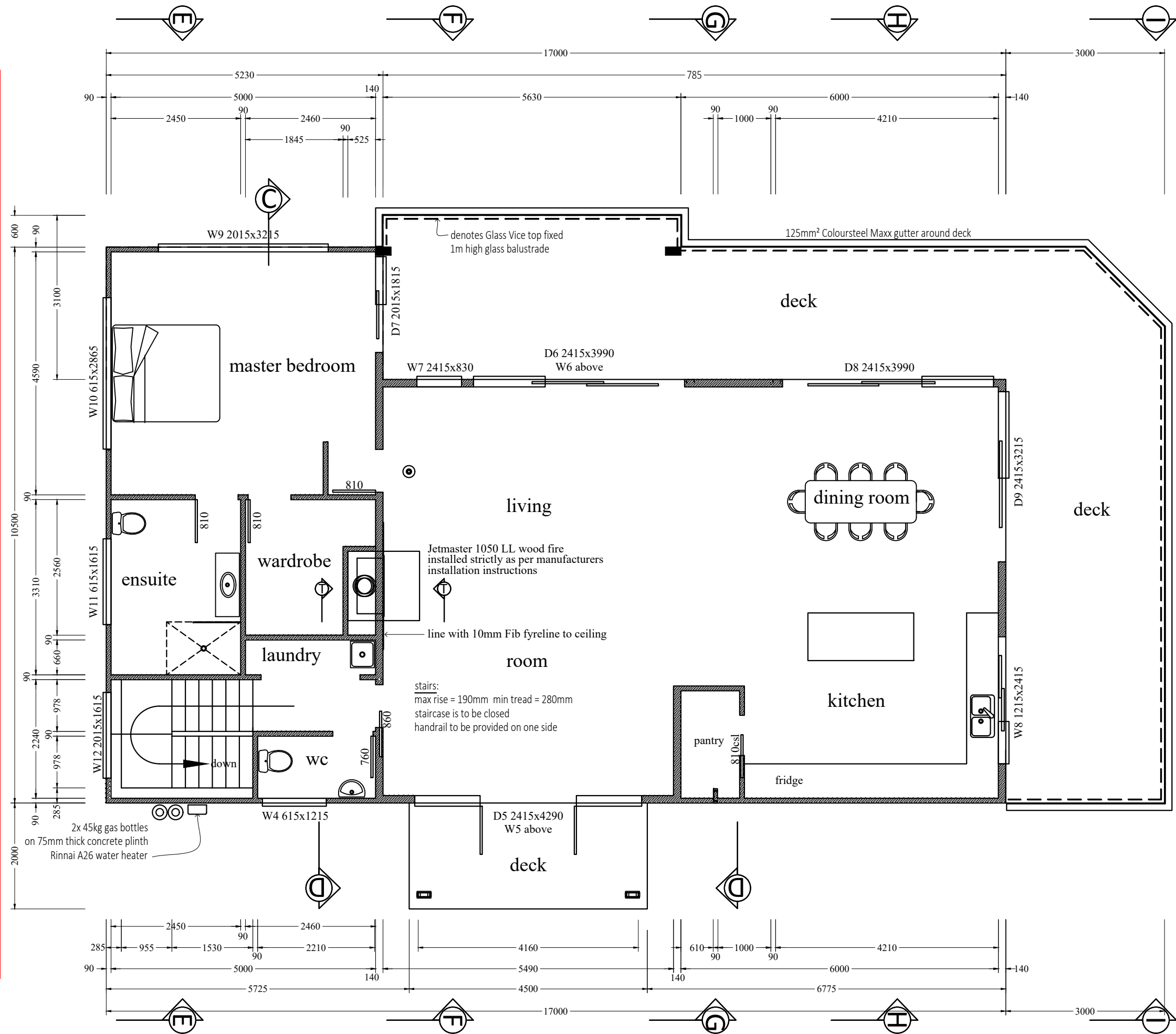


NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL: 09-407 9816. FAX: 09-407 9817. MOB: 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS...ASK!

DATE: 25/03/2024

3a

amendment: wardrobes sliding doors removed from plans
glass shower screen removed- shower curtain shown



Notes:

upper floor area: 149m²

walls:

denotes 90x45 SG8 H1.2 framed walls

external wall: studs at 400mm centres, nogs at 900mm centres max

internal load bearing wall: studs at 400mm centres, nogs at 900mm centres max

internal non load bearing wall: studs at 600mm centres, nogs at 900mm centres max

wall bottom plates are to be H3.2 with dpc under

external walls: Fortress M12 x 150mm screwbolts at 900mm centres

internal walls: Fortress M10 x 120mm screwbolts at 900mm centres

● denotes smoke alarm

insulation:

to be by Northern Glazing method with <30% wall area glazed insulation installation is to comply with manufacturers specifications

fit R1.4 50mm EPS underslab insulation

fit R2.2 batts between framing timbers etc. to walls

joinery:

all joinery measurements are nominal trim sizes

windows, doors & flashings are to be installed as per NZBC E2/AS1

exterior jamb liners are to be H3.1

site measure all joinery before manufacture

wet areas:

entire floor apart from bedroom and wardrobe is to be tiled over membrane

over Secura flooring

shower walls & wall behind wc and vanity are to be tiled over Aqualine Gib

safety glass:

glass shower screen to be toughened safety glass

in accordance with NZS 4223.1:2008

ventilation:

laundry, ensuite & kitchen ventilation by extractor fans venting to exterior

Proposed upper floor plan 1:75

Proposed house for Jenny & Peter Morgan, 36 Old Hospital Road, Whangaroa



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25/03/2024

4a

amendment: laundry sliding doors removed from plan