



# PALMERSTON NORTH CITY COUNCIL

## Application for Project Information Memorandum

Section 30, Building Act 1991

18/86

### OWNER DETAILS

Name: Heather Jones - C.R. Jones  
Mailing Address: 15 Aram Place  
P.M.U.  
Contact: 9  
Phone: 354 2099 Fax: 354 2938

### PROJECT LOCATION

Street Address: 36 Amberley Ave  
P.N.  
Legal Description: (as shown on Certificate of Title)  
Valuation Roll Number: .....  
Lot: 6, DP: ..... Section: .....

### PROJECT INFORMATION

New Building ☒ Alteration ☐ Demolition ☐

Intended Use/s (in detail): New 4 bedroom house  
with attached garage

#### Intended Life:

Indefinite but not less than 50 years ☒ Specified as ..... years

Attach any additional information if necessary to describe the project

### FOR COUNCIL USE

Project Type: P.D.

Charges payable on the making of this application are:

\$ 104 + GST

Receipt No: 1500

Received 26 / 2 / 93

### PROJECT DETAILS

The project involves the following matters [Cross each applicable box, if any, and attach relevant information in duplicate]:

- A ☒ Location, in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- B ☒ New provisions to be made for vehicular access, including parking
- C ☐ Provisions to be made in building over or adjacent to any road or public place
- D ☐ New provisions to be made for disposing of stormwater and wastewater
- E ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains
- F ☐ New connections to public utilities
- G ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- H ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

Signed by or for and on behalf of the applicant:

Name: Karen Louise Jones Position: .....  
Signature: Karen Louise Jones Date: 26 / 2 / 93



# PALMERSTON NORTH CITY COUNCIL

## Application for Building Consent

Section 33, Building Act 1991

*Please phone*

### PART A GENERAL (Complete Part A in all cases)

#### OWNER DETAILS

Name: Karen Hansen-Jones

Mailing Address: 15 Aram Place  
P.N.

Contact: Karen

Phone: 354 2099 Fax: 354 3343

#### PROJECT LOCATION

Street Address: 86 Ambury Ave  
P.N.

Legal Description: (as shown on Certificate of Title)

Valuation Roll Number: .....

Lot: 6, DP: ..... Section: .....

#### PROJECT INFORMATION

New Building ☒

Alteration ☐

Demolition ☐

Being stage ..... of an intended ..... stages

Estimated value (Inclusive of GST) \$ 140,000

Intended Use/s (in detail): New 4 bedroom dwelling

Intended Life:

Indefinite but not less than 50 years ☒

Specified as ..... years

#### FOR COUNCIL USE

Project Type: C3

Charges, payable on the making of this application, are:

\$ 310 + GST

Receipt No: 2008

Received 26393

This application is for:

- ☒ Building Consent only, in accordance with Project Information Memorandum No. 310
- ☐ Both Building Consent and a Project Information Memorandum

### PART B: PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

The project involves the following matters (Cross each applicable box, if any, and attach relevant information to the duplicate):

- ☒ Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings
- ☒ New provision to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☒ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains
- ☒ New connections to public utilities
- ☒ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

### PART C: BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by (cross each applicable box, attach relevant documents in duplicate):

- ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
  - ☐ Building certificates
  - ☐ Producer statements
  - ☐ References to accreditation certificates issued by the Building Industry Authority
  - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

### PART D: KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s): Construct Associates Wgh

Building certifier(s): TBA

Builder(s): TBA Richard Cuth

Registered drainlayer: TBA Anthony Cuff

Registered plumber: TBA "

Registered gasfitter: TBA "

Registered electrician: TBA Keith Olsen

Other: \_\_\_\_\_

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# STRUCTURAL CALCULATIONS

FOR

HANSEN HOUSE

AWAPUNI

PALMERSTON NORTH

15 March 1993

Ref: 9216

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Prepared by: A. Macdonald ME (Civil), MIPENZ  
Registered Engineer

For: K. Davis  
Custance Associates  
PO Box 3524  
Wellington

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Lintel Beam over garage door - 200 x 100 timber. Note beam has not been designed to support roof rafters or purlins. These were assumed to run parallel to this lintel.

Steel beam diagonally over garage - 250UB31 (250 x 146 UB x 31kg/m). This beam has been designed to support all the roof purlins. Note fixing details as sketched on page 6 of calculations.

Pitched roof over kitchen lounge - either (a) or (b) below.

(a) 150x50 rafters at 600 centres and collar ties 600 above top plate on every rafter with a MDF board (or similar) ceiling. Ceiling material to meet requirements for sheet bracing as per NZS 3604 (6mm thick min and a density of 600kg/m<sup>3</sup>) and fixed as specified for a ceiling diaphragm.

(b) 200x50 rafters at 1200 centres and collar ties 600 above top plate on every rafter. Ordinary gibraltar board ceiling okay.

Fixing details for both (a) and (b) shown on page 6 of calculations.

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Project: Hansen House, Palmerston North

Ref: 9216

### Wind Loads.

Calculate load from NZS 4203:1984 as will be using elastic design and timber & steel.

$$V = 50 \text{ m/sec}$$

$$S_1 = 1$$

$$S_2 = 0.65$$

Pressure coefficients.

$$V_E = 0.65 \times 50 \text{ m/s} = 32.5 \text{ m/sec}$$

$$q = 0.613 \times 32.5^2 = 650 \text{ Pa.}$$

$$C_{pe} = -0.9$$

$$C_{pi} = \pm 0.8$$

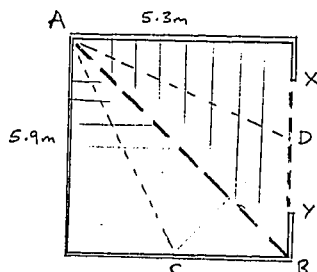
$$W_{ux} = (1.9 + 0.8) 0.65 \text{ kPa} \\ = 1.11 \text{ kPa}$$

### Lintel Beam over Garage Door (beam x-y)

$$\text{roof self wgt } 0.80 \text{ kPa} \times 1.5 \text{ m} = 0.45 \text{ kN/m}$$

$$\text{roof live load } 0.25 \text{ kPa} \times 1.0 \text{ m} = 0.25$$

$$\text{wind load } 1.11 \text{ kPa} \times 1.0 \text{ m} = 1.11$$



$$\text{beam span} = 4.3 \text{ m}$$

$$(1) DL + U = 0.70 \text{ kN/m} \downarrow$$

$$(2) .70 + W_E = -0.80 \text{ kN/m} \uparrow$$

clearly (1) will be critical because of overstress allowed with wind.

$$M_t = \frac{wL^2}{8} \\ = \frac{.7 \times 4.3^2}{8} \\ = 1.62 \text{ kNm}$$

$$S_{ur} = \frac{5 \times 1.11 \times 4300^4}{384 \times 2000 \times 57.2 \times 10^6} \\ = 11 \text{ mm} \\ = L/390. \quad \text{okay}$$

### 200 x 100 timber beam

$$f_b = \frac{1.62}{.589} = 2.75 \text{ MPa}$$

$$F_b = 6.0 \text{ MPa} \quad \text{OK.}$$

200 x 100 timber  
beam

### Beam Tie Down Under wind

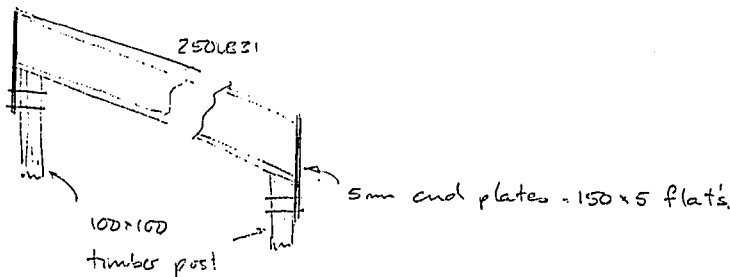
$$.7DL + WL = .7 \times .30 + 1.11 = 0.90 \text{ kPa}$$

$$u + u = .3 + .25 = 0.55 \text{ kPa}$$

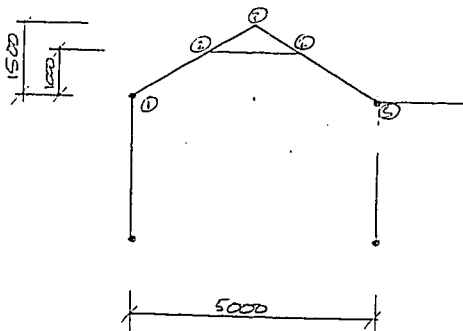
$$\therefore .7DL + u \text{ reactions} = \frac{9}{55} \times 3.86 = -6.32$$

$$" \times 5.18 = -8.48$$

$\Rightarrow$  metal strap x 2 - M12 bolts will be adequate



### Pitched Roof Rafter



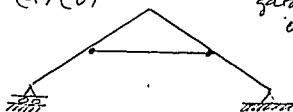
try 150x50 rafters at 600 ctr.  
lined with gib. on top.

$$WDL = 0.6m (0.35 \text{ kPa}) = 0.21 \text{ kN/m}$$

$$Wu = 0.6m (0.25 \text{ kPa}) = 0.15$$

$$Wm = 0.6m (0.78 \text{ kPa}) = 0.47$$

$(W = 1.2 \times 0.65 \text{ kPa} = 0.78)$  oors used  
1.11 kPa from  
garage until near  
end of calculate



P-Frame Model

Project: Hansen House, P.N.

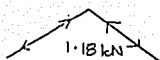
Date: 14 Mar 93

Ref: 9216

1) Connection of Collar tie.

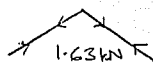
$$\begin{aligned} DL + LL &= 1.37 \text{ kN} \Rightarrow 1 - M12 \text{ bolt o.k. by inspection} \\ 7DL + WL &= -0.894 \text{ kN} \end{aligned}$$

Connection of Rafter at top



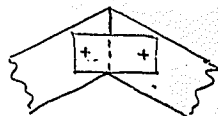
DL + LL

by inspection 1 - M12 bolt will be adequate with metal plate both sides.

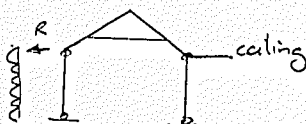


7DL + WL

roof slope 30°



Wind Loading on Outside Wall



$$\begin{aligned} W_{se} &= C_f q_i \\ &= 1.2 \times 65 \text{ kPa} \\ &= 0.78 \text{ kN/m} \end{aligned}$$

$$\begin{aligned} R &= \frac{1}{2} \times 3 \text{ m} \times 1.2 \text{ m} \quad (\text{every 2nd rafter}) \\ &= 1.80 \text{ kN} \end{aligned}$$

from pframe analysis

load combination 3

$$7DL + WL + 0.9 \text{ kN}$$

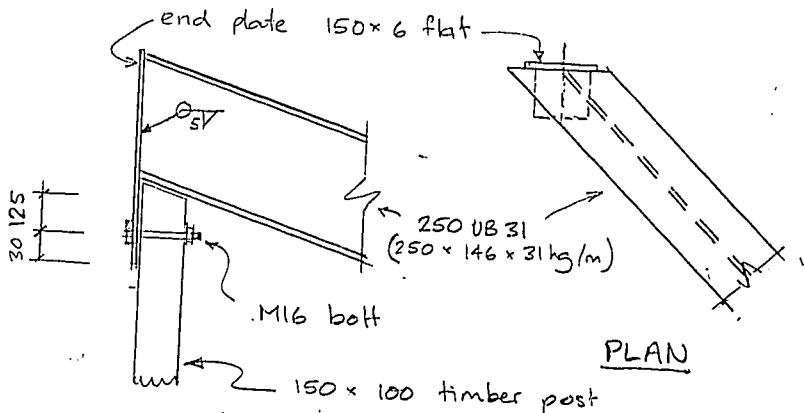
double this for only every 2nd rafter tied together

$$S_{eaves} = 2 \times 6.1 \text{ m} = 12.2 \text{ m}$$

$$S_{apex} = 2 \times 5.1 \text{ m} = 10.2 \text{ m}$$

} okay

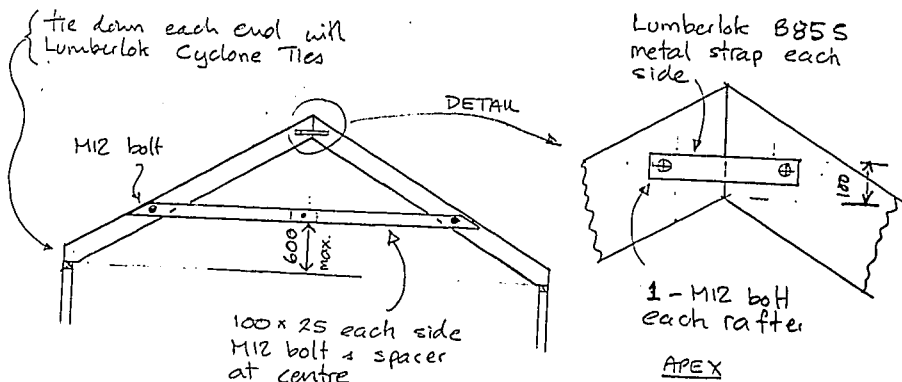
gib board lining will reduce this



ELEVATION

Beam Over Garage

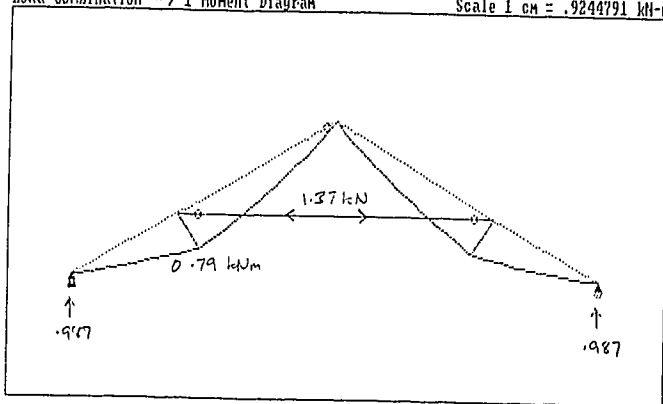
1. Ensure 250UB sits on timber post.
2. Similar fixing at each end.
3. Fix post to bottom plate with 2 - Lumberlok Multigrips or Z-nails (wire deep)



EVERY SECOND RAFTER OVER LOUNGE & KITCHEN

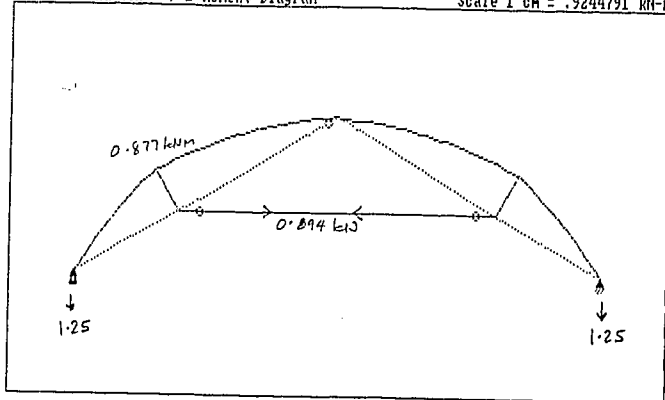
Load Combination --> 1 Moment Diagram

Scale 1 cm = .9244791 kN-m



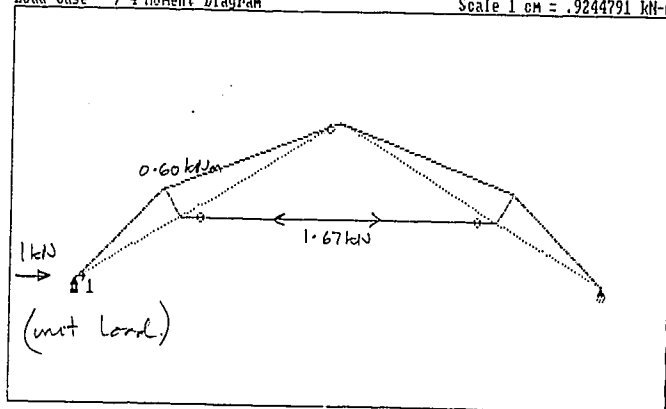
Load Combination --> 2 Moment Diagram

Scale 1 cm = .9244791 kN-m



Load Case --> 4 Moment Diagram

Scale 1 cm = .9244791 kN-m



A. Macdonald  
Option 8 200x50's 600 ctrs pinned at apex  
Pitched Roof Rafters

\*\*\* JOINT DISPLACEMENTS \*\*\*

Load Case Results		X-Displ. (mm)	Y-Displ. (mm)	Rotation (rad)
Joint Number	Load Case			
one roof wall	DL - 1	-2.84352	0.00000	-.00281
	LL - 2	-1.74164	0.00000	-.00172
	WL - 3	5.12880	0.00000	.00515
	LR - 4	2.89046	0.00000	.00280
		7.9		
2	1	-1.43925	-2.34829	-.00146
	2	-.88153	-1.43831	-.00090
	3	2.60588	4.29032	.00270
	4	1.47607	2.33332	.00142
3	1	-1.42176	-2.41582	-.00076
	2	-.87082	-1.47968	-.00047
	3	2.58440	4.39604	.00149
	4	1.44523	2.40871	.00064
			6.7	
4	1	-1.40427	-2.34829	.00146
	2	-.86011	-1.43831	.00090
	3	2.56292	4.29032	-.00270
	4	1.41438	2.33332	-.00142
5	1	0.00000	0.00000	.00281
	2	0.00000	0.00000	.00172
	3	0.00000	0.00000	-.00515
	4	0.00000	0.00000	-.00280

for rafters at 600 ctr deflections above  
are doubled. Note wind on walls & roof together

$$3 + 4 = 8\text{mm} \rightarrow \text{eaves} \times 2 = 16\text{mm}$$

$$= 7\text{mm} \uparrow \text{apex} \times 2 = 14\text{mm}$$

gib board ceiling will stiffen up roof &  
reduce these okay. These deflections are 50 yr -  
Serviceability wind 25 yr = 88% of this.

**PALMERSTON NORTH  
CITY COUNCIL**

Private Bag 11034  
The Square  
Palmerston North  
NEW ZEALAND

Telephone 0-6-356 8199  
Facsimile 0-6-351 4489

## Regulatory Services

# A28/86

15 April 1997

gw74379

To the Owner/Occupier  
86 Amberley Avenue  
PALMERSTON NORTH

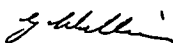
### JETMASTER FIRE INSTALLATION

Further to our conversation with the owner of your property some two months ago, we now write to advise you that we strongly recommend the following remedial work be undertaken to ensure your Jetmaster fire installation is protected from potential nesting of birds in your fireplace cavity.

The cavity space around the fire installation should be sealed at ceiling level but must have two vents to allow air movement. These vents should be covered by grilled vent covers.

For any further clarification, please contact Mr Graham Williams on telephone 356-8199 extension 7825 between 12:00 and 1:00 pm daily.

Yours sincerely



G Williams  
**FIRE SAFETY OFFICER**

N. Macdonald  
Option 9 150x50's 600 ctrs pinned at apex  
Pitched Roof Rafters

\*\*\* MEMBER STRESSES \*\*\*

Load Combination Results

Mem No.	Load Comb	Joint No.	Axial (kPa)	Shear (kPa)	Bending (kPa)	Top Normal (kPa)	Bot Normal (kPa)
1	1	1	-75.0		0.0	-75.0	-75.0
		2	-45.0		-4,863.3	-4,908.3	4,818.3
	2	1	56.7		0.0	56.7	56.7
		2	69.8		3,156.0	3,225.8	-3,086.3
	3	1	-57.3		0.0	-57.3	-57.3
		2	-44.3		6,481.2	6,436.9	-6,525.4
2	1	2	-218.8		-4,863.3	-5,082.1	4,644.5
		3	-173.7		0.0	-173.7	-173.7
	2	2	126.7		3,156.0	3,282.7	-3,029.3
		3	146.2		0.0	146.2	146.2
	3	2	202.7		6,481.2	6,683.9	-6,278.5
		3	222.3		0.0	222.3	222.3
3	1	3	-173.7		0.0	-173.7	-173.7
		4	-218.8	6.0m >	-4,863.3	-5,082.1	4,644.5 OK
	2	3	146.2		0.0	146.2	146.2
		4	126.7		3,156.0	3,282.7	-3,029.3
	3	3	222.3		0.0	222.3	222.3
		4	202.7	9.0m >	6,481.2	6,683.9	-6,278.5 OK
4	1	4	-45.0		-4,863.3	-4,908.3	4,818.3
		5	-75.0		0.0	-75.0	-75.0
	2	4	69.8		3,156.0	3,225.8	-3,086.3
		5	56.7		0.0	56.7	56.7
	3	4	-44.3		6,481.2	6,436.9	-6,525.4
		5	-57.3		0.0	-57.3	-57.3
5	1	2	202.6		0.0	202.6	202.6
		4	202.6		0.0	202.6	202.6
	2	2	-66.4		0.0	-66.4	-66.4
		4	-66.4		0.0	-66.4	-66.4
	3	2	-288.0		0.0	-288.0	-288.0
		4	-288.0		0.0	-288.0	-288.0

Notes:

1. Axial stress is positive for tension.
2. Shear stress is positive for positive shear.
3. Bending stress is for top of member. Bending stress is positive for tension.
4. Top Normal stress = Axial + Bending. Bottom Normal stress = Axial - Bending.

Name: Hansen House

Location of STOREY	foundation single upper of two lower of two
SITE WIND ZONE: (Table 2.4)	<u>low</u> / medium- high+very-high
EARTHQUAKE ZONE: (Fig 2.2, Table 2.3)	<u>A</u> B+G-

SITE ADDRESS

City/Town or District: Awapuni, Palmerston North  
Street and Number: 86 Amberley Ave  
or  
LOT and D.P. Number: LOT 6 DP 29990

2 FOR EARTHQUAKE	
Roof weight : Average Roof Pitch: Type of Cladding: Earthquake zone: Storey in Roof space:	<u>light</u> heavy 22.5° <u>light</u> heavy A yes <u>no</u>
E = 2.7 B.U.'s/m²	

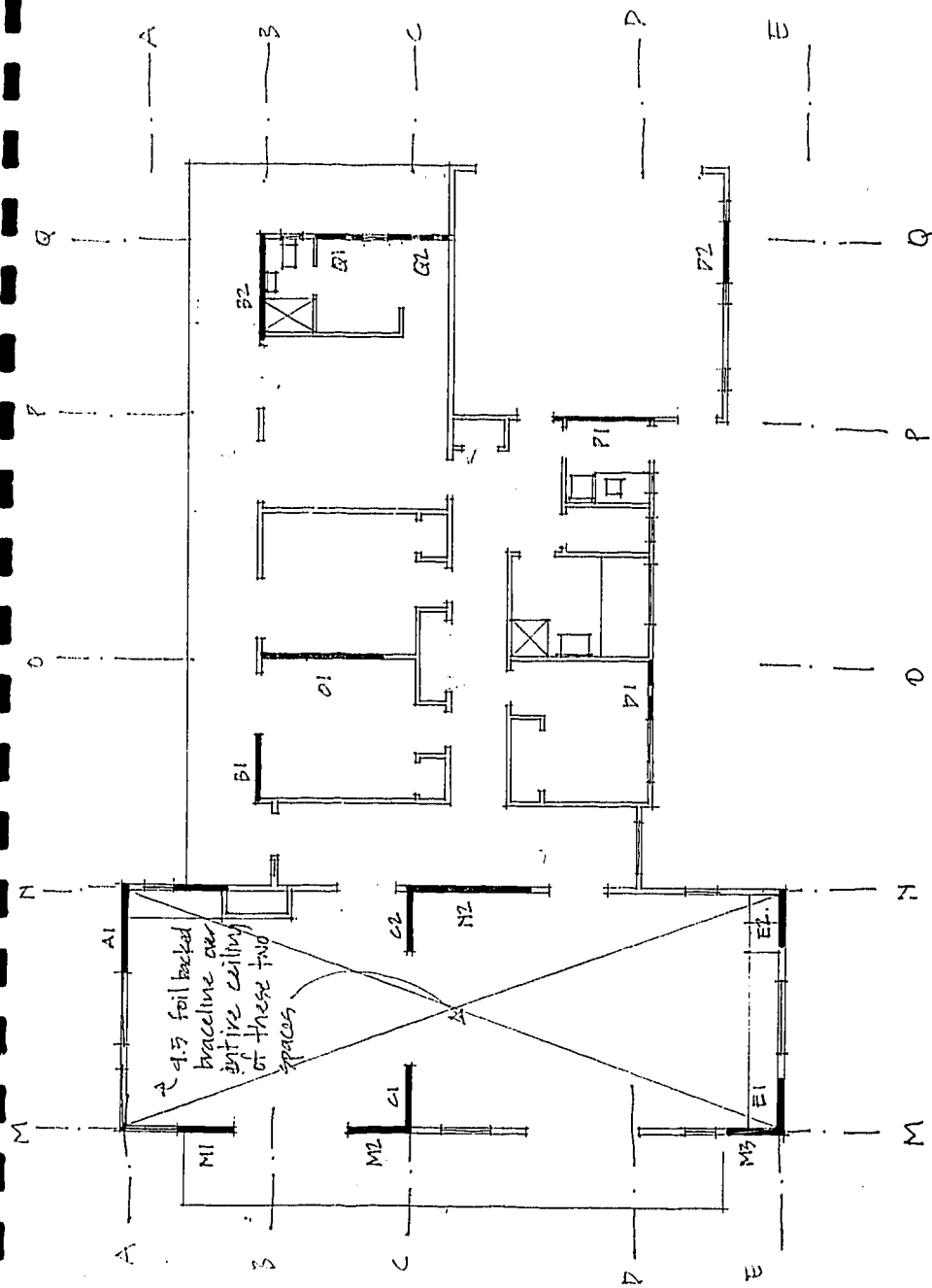
3 FOR WIND	
Building Height: : 4.5 m Roof Height : 1.5 m Storey Height : 3.0 m Design Wind Speed : L	W along = 38 B.U.'s/m W across = 33 B.U.'s/m

4 ROOF or BUILDING LENGTH	BL = 21 m
ROOF or BUILDING WIDTH	BW = 14 m
GROSS ROOF or BUILDING PLAN AREA	GPA = 294 m²

5 EARTHQUAKE LOAD (ACROSS and ALONG)	E x GPA = 2.7 x 294 = 794 B.U.'s
WIND LOAD: ACROSS	W x BL = 33 x 21 = 693 B.U.'s
WIND LOAD: ALONG	W x BW = 38 x 14 = 532 B.U.'s

ALONG						WIND		EARTHQUAKE	
1	2	3	4	5	6	7	8	9	10
LOCATION OF STOREY	Wall or Bracing Line	Minimum Required	Bracing Element Identification	Bracing Type	Length of Element (m)	Rating /m	B.U.'s Achieved	Rating /m	B.U.'s Achieved
FOUND SINGLE STOREY	A	140	A1	BR 7	1.8	145 (x 74)	193	145 (x 74)	193
UPPER STOREY	B	140	B1	BR 5	1.2	115	138	85	102
			B2	BR 7	2.4	75	180	50	120
LOWER STOREY	C	100	C1	BR 5	1.2	115 (x 74)	102	85 (x 74)	102
			C2	BR 5	1.2	115 (x 74)	102	85 (x 74)	102
			C3	BR 7	2.4	75	180	50	120
	D	140	D1	BR 5	1.2	115	138	85	102
			D2	TYPE 1	2.4	42	100	42	100
	E	140	E1	BR 5	1.2	115 (x 74)	102	85 (x 74)	75
			E2	BR 7	1.2	115 (x 74)	102	85 (x 74)	75
(Use one sheet for each storey)						Total Achieved	1337	Total Achieved	1091
						Total Required	532	Total Required	794

ACROSS						WIND		EARTHQUAKE	
1	2	3	4	5	6	7	8	9	10
LOCATION OF STOREY	Wall or Bracing Line	Minimum Required	Bracing Element Identification	Bracing Type	Length of Element (m)	Rating /m	B.U.'s Achieved	Rating /m	B.U.'s Achieved
FOUND SINGLE STOREY	M	210	M1	BR 5	1.2	115 (x 84)	122	85 (x 84)	90
			M2	BR 5	1.2	115 (x 84)	122	85 (x 84)	90
			M3	BR 5	1.2	115 (x 84)	122	85 (x 84)	90
UPPER STOREY	N	210	N1	BR 5	1.2	115 (x 84)	122	85 (x 84)	90
			N2	BR 7	2.4	80 (x 84)	170	70 (x 84)	149
LOWER STOREY	O	100	O1	BR 7	2.4	80	142	70	168
	P	100	P1	TYPE 1	2.4	42	101	42	101
	Q	210	Q1	BR 7	0.9	145	130	145	130
			Q2	BR 7	0.9	145	130	145	130
(Use one sheet for each storey)						Total Achieved	1211	Total Achieved	1038
						Total Required	693	Total Required	794



Please Photocopy

## Gib Board® Wall Bracing Systems Construction Guide

(complies with NZS 3604 : 1990)

Specifications			
Type	Description	Additional Requirements	Nailing & Stopping
Gib 1	9.5mm Gib Board' on one face. Min. length 1800mm	Diagonal brace	Gib 1, 2 and 3
Gib 2	9.5mm Gib Boards' on both sides. Min. length 1800mm	Diagonal brace	30 x 2.5 Gib Clouts' at 150mm ccs. around the perimeter of the bracing element and at 300mm ccs. to intermediate framing. Tape and stop all joints within the bracing element.
Gib 3	9.5mm Gib Boards' on both sides. Min. length 1200mm	No additional requirement	
BR 1	Gib Braceline' on one face. Min. length 1800mm	Diagonal brace	BR 1, 2, 3, 4, 5, 6, 7 and 8
BR 2	Gib Braceline' vertical on one face. Min. length 1800mm	No additional requirement	30 x 2.5 Gib Clouts' fitted with Gib Braceline' washers at 150mm ccs. around the perimeter of the bracing element.
BR 3	Gib Braceline' horizontal on one face. Min. length 1800mm	No additional requirement.	
BR 4	Gib Braceline' on one face. Length 900 to 1200mm	6 kN end-stud fixings	Standard nailing to intermediate framing.
BR 5	Gib Braceline' on one face. Length 1200 to 2400mm	6 kN end-stud fixings	Tape and stop all joints within the bracing element.
BR 6	Gib Braceline' and Gib Board' on opp. sides. Length 1200 to 2400mm	12 kN end-stud fixings	
BR 7	Gib Braceline' on one face 7.5mm ply on other. Length 900 to 2400mm	6 kN end-stud fixings	
BR 8	Gib Braceline' on one face 4.75mm hardboard on other. Length 900 to 2400mm	6 kN end-stud fixings	

### Guidelines for Intersecting Walls

Types BR1 to BR8 may have standard 9.5mm Gib Board' intersecting walls with a min. length of 200mm. Gib Braceline' nails and washers are required around the perimeter of the bracing element (\*). Intermediate vertical joints may be nailed with standard Gib Clouts' at 300mm ccs. and should be tape reinforced and stopped.

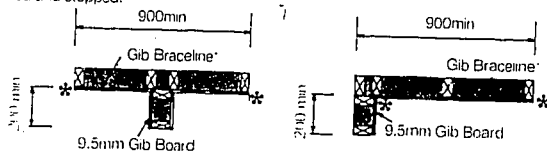


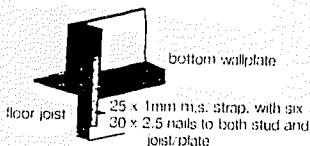
Table K1  
RATINGS OF 2.4 m HIGH WALL BRACING ELEMENTS

Type	Principal bracing element	Secondary bracing element	Rating in bracing units per metre of element length
1	Sheet material to clause K2.2 on one face not less than 1.8 m long	(a) Diagonal brace (to clause K2.3) entirely within the element consisting of: (i) Let in timber; or (ii) Let in metal angle; or (iii) Overlapping pair steel strips; or (iv) Overlapping pair of cut between timber (to clause K2.3)	42
		(b) Diagonal brace, (to clause K2.3) one of which is not entirely within the element consisting of: (i) Overlapping pair of steel strips; or (ii) Overlapping cut between timber pairs of braces	30
2	Sheet material to clause K2.2 on two faces not less than 1.8 m long	(a) Diagonal brace (to clause K2.3) entirely within the element consisting of: (i) Let in timber; or (ii) Let in metal angle; or (iii) Overlapping pair steel strips; or (iv) Overlapping pair of cut between timber (to clause K2.3)	62
		(b) Diagonal brace, (to clause K2.3) one of which is not entirely within the element consisting of: (i) Overlapping pair of steel strips; or (ii) Overlapping cut between timber pairs of braces	47
3	Sheet material to clause K6 on both faces not less than 1.2 m long	None	35
4	Sheet brace to clause K4 0.9 m up to 1.8 m long over 1.8 m long	None	67 83
5	Sheet brace to clause K4.4 not less than 1.8 m long	Sheet material to clause K2.2 on other face	83
6	Diagonal boarding to clause K3 not less than 1.8 m long	None	42
7	Reinforced concrete or reinforced masonry 1.5 m to 3 m 3 m to 6 m 6 m and longer	None	42 100 200

Please Photocopy

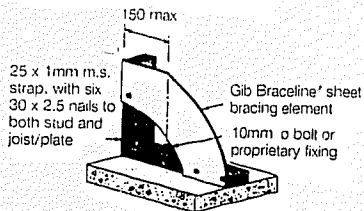
### Detail 1

Gib I connection to timber sub-floor  
(both sides of stud strapped for 12kN)



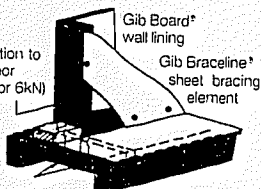
### Detail 2

6kN connection to concrete (both sides of stud strapped for 12kN connection)



### Detail 3

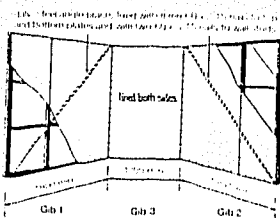
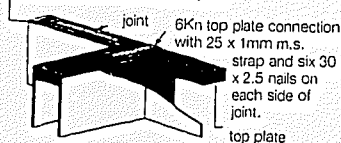
12kN connection to timber sub-floor  
(single strap for 6kN)



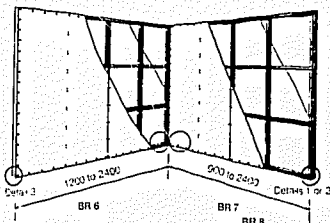
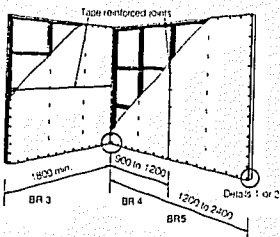
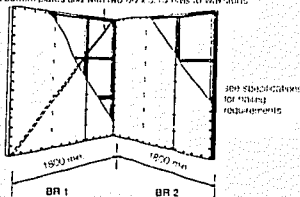
two 25 x 1mm m.s. straps, with six 30 x 2.5 nails to both stud and blocking piece between floor joists

### Top Plate Connections

3kN top plate connection, with 25 x 1mm m.s. strap and three 30 x 2.5 nails on each side of joint.



3kN 3000 mm brace, fixed with three 60 x 3.15 nails to 50 x 100 mm bottom plates and with two 60 x 3.15 nails to wall studs





Private Bag 11034  
The Square  
Palmerston North  
NEW ZEALAND

Telephone 0-6-356 8199  
Facsimile 0-6-351 4456

**PALMERSTON NORTH  
CITY COUNCIL**

## Planning and Development

### CONDITIONS OF BUILDING CONSENT NO. 395.

86 AMBERLEY AVENUE  
PALMERSTON NORTH

LOT NO: 6

DP NO:

OWNER: K HANSEN-JANES

Note if using Gibfoil in ceiling, it will not glue.

Fire-place to be an approved zero clearance devise.

Lathe to be fixed to manufacturers specifications.  
(e.g. stitching screws)

Footing to be 300mm deep.

Trusses - R51 maximum spacing is 900mm check truss layout.

M CHRISTIANSEN  
BUILDING INSPECTOR



Private Bag 11034  
The Square  
Palmerston North  
NEW ZEALAND

Telephone 0-6-356 8199  
Facsimile 0-6-351 4456

## Planning and Development

SPECIFIC INFORMATION RELATING TO ITEMS IDENTIFIED ON

**PROJECT INFORMATION MEMORANDUM  
NO 310**

86 AMBERLEY AVENUE  
PALMERSTON NORTH

LOT NO: 6

DP NO:

OWNER: HANSEN/JONES

6m Dish Vehicle Crossing required on completion of building.  
(Fire hydrant lid to lower for crossing)  
(Section 335 Local Government Act.)

Plans of services attached.

Persons undertaking Plumbing and Drainage work must be qualified in accordance with the Plumbers/Gasfitters and Drainlayers Act 1976.

**PALMERSTON NORTH CITY COUNCIL**  
**APPLICATION FOR PERMIT FOR PLUMBING AND/OR DRAINAGE WORK**

TO: The Engineer

I, the undersigned, hereby apply for permission for the work described herein and set out in the plans attached hereto to be carried out in the premises whose owner and location are shown below:

LOCATION: 86 AMBERLEY AVE

OWNER: Mr / Mrs KAREN HANSEN-JONES

DRAINLAYER: \_\_\_\_\_

Being Lot 6

DP \_\_\_\_\_

BUILDER: \_\_\_\_\_

PLUMBER: \_\_\_\_\_

**1 The installation of:**

FITTING	BASEMENT	GROUND FLOOR	FIRST FLOOR	ABOVE FIRST
BATH		1		
BASIN		2		
SHOWER		2		
SINK		1		
TUB		1		
W.C.		2		
URINAL STALL				
H.W. CYLINDER		1		
TOTAL				

RECEIPT No: 2179

PERMIT No: \_\_\_\_\_

BLD PERMIT No: 395  
 Consent

**2 The Construction of:** SW

40 m 100mm F/Water dr. 75 100mm  
 \_\_\_\_\_ m 150mm F/Water dr. \_\_\_\_\_ 150mm  
 \_\_\_\_\_ F/Water dr. \_\_\_\_\_

**3 Miscellaneous Work (state details):**

ESTIMATED VALUE OF DRAINAGE \$ \_\_\_\_\_  
 ESTIMATED VALUE OF PLUMBING \$ \_\_\_\_\_  
 TOTAL \$ \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

(Builder/Owner/Plumber/Drainlayer)

DATE: \_\_\_\_\_

(For Office Use Only)

CHARGE FOR: \_\_\_\_\_

PERMIT FEES: \_\_\_\_\_

SEWER LATERAL/SADDLE \_\_\_\_\_

SW LATERAL/SADDLE \_\_\_\_\_

SW CROSSING \_\_\_\_\_

WATER CONNECTION RENEWAL \_\_\_\_\_

DRAINAGE \_\_\_\_\_

PLUMBING \_\_\_\_\_

TOTAL \_\_\_\_\_

REMARKS:



# PALMERSTON NORTH CITY COUNCIL

## Project Information Memorandum No...310...

Section 31, Building Act 1991

### OWNER DETAILS

Name: Hansen Jones - G.R. Jones  
Mailing Address: 15 Anaru Place  
P/Nth  
Contact: .....  
Phone: 354 2099 Fax: 354 2938

### PROJECT LOCATION

Street Address: 36 Amberley Ave  
P/Nth  
Legal Description: (as shown on Certificate of Title)  
Valuation Roll Number: .....  
Lot: 6, DP: ..... Section: .....

### PROJECT INFORMATION

New Building ☒ Alteration ☐ Demolition ☐

Intended Use/s (in detail): New 4 Broom house with  
attached garage

#### Intended Life:

Indefinite but not less than 50 years ☒ Specified as ..... years

### FOR COUNCIL USE

Charges, payable for  
uplifting this Project  
Information  
Memorandum, have  
been paid on

Receipt No: 1580

#### This project Information memorandum is:

☒ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

Not yet applied for

No: ..... attached

☐ Notification that other authorisations must be obtained before a building consent will be issued.

☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused

#### This project information memorandum includes:

☐ Information identifying relevant special features of the land concerned

☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings

☐ Details of relevant utility systems

☐ Details of authorisations which have been granted

☐ Details of authorisations which must be obtained before a building consent will be issued

☐ Details of authorisations which have been refused

#### Signed for and on behalf of the Council:

Name: Simon Mori

Position: Admin Assistant

Signature: Simon Mori

Issue Date: 101.3.1.93



# PALMERSTON NORTH CITY COUNCIL

Building Consent No. 395.....

Section 35, Building Act 1991

## OWNER DETAILS

Name: KAREN HANSEN-JONES  
Mailing Address: 15 AWARU PL  
POROHU  
Contact: KAREN  
Phone 3542099 Fax: .....

## PROJECT LOCATION

Street Address: 66 MANUKAU AVE  
POROHU  
Legal Description: (as shown on Certificate of Title)  
Valuation Roll Number: .....  
Lot: 6, DP: ..... Section: .....

## PROJECT INFORMATION

New Building ☒ Alteration ☐ Demolition ☐

Being stage ..... of an intended ..... stages

Estimated value (Inclusive of GST) \$ 110,000

Intended Use/s (in detail): 4 BEDROOM DWELLING

### Intended Life:

Indefinite but not less than 50 years ☒ Specified as ..... years

## FOR COUNCIL USE

Project Type: C3  
Charges payable for the  
uplifting of this Building  
Consent are:  
\$ 764 + GST

BRANZ Levy: \$ 125

Receipt No: 2179

Received: CE/C4/193

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached ...../..... pages headed

"Conditions of Building Consent No. 395".

Signed for and on behalf of the Council:

Name: K. Smith

Position: ADMIN ASSISTANT

Signature: [Signature]

Date: CE/C4/193

Builder: RICHARD WITS



# PALMERSTON NORTH CITY COUNCIL

Code Compliance Certificate No.: 238

Section 43 (3), Building Act 1991

Building Consent No.: 2915

## OWNER DETAILS

Name: KAREN HANSEN-SKINES

Mailing Address: 86 AUBURN AVE

PALMERSTON NORTH

Contact: CAROL

Phone: Fax:

## PROJECT LOCATION

Street Address: 86 AUBURN AVE

PALMERSTON NORTH

Legal Description: (as shown on Certificate of Title)

Valuation Roll Number:

Lot: 6 DP: Section:

## PROJECT INFORMATION

New Building ☒

Alteration ☐

Demolition ☐

Being stage ...1... of an Intended ...1... stages

Intended Use/s (in detail): FOUR BEDROOM DWELLING

Intended Life:

Indefinite but not less than 50 years ☒

Specified as ..... year

## FOR COUNCIL USE

Charges for the issuing of this Code Compliance Certificate are:

\$ 24 + GST

Receipt No: 2179

Received: 09/04/93

[Cross each applicable box and attach relevant documents]

This is:



A final code compliance certificate issued in respect of all of the building work under the above building consent



An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent



This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No. ...." (being this certificate)

Signed for and on behalf of the Council:

Name: M. CHRISTENSEN

Position: Building Inspector

Signature:

Issue Date: 23/4/93



# PALMERSTON NORTH CITY COUNCIL

DATE ISSUED

- 8 APR 1993

CONSENT NO. 395

## OWNER DETAILS

Name: MAREN HANSEN - MRS  
Mailing Address: 15 ALBANY RD  
PAERANGI  
Contact: MAREN  
Phone: 392299 Fax: \_\_\_\_\_

## PROJECT LOCATION

Street Address: 15 ALBANY RD  
PAERANGI  
Legal Description: (as shown on Certificate of Title)  
Valuation Roll Number: \_\_\_\_\_  
Lot: 6, DP: \_\_\_\_\_ Section: \_\_\_\_\_

## PROJECT INFORMATION

New Building ☒

Alteration ☐

Demolition ☐

Stage 1 of an intended 1 stages

Estimated value (Inclusive of GST) \$ 140,000

Intended Use/s (in detail): 4 BEDROOM HOUSE

Intended Life:

Indefinite but not less than 50 years ☒

Specified as \_\_\_\_\_ years

## FOR COUNCIL USE

Project Type: C3

Charges payable for the  
uplifting of this Building

Consent are:

\$ 724.10

BRANZ Levy: \$ 125

Receipt No: 2171

Received: 8/4/93

Date Inspected	REMARKS (e.g. stage reached with work)
	INSPECTOR: M CHRISTIANSEN.
15.4.93	Foundation: Siting OK. 2x D12. D10 at 600 $\phi$ . Beaving OK.
16.4.93	SLAB: POLYSTHENE OVER PLASTERED. REST OK.
25.5.93	FIRE LINE: M.C. 17%. ROCKWOOL TO WALLS. BRACING OK. REQUIRES VENTILATION TO 2 BEDROOMS. BUILDER SAID THEY WERE STILL LOOKING AT WAYS OF PROVIDING THIS VENTILATION. HIP BEAM IN GARAGE NOW SPANS A LESS DISTANCE AND HAS BEEN REDUCED TO A 300 X 100 LIME.
15.6.93	Rock wool in ceiling. PLASTERING. VENTS IN YET
7.7.93	FIREPLACE: JET MASTER INSTALLED GAS IN FLUE, HEAT RITE CHIMNEY (LIVES IN CHARGE). SAID WOULD FIX ONLY BRICK FACE TO PAT.
12.8.93	LIP: INSP BY G Williams and me. Vents in place

COMPLETED (Signature) \_\_\_\_\_

Date 13/8/93

16/8/93

## PALMERSTON NORTH CITY COUNCIL

## APPLICATION FOR PERMIT FOR PLUMBING AND/OR DRAINAGE WORK

To the Engineer

I, the undersigned, hereby apply for permission for the work described herein and set out in the plans attached hereto to be carried out in the premises whose owner and location are shown below:

LOCATION: 36 AMBERLEY AVEBeing Lot 6 DPOWNER: Mr / Mrs Roger Henderson-JonesBUILDER: R CullyDRAINLAYER: D MillerPLUMBER: A Cuff

## 1 The installation of:

RECEIPT No: 2179

PERMIT No:

BLD PERMIT No: 395

Consent

FITTING	BASEMENT	GROUND FLOOR	FIRST FLOOR	ABOVE FIRST
BATH		1		
BASIN		2		
SHOWER		2		
SINK		1		
TUB		1		
W.C.		2		
URINAL STALL				
H.W. CYLINDER		1		
TOTAL				

## 2 The Construction of: SW

4.0 m 100mm F/Water dr. 75 100mm  
 \_\_\_\_\_ m 150mm F/Water dr. \_\_\_\_\_ 150mm  
 \_\_\_\_\_ F/Water dr. \_\_\_\_\_

## 3 Miscellaneous Work (state details):

DATE

COMMENTS

16/4

underfloor INSP OK Ben we's B/vented Noxious Site

19/5

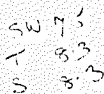
Prelim - Heavy Gauge Cu Hot, Polybutylene Cold Tested To 200 PSI

9/6/93

Drawings OK

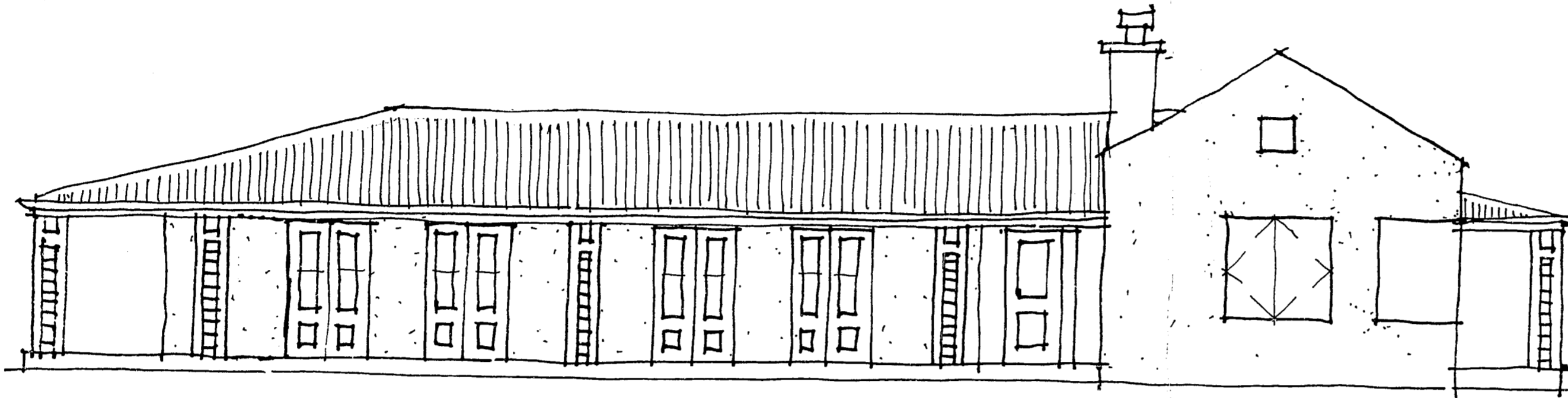
25/6/93

Drawings drawn

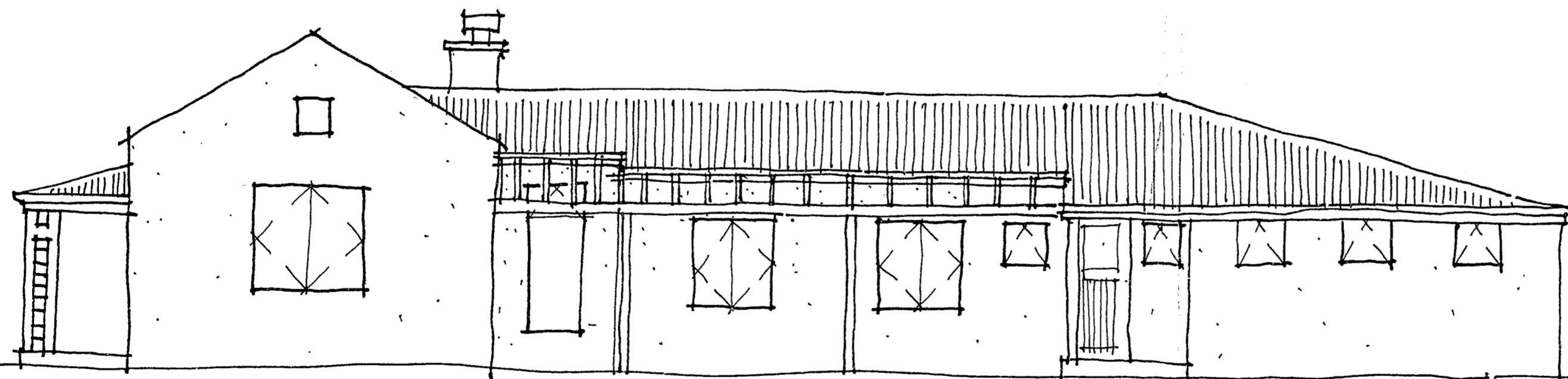


86 AMBERLEY Ave

ALL DIMENSIONS TO BE VERIFIED ON  
SITE BEFORE COMMENCEMENT OF WORK



north elevation



south elevation.

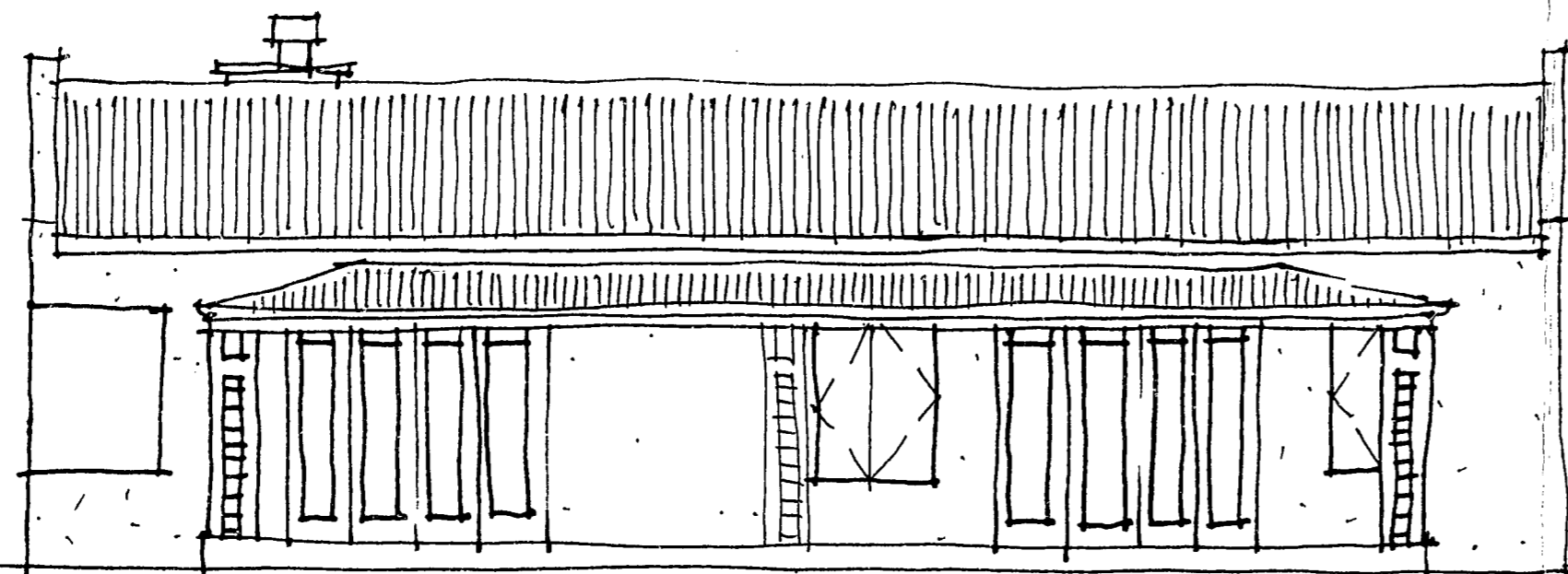
hansen house

CUSTANCE  
ASSOCIATES  
INTERIOR & ARCHITECTURAL  
DESIGN CONSULTANTS  
PO BOX 5324 WELLINGTON NEW ZEALAND  
TELEPHONE 733000 FACSIMILE 733338

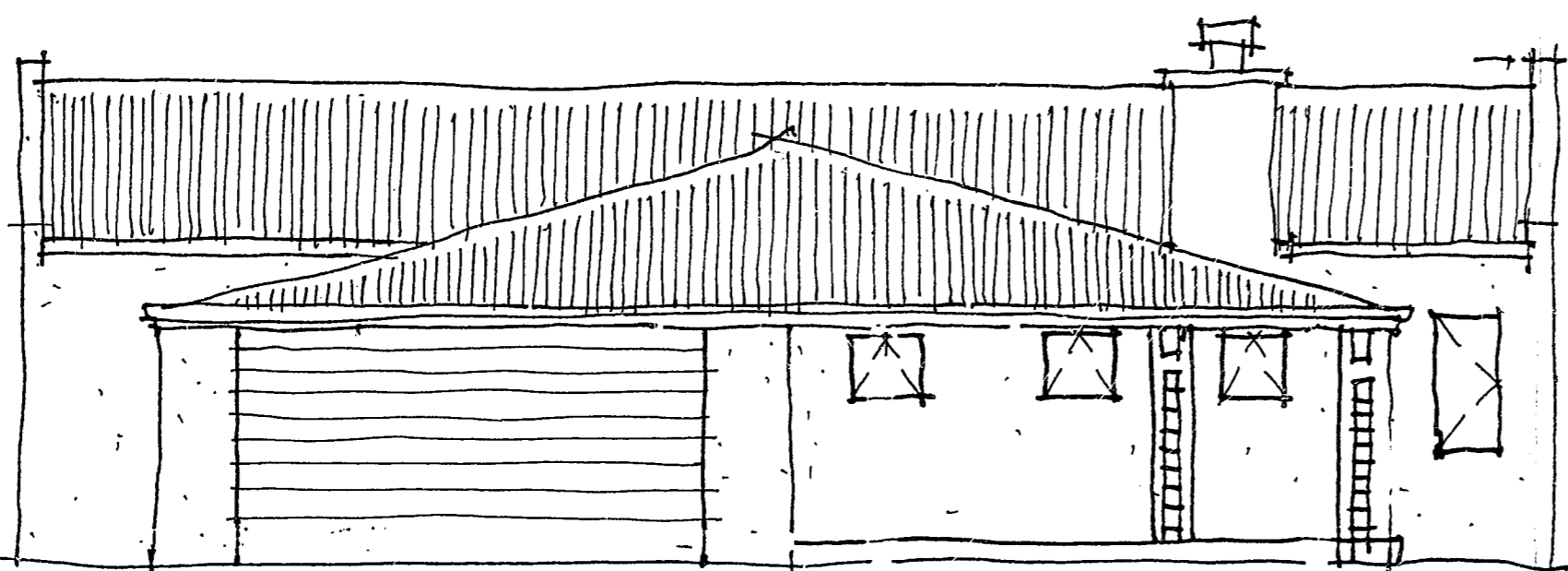
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scale	1:100
sheet title	Proposed House 86 Amberley Av Awarua.
job no.	448
urg. no.	2

INCHES

MICROBOX



west elevation



garage door.

east elevation.

hansen house

# HOUSE CONSTRUCTION.

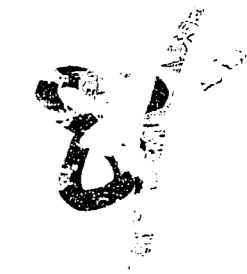
ROOF - corrugated coloursteel on  
timber trussed framing.

CLADDING - Render on extruded  
polystyrene

FRAMING - 100x50 timber framing

FLOOR - reinforced concrete slab  
on ground.

ALL DIMENSIONS TO BE VERIFIED ON  
SITE BEFORE COMMENCEMENT OF WORK



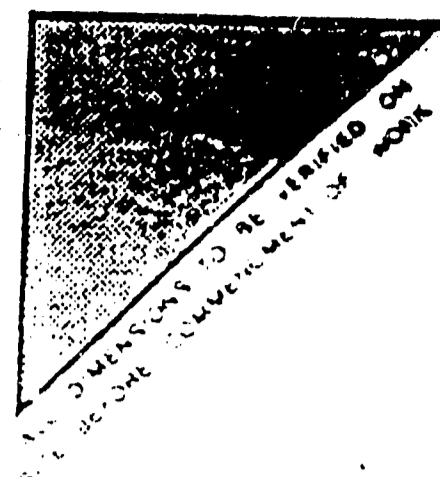
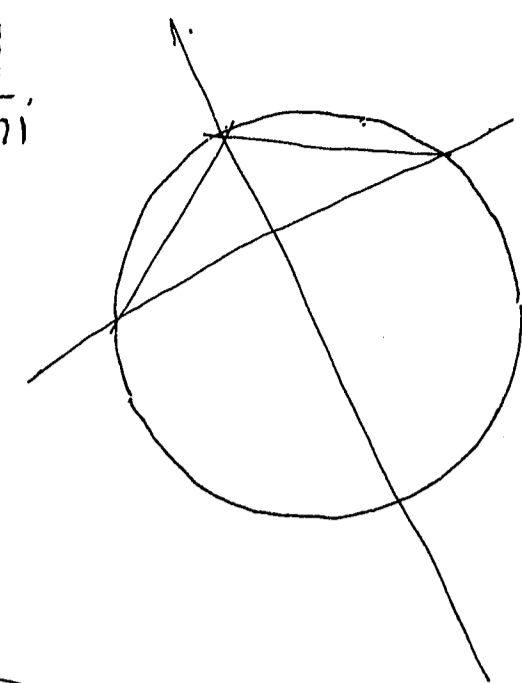
**CUSTANCE ASSOCIATES**  
INTERIOR & ARCHITECTURAL  
DESIGN CONSULTANTS  
P.O. BOX 3524 WELLINGTON NEW ZEALAND  
TELEPHONE 730300 FACSIMILE 733338

date feb 93	
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sheet title Proposed House 86 Amberley Av Awapuni.	
job no. 448	drg. no. 3

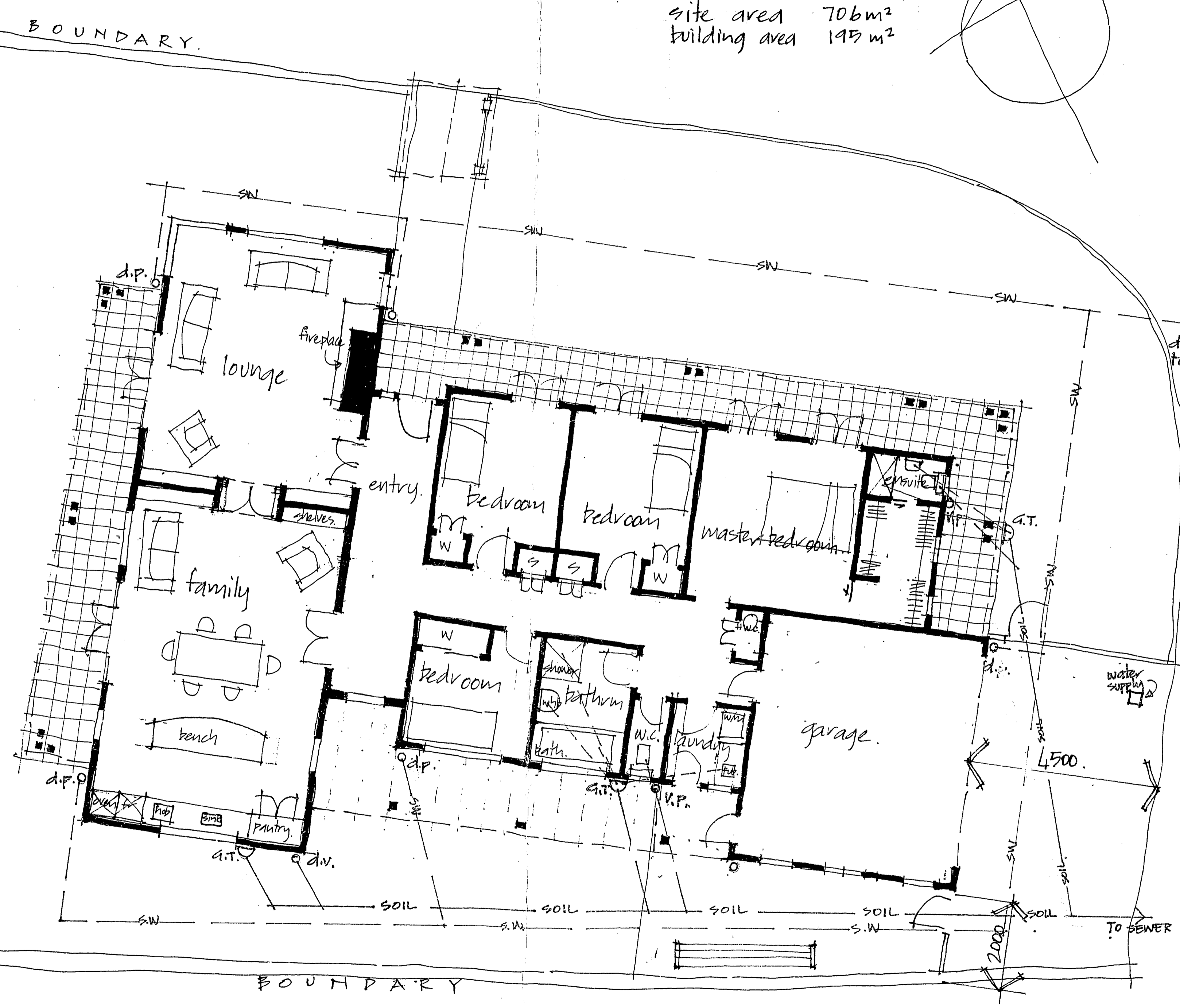
INCHES

MICROBOX

LEGAL DESCRIPTION  
 86 Amberley Ave, Anapuni  
 P.P. 29990 PT 1 LOT 6.  
 site area 706m<sup>2</sup>  
 building area 195m<sup>2</sup>



Amberley Avenue



CUSTANCE ASSOCIATES  
 INTERIOR & ARCHITECTURAL  
 DESIGN CONSULTANTS  
 P.O. BOX 3524 WELLINGTON NEW ZEALAND  
 TELEPHONE 750000 FACSIMILE 733278

date feb 93	
scale 1:100	
sheet title Proposed House 86 Amberley Ave Anapuni.	
job no. 448	urg. no. 1

hansen house.

INCHES

MICROBOX



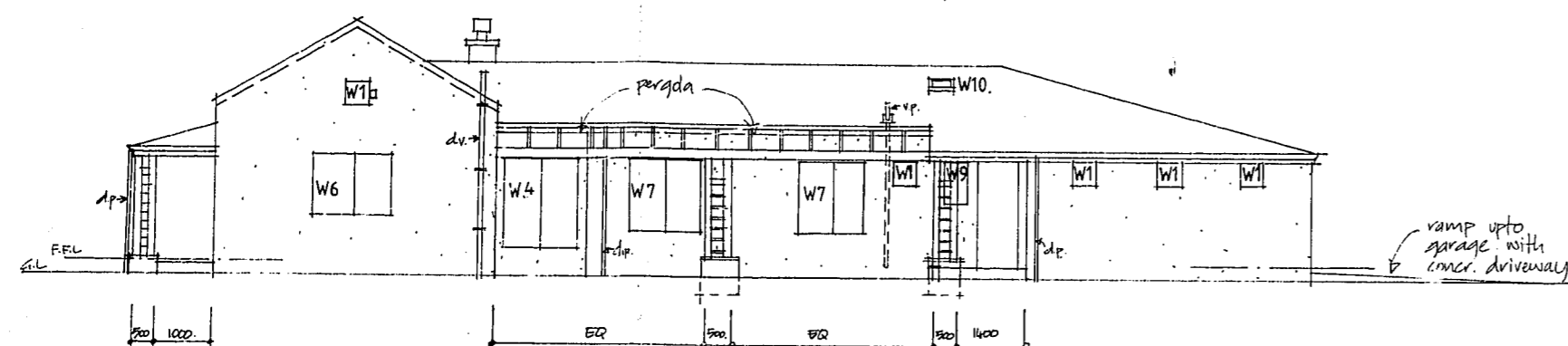
style line (paint finish)  
to all roofs, colour selected  
by owner.

ex 125 x 125 dressed posts  
to verandah, refer details.

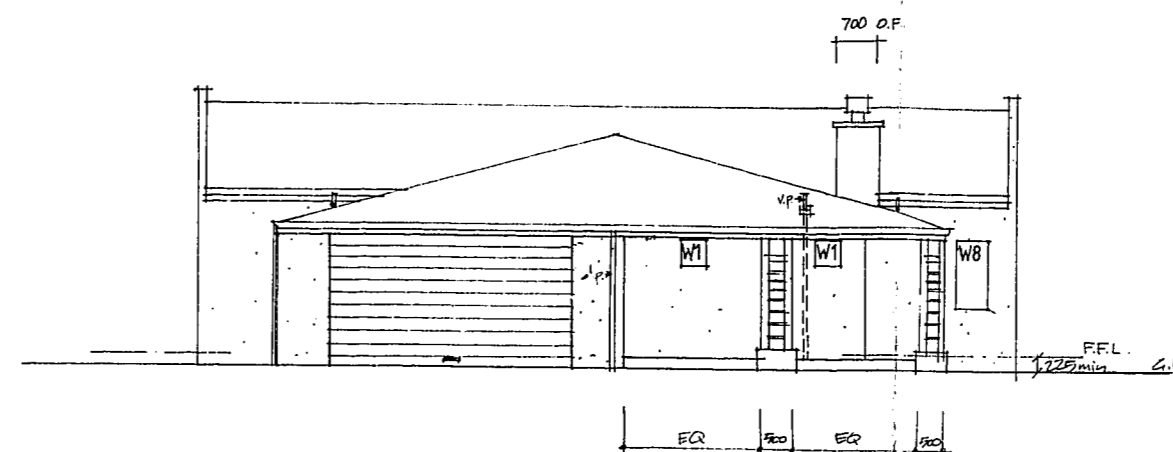
North

to all external walls, pebble  
dash, stucco on exposed  
metal lath on building  
paper or triple 's' building  
sheathing on 100x90 framing.  
200 x 100 lintel cantilevered  
windows W2 & W3, W5 & W3.

West

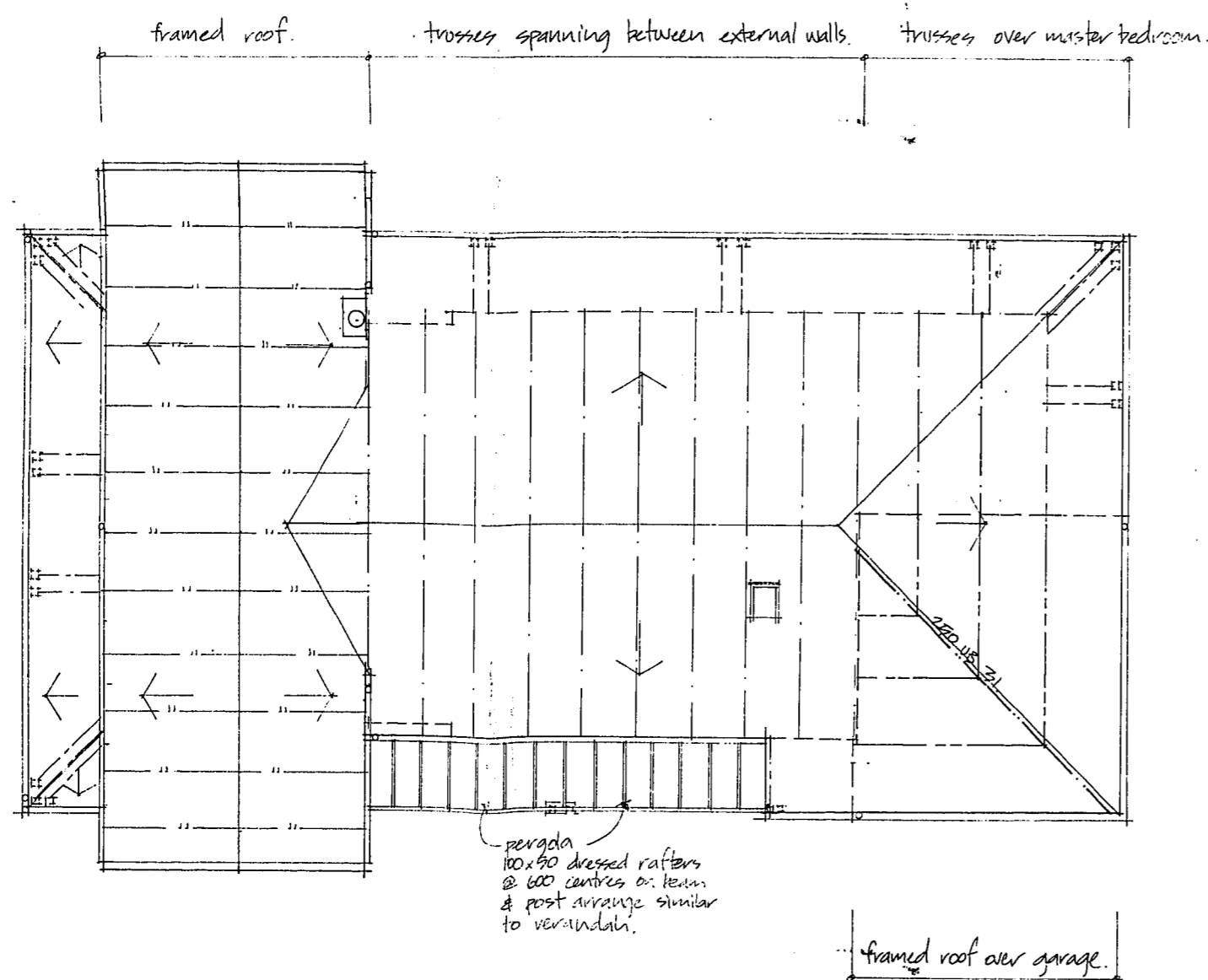


South

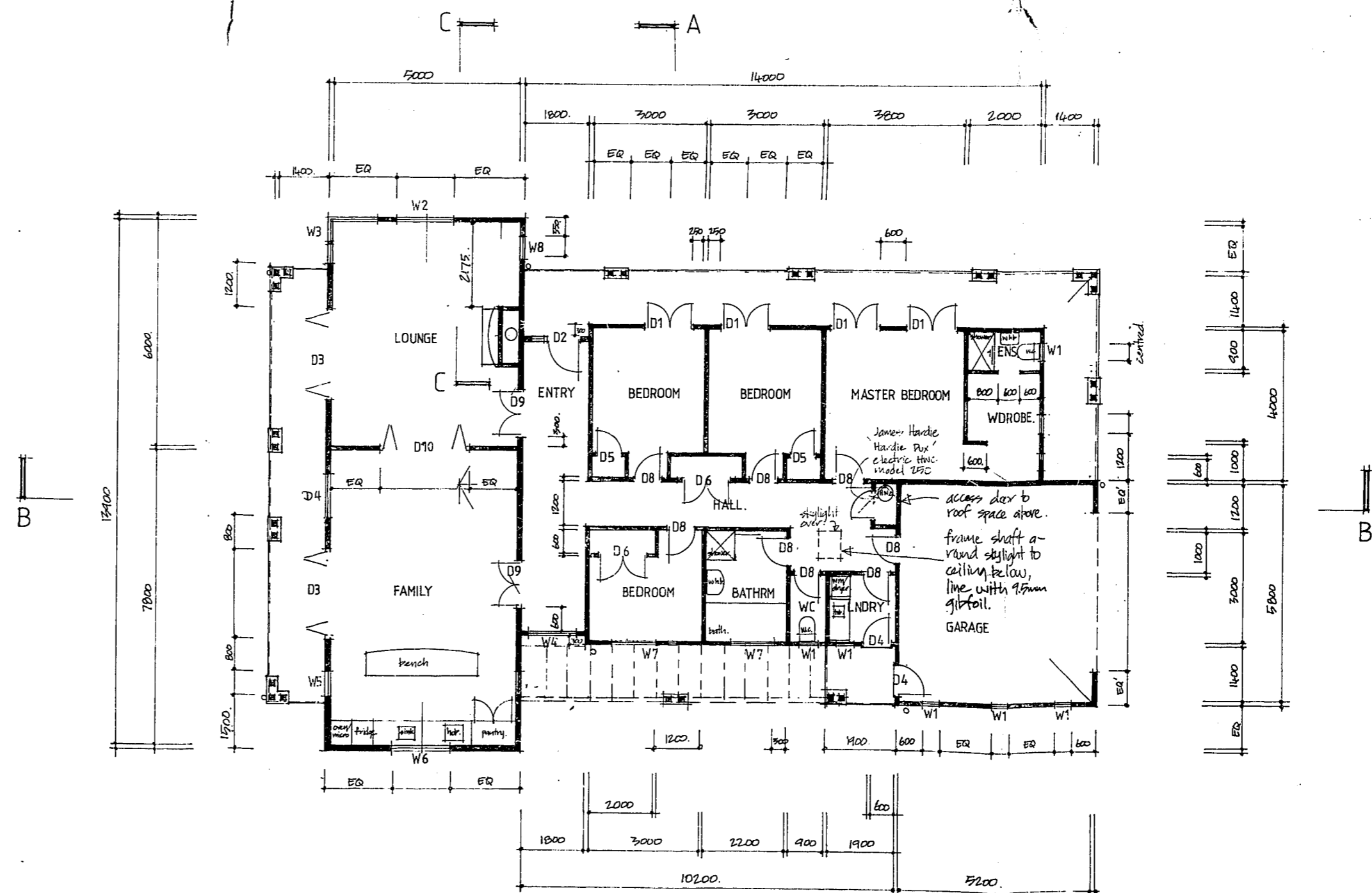


East

- 200 x 350 rafters @ 1200  
center to center
- 150 x 50 rafters centred  
on verandah posts (checked)
- 200 x 90 purlins over garage  
(checked, knot free)
- equally spaced trusses  
spanning between external  
walls.
- 250 UB 31 running down  
ridge line of garage.



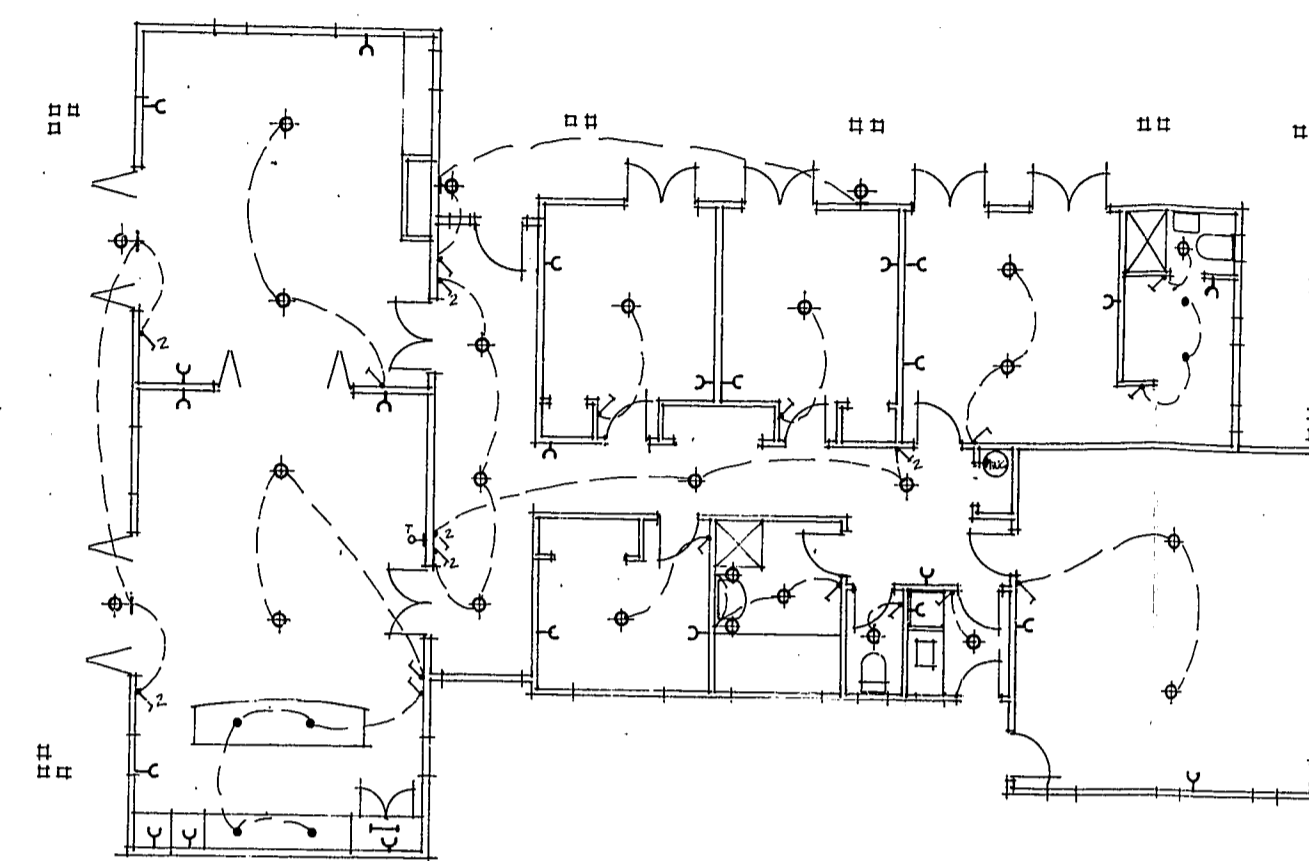
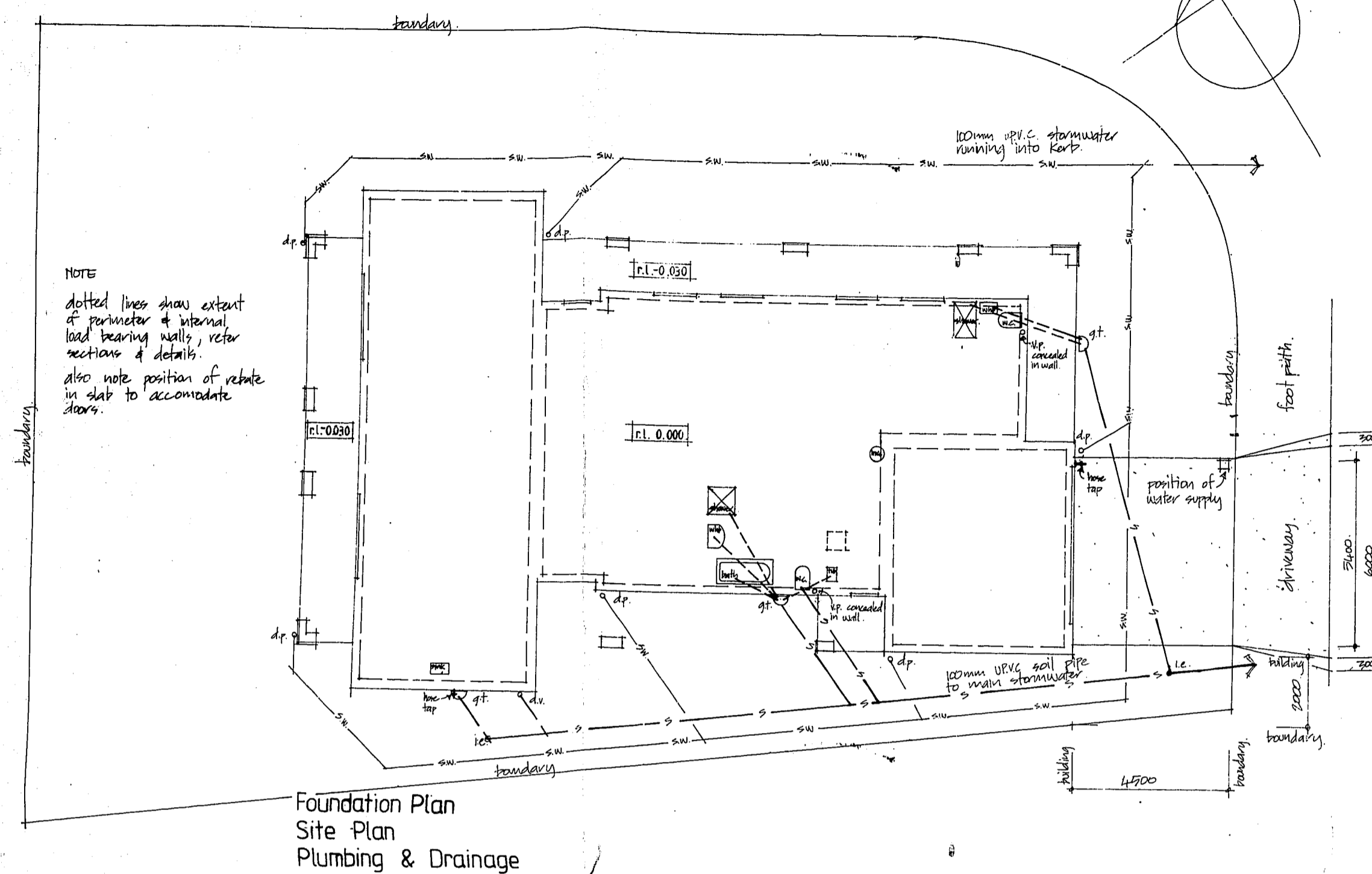
Roof Plan



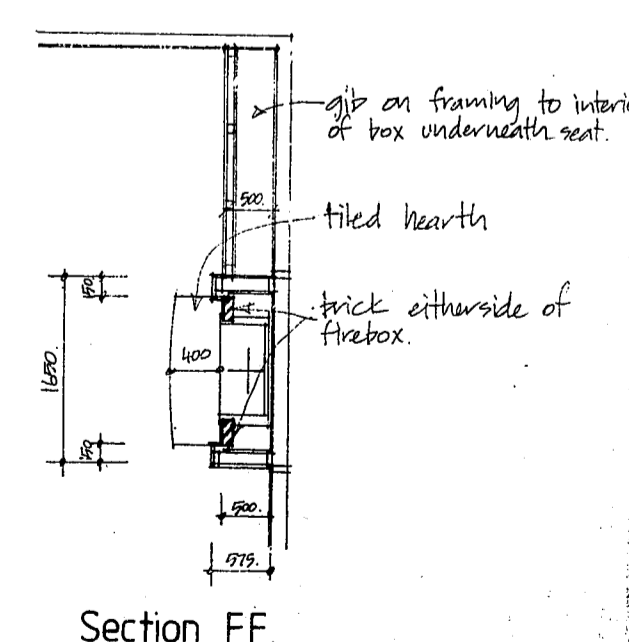
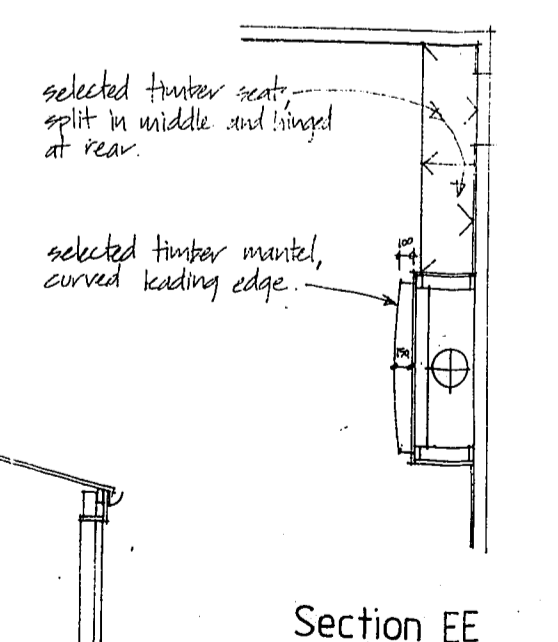
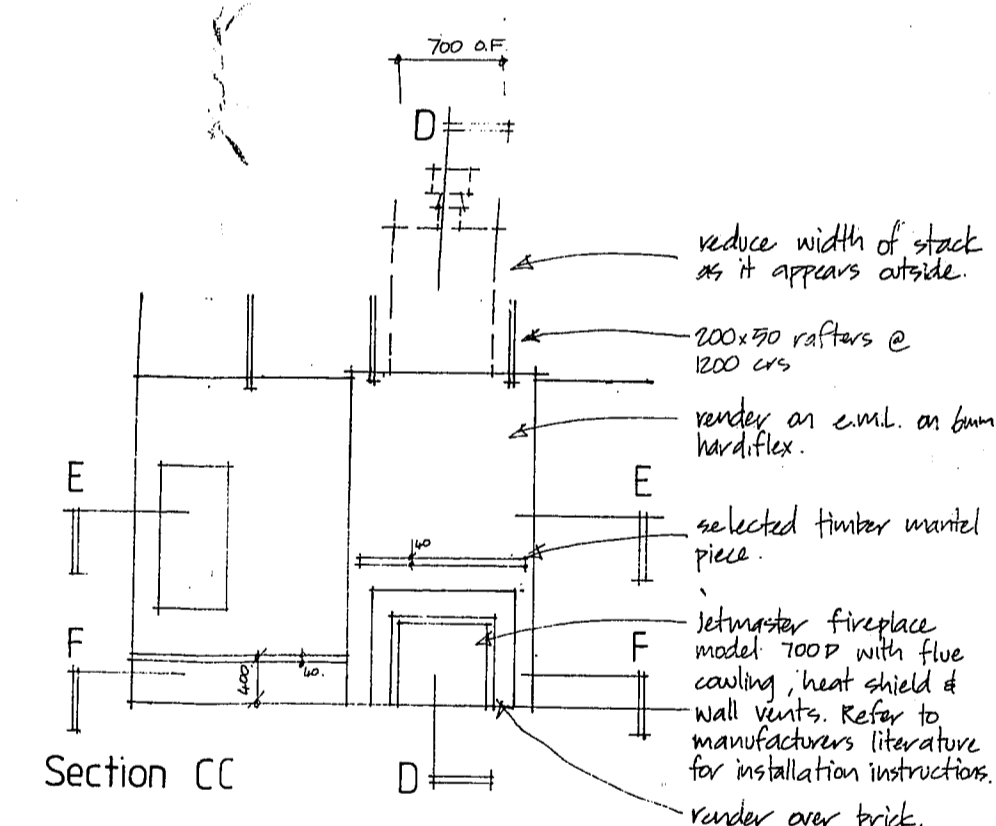
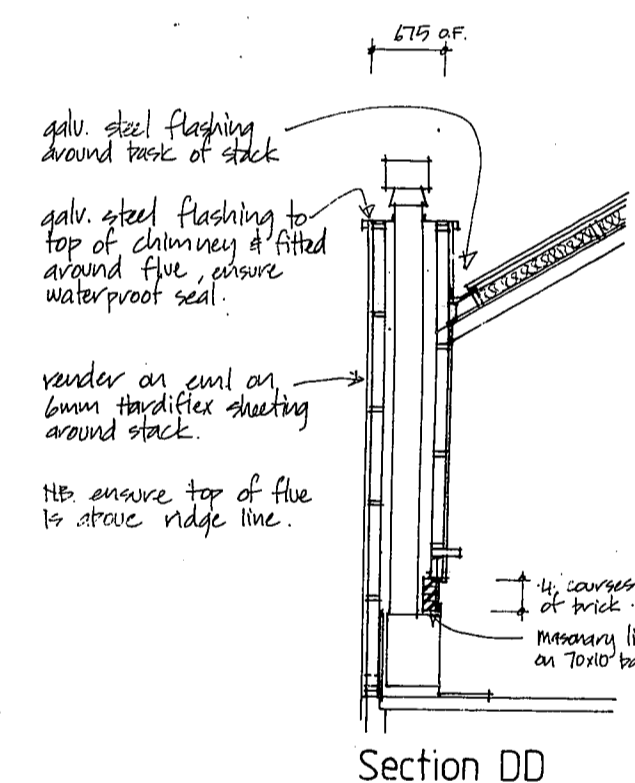
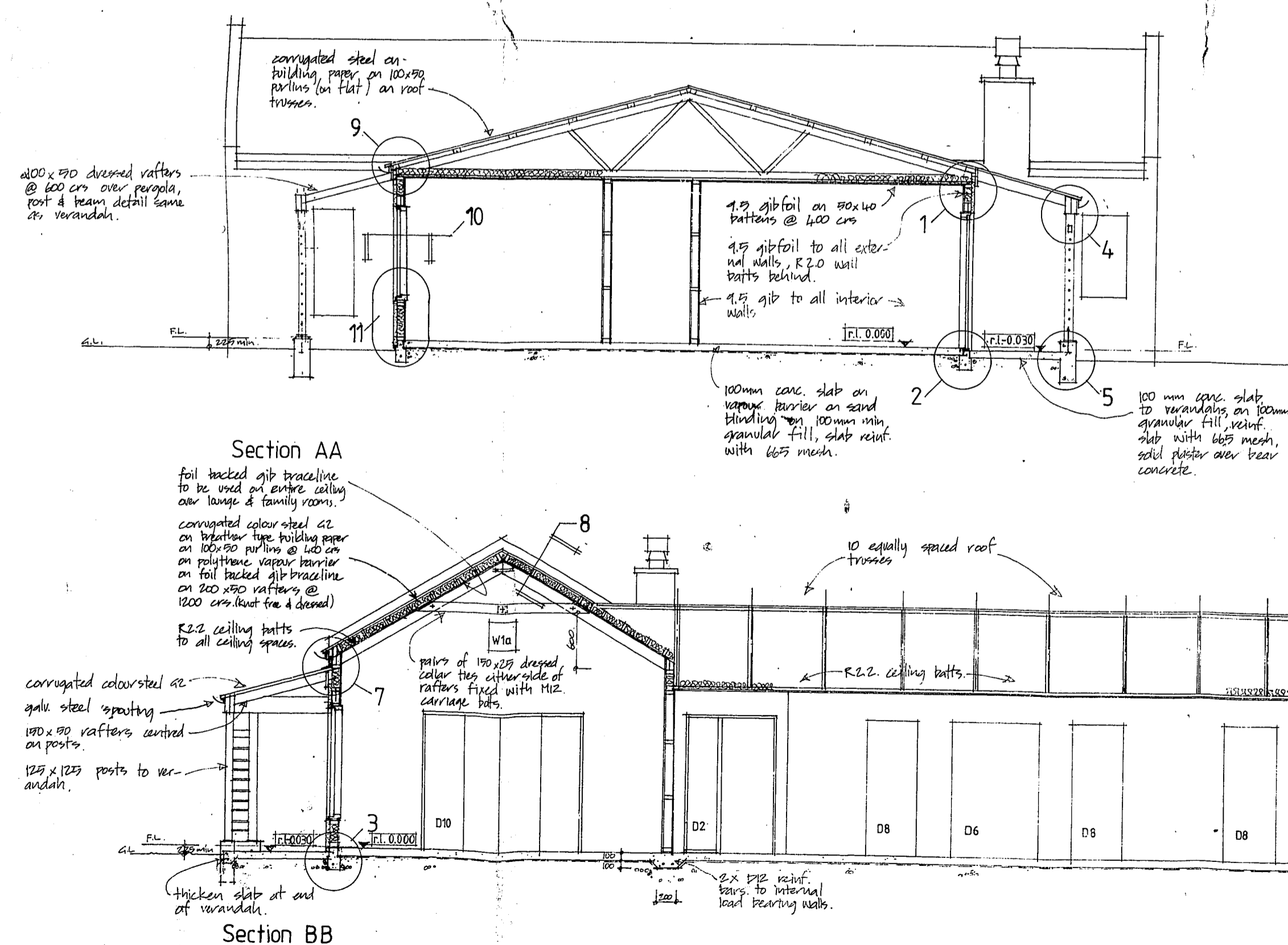
Plan

CUSTANCE  
ASSOCIATES  
INTERIOR & ARCHITECTURAL  
DESIGN CONSULTANTS  
PO BOX 3584 WELINGTON NEW ZEALAND  
TELEPHONE 720050

date MAR 93  
scale 1:100  
sheet title  
Elevations  
Roof Plan  
Plan  
job no.  
448  
drg no.  
1



- ① telephone.
  - ② ceiling mounted light
  - spotlight.
  - ③ wall mounted light.
  - ④ electrical outlet.
  - ⑤ door activated fluorescent light switch
  - ⑥ two way switch.
- all electrical fittings selected by owner.

[illegible]

**CUSTANCE ASSOCIATES**

INTERIOR & ARCHITECTURAL  
DESIGN CONSULTANTS  
PO BOX 3524 WELLINGTON NEW ZEALAND  
TELEPHONE 730000 FACSIMILE 735333

Date: MAR 22

scale 1:100 1:50

sheet title	
-------------	--

Foundation Plan  
Electrical Plan

Electrical Plans  
Sections  
Site Plan

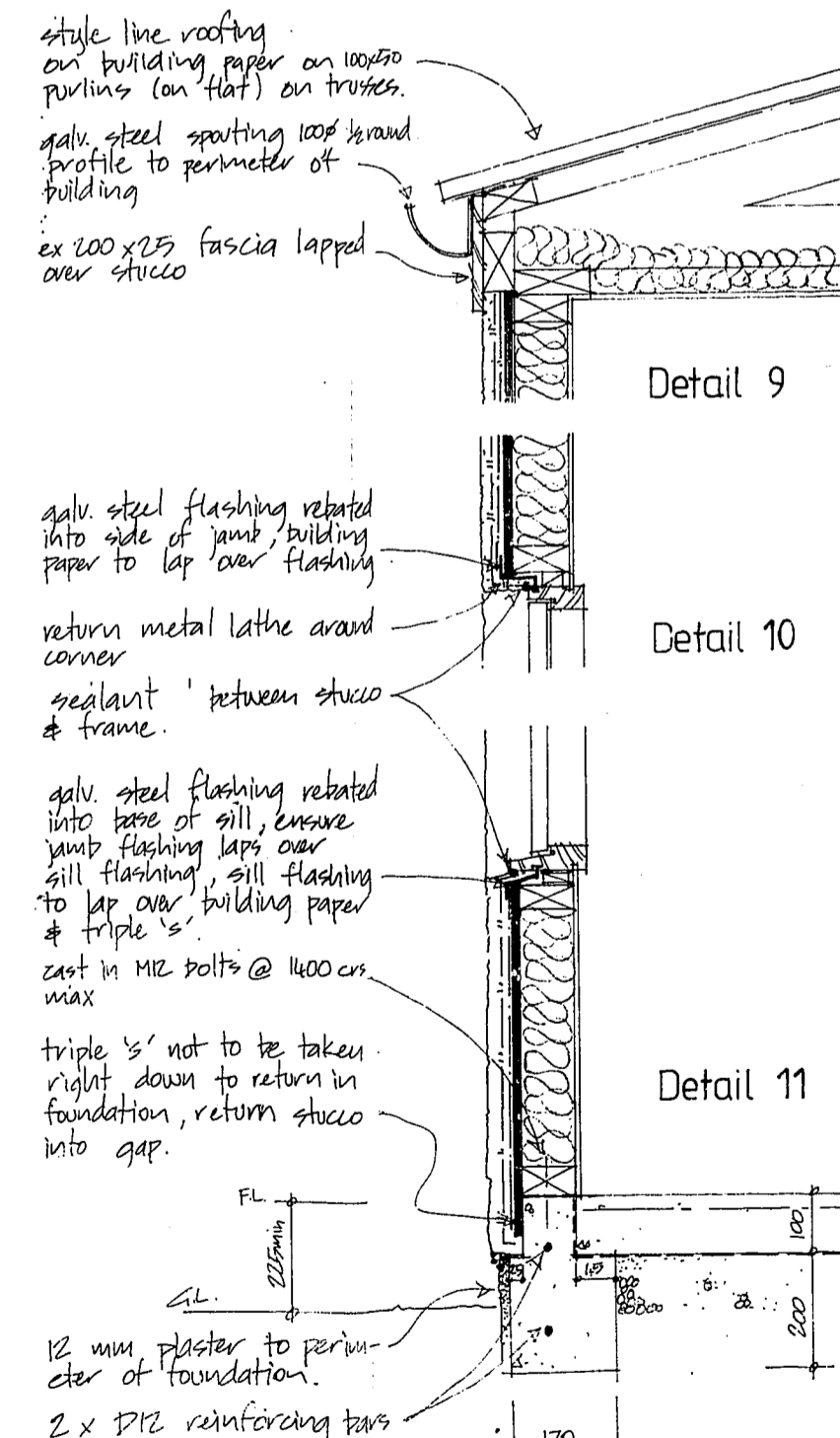
## Site Plan Plumbing & Drainage

job no.	drg no.
448	2

7	4.40
---	------

100

100

[illegible]

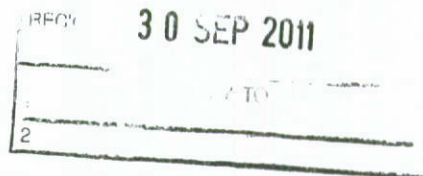
**CUSTANCE ASSOCIATES**  
INTERIOR & ARCHITECTURAL  
DESIGN CONSULTANTS  
PO BOX 389 WELLSFORD NEW HAMPSHIRE 03090  
TELEPHONE 736-0600 FACSIMILE 736-0333

date MAR 93	
scale 1:50 1:10	
sheet title Joinery Details	
job no. 448	org. no. 3



27<sup>th</sup> September 2011

Palmerston North City Council  
P.O. Box 11034  
Palmerston North 4442



Dear Sir/Madam,

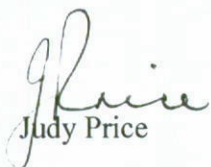
Please find enclosed the permits for the following woodburning fires to be installed:

- 1) Permit No. 27607 Mr. Grant Miller, 1 Strachan Way, Palmerston North
- 2) Permit No. 27429 Mr. J Schmid, 73A Ferguson Street, Palmerston North

I would ask however, that these permits be cancelled and a credit be sent to Firezone Home Heating. Neither of these fires will be installed by Firezone.

We appreciate your help with this matter, and apologise for any inconvenience this may cause you & your staff. If you have any queries don't hesitate to call me.

Regards  
Firezone Home Heating Solutions

  
Judy Price

# Application for PIM and/or Building Consent for the Installation of a Solid Fuel Heating Appliance

27607

OFFICIAL RECORD  
FOR ACTION

REC'D 26 JUL 2011

PNCE

1

2

Building Services

Section 33 or Section 45, Building Act 2004

## Application

I request that you issue a:

☐ Project Information Memorandum

☒ Building Consent

☐ Amendment to existing Building Consent

BC No. \_\_\_\_\_

For the building work described in this application [tick one or more as applicable]

Value of the Solid fuel appliance and installation (including Goods And Services Tax) \$ 7200-00

## Building

Street address of building:

1 STRACHAN WAY.  
PALMERSTON NORTH.

Legal description of land and where  
building is located:

Lot: 6 D.P: 72610.

Number of levels:

[include ground level and any levels below ground]

ONE.

Current, lawfully established, use:

[include number of occupants per level and use if more  
than 1]

DOMESTIC DWELLING.

Year first constructed: [approximate date is  
acceptable eg: 1920s or 1960-1970]

Owner [All contact details must be in New Zealand.]

Name of owner:

[eg, Mr, Mrs, Miss, Dr if an individual]

Mrs Mrs MILLER.

Contact person:

[insert n/a if the applicant is an individual]

n/a.

Mailing address:

1 STRACHAN WAY.

Phone numbers

Landline:

06) 353 3339

Mobile:

Email address:

Evidence of ownership is  
attached to this application:

☐

Certificate of Title

☐

Agreement for Sale  
and Purchase

☒

Rates Demand

27607

**Agent** [only required if application is being made on behalf of the owner]**Name of agent:** Firezone Home Heating Solutions**Contact person:** \_\_\_\_\_**Street address / registered office:** \_\_\_\_\_**Phone number:** \_\_\_\_\_ **Landline:** Firezone Home Heating SolutionsP.O. Box 4210606 Tremaine AvenuePALMERSTON NORTH 4410Ph 357 8875**Facsimile number(s):** sales@firezonehomeheating.co.nz**Email address(es):** \_\_\_\_\_**First point of contact for communications with the council/building consent authority:** Judy Price**The Project: Installation of the solid fuel heating appliance****State Make and Model of Appliance being installed:**MASPORT LE 4000 ZERO CLEARANCE MODEL☐ **Free Standing**☒ **Inbuilt**☐ **New appliance**☐ **Second hand appliance**

[Second hand appliances must be certified by an approved certification agency and a copy provided at time of application]

**Is a wetback being installed?**☐ **Yes** ☒ **No****Intended Specified life of the solid fuel appliance:**Freestanding: **5 years** (unless otherwise specified \_\_\_\_\_ yrs)Inbuilt Fire: **15 years** (unless otherwise specified \_\_\_\_\_ yrs)**Building Consent Compliance****The building work will comply with the building code & standard as follows:** [if you're not sure about the clauses & standard listed, talk to the BCA or your agent]

Clause [tick relevant clause number of building code & standards]	Means of compliance [refer to the relevant compliance document(s) or detail or alternative solution in the plans and specification; if not applicable, put n/a]	Waiver/modification required [state nature of waiver or modification of building code required; if not applicable, put n/a]
<b>B1</b> Structure ( <i>chimney/flues and hearths</i> )	ASI	
<b>B2</b> Durability ( <i>maintenance</i> )	ASI	
<b>C1</b> Outbreak of fire (C9 – 9.1.2 seismic restraints)	Umi	
<b>E2</b> External moisture ( <i>roof penetration details</i> )	ASI	
<b>F7</b> Warning systems ( <i>smoke alarms</i> )	ASI	
<b>G12</b> Water Supplies ( <i>plumbing installation</i> )		
<b>NZS 2918:2001</b> ( <i>installation</i> )		

27607

**Signature:**

Signature of the owner/agent on behalf of and with the authority of the owner:

Name of person signing:

JUDY PRICE.

Date: 24-7-11.

**Council use only**

PIM type

Building consent type

Receipt number

INVOICE

Date received

26-7-11

**Contacts:****Installer:**

Business/name:

M &amp; W Installations

Address:

Dave Keenan  
33 Eyre Street

Daytime:

Feilding 4702

After hours:

Ph 021 453 473  
Reg No 1331

Registration/qualification:

**Plumber:**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Builder**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Other:**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Privacy Information:**

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to regularly forward these to Statistics NZ. The Council stores the information on a public register which must be supplied (as previously determined by the Ombudsman) to whomsoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

## Please complete prior to application for Building Consent

Pre-Application checklist:		(Tick when information is provided)	✓	Council Check
a	Ministry for the Environment Approved Wood burner. (If site is >2 ha the wood burner does not require Mfe approval)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
b	Copy of manufacturer's specifications and installation dimensions.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
c	Clearly specify the appliance to be installed. (Where manufacturers literature contains more the one type of appliance.)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
d	Floor plan of the dwelling provided showing the location of the proposed fire installation.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
e	Location of the smoke detectors shown on floor plan.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
f	Roof plan provided showing the flue location.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
g	Chimney / flue flashing detail provided.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	
h	Elevation provided demonstrating the flue height is in accordance with NZS 2918, i.e. Flue to be min of 1000 mm above roof or when situated within 3 m of ridge, height to be min of 600 mm above ridge.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	

LAST UPDATED  
21-7-11

Only complete the following section if applicable

Where wetback is to be fitted:		✓	Council Check
i	Location of the hot water cylinder (HWC) shown on floor plan of dwelling.	<input type="checkbox"/>	<input type="checkbox"/>
j	Type of HWC specified (i.e. low pressure open vented, elephant or combo)	<input type="checkbox"/>	<input type="checkbox"/>
k	Plumbing specification provided for wetback installation. (i.e. 25mm copper, plumbing pipework schematic including height of cylinder re: wetback)	<input type="checkbox"/>	<input type="checkbox"/>
l	Tempered hot water provided to showers, baths and wash hand basins.	<input type="checkbox"/>	<input type="checkbox"/>
m	Name and registration Number of Craftsman Plumber undertaking wetback installation.	<input type="checkbox"/>	<input type="checkbox"/>

**Please ensure all information required in the checklist above is provided at the time of application or your application will not be accepted.**

# Processing Checklist – Freestanding and Inbuilt Fires

Applicant Name: MR & MRS MILLER PIM No:                      BC No: 27607  
Site Address: 1 STRACHAN WAY Date: 10/8/11

Notes <sup>1</sup> :			
Item to be checked for compliance: with the NZ Building Act 2004, NZBC & Approved Documents <small>Note: N/A = this item is not applicable to this application and has not been assessed</small>	Plans/Specs Checked		Details of Processing & Comments: Comments must be made for: 1. Non-complying items 2. Alternative solutions & how compliance with NZBC achieved
	Complies	N/A	
Pre-application checklist provided <sup>2</sup>	Yes/No		
Any outstanding Building Consents relating to property	Yes/No		Record Building Consent Number(s):
PIM			
Application checklist completed & attached?	Yes/No		
Plans			
Site plans for building location	✓/ / /		
Plumbing			
Sufficient information to process	Yes / No / N/a		Details:
Plumbing Act noted on PIM/BC	Yes / No / N/a		Details:
Building PIM detail			
Building PIM checklist completed & attached?	Yes / No		
Building requirements from PIM noted?	Yes / No		
Specified Life <sup>3</sup>			
Does this building work have a specified life <50 years?	Yes/No		5 years / 15 years / Specified Life (Please circle)
Waiver and Modification			
Application for a waiver or modification?	Yes/No		
Building BC detail			
Fireplace / solid fuel heater shown on floor plan <sup>4</sup>	Yes/No		
Fire Mfe approved for location <2ha <sup>5</sup>	Yes/ No / N/a		
Manufacturers' specifications provided <sup>6</sup>	Yes/ No		
Smoke alarms specified & shown on plans <sup>7</sup>	✓		
Flue location shown on elevations <sup>8</sup>	✓		
Flashings <sup>9</sup>			
Chimney / flue flashing detail	✓		
Manufacturers flu detail provided for timber framed chimney		✓	
Conditions/Endorsements & Inspections entered onto computer system?	Yes/No		

## Processing Checklist – Freestanding and Inbuilt Fires

<b>Notes<sup>1</sup>:</b>			
<b>Item to be checked for compliance:</b> with the NZ Building Act 2004, NZBC & Approved Documents Note: N/A = this item is not applicable to this application and has not been assessed	<b>Plans/Specs Checked</b>		<b>Details of Processing &amp; Comments:</b> Comments must be made for: 1. <b>Non-complying</b> items 2. Alternative solutions & how compliance with NZBC achieved
	Complies	N/A	
<b>Water supply</b>			<b>Plumbing &amp; Drainage Officer to process</b>
Wetback fitted	Yes <input checked="" type="checkbox"/> No		
Plumbing specification for installation.			
Tempered hot water specified			
<b>Conditions/Endorsements &amp; Inspections entered onto computer system?</b>	Yes <input checked="" type="checkbox"/> No		
<b>Plumbing &amp; Drainage - Application approved:</b>	Yes/No	<b>Officer:</b>	<b>Date:</b>
		<b>Signed:</b>	
<b>Building Officer - Application approved for Granting:</b>	Yes/No	<b>Officer:</b>	<b>Date:</b>
		<b>Signed:</b> <i>Sawyer</i>	<i>10/8/11</i>

<sup>1</sup> General notes and observations

<sup>2</sup> PNCC information checklists

<sup>3</sup> NZBC Clause B2 Durability, second hand fires are to be provided with a report from a suitably qualified person to specify that the fire meets the intended life required or if less, clause 113 of the Building Act applies.

<sup>4</sup> Floor plan of the dwelling showing the location of the proposed fire installation.

<sup>5</sup> Refer Approved Wood burner list on Ministry for the Environment website. If site is >2ha the fire does not require MfE approval.

<sup>6</sup> Copy of manufacturer's specifications showing clearances, etc. Copy placed in "green" folder for on site checking

<sup>7</sup> Floor plan of the dwelling showing the location of the smoke detectors.

<sup>8</sup> Flue location in accordance with NZS 2918, i.e. Flue to be min of 1000mm above roof or when situated within 3m of ridge, height to be min of 600mm above ridge

<sup>9</sup> NZBC E2

# Building & Planning Services Project Sheet

Project Address: 1 STRACHAN WAY

Project Description: INSTALL INBURST FIRE

Project Type Definition (circle): 0 1 2 3 4 5 6 7 Commercial or Industrial (circle)

Project Value (\$): \$7200-00 Person Making Payment: FIREZONE (INVOICE)

Does this application rely on a Multiproof certificate? ☐ Yes ☒ No If yes, ensure certificate is provided.

TYPE	Code	V/G NO (PNCC)	Code	AMOUNT
PIM		Lodgement BC	BA	\$
BUILDING CONSENT	<u>JL</u>	Lodgement BC	BA	\$ <u>364-00</u>
BRANZ LEVY - \$1.00 / \$1,000.00 (set fees)		Receipt with BC Lodgement	BA	\$
DBH - \$2.01 / \$1,000.00 (set fees)		Receipt with BC Lodgement	BA	\$
BUILDING CONSENT AMENDMENT		SI against owner of BC	BA	\$
CERTIFICATE FOR PUBLIC USE		SI against owner of BC	BA	\$
EXEMPT/UNAUTHORISED BUILDING WORK/SAFE & SANITARY		020104 4001 GL	BA	\$
CERTIFICATE OF ACCEPTANCE		Lodgement BC	BA	\$
DEVELOPMENT CONTRIBUTION		SI DCON		\$
INSTANT RESOURCE CONSENT		RCON INST		\$
LAND USE CONSENT		RCON LUSE		\$
CERTIFICATE OF COMPLIANCE INCL. OVERSEAS INVESTMENT/EXISTING USE RIGHTS		RCON COMP		\$
SUBDIVISION CERTIFICATE		RCON SUBC		\$
SUBDIVISION DEPOSIT		RCON SUBV		\$
RELOCATION BOND		RBND		\$
CERTIFICATE OF TITLE (CT)		030205 4023 GL		\$
VEHICLE CROSSING (VEHX)		Lodgement BC		\$
COUNCIL ASSET BOND (No GST)		99 99 99 2156 GL		\$
SERVICE CONNECTIONS STORMWATER		640120 4001 GL		\$
SERVICE CONNECTIONS WASTEWATER		640322 4001 GL		\$
SERVICE CONNECTIONS WATER		640442 4001 GL		\$
			TOTAL	\$ <u>364-00</u>

Project Number: <u>27607</u>	Application Accepted by: <u>NICK CLARKE</u>	Name: <u>NICK CLARKE</u>	Signature: <u>[Signature]</u>	Date Accepted: <u>26-7-11</u>
------------------------------	---	--------------------------	-------------------------------	-------------------------------

Comments:

Please tick technical inputs for processing as required:			
Planning	<input checked="" type="checkbox"/> Building	City Networks - Assets (MDC)	
Plumbing & Drainage	Structural	Claims Management	
Environmental Health	NZ Fire Service DRU	Palmerston North Office	
Please tick appropriate processing checklist:			
T-08a Planning processing PIM	T-19f Conservatory	<input checked="" type="checkbox"/> T19o Fires	
MT-08a Planning Processing PIM (MDC)	T-19g Commercial - New Building	T-19p Farm Buildings	
T-08b Building processing PIM	T-19h Commercial Addition & Alteration	T-19q Demolitions	
T-08c PIM/Building Consent Site Visit	T-19i Commercial Minor Alteration	T-19r Multiproof Consent	
T-19a Planning Processing BC	T-19j EH Food Premises	T-19s Shade sails/Small Sheds/Open Sited Buildings	
T-19b New Dwelling	T-19k EH Hair Premises	T-19t Continuous Flow Hot Water	
T-19c Small Addition	T19l EH Hazardous Substances	T-21b Amendment to Building Consent	
T-19d Minor Alteration	T19m Swimming Pool	T-47a Certificate for Public Use C/list	
T-19e Garage/Carport/Pergola/Sleepout	T19n Relocation		

Plans Located in:

☐ Blue Folder    ☐ Codafire    ☐ Plan Drawer    N°:

<b>Project Type</b> (0-7) (C/I) <b>0</b>		<b>Building Officer Responsible</b> <b>Res</b>		<b>FOH Received Date</b> <b>26 / 7 / 11</b>	
				<b>NZFS DRU Input Required?</b> <b>Y / N</b>	
<b>PLANNING/SUBDVN</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
				<b>PK</b>	
				<b>LS</b>	
<b>CLAIMS MANAGEMENT</b> Does this consent require a: Section 72 <b>YES / NO</b> Section 75 <b>YES / NO</b> Memorandum of Encumbrance <b>YES / NO</b>				<b>In Progress:</b>	
				Completed:	
<b>SITE VISIT:</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>BUILDING PIM:</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>BUILDING BC:</b> Name:    Date: <b>OK</b> <b>SAWERS</b> <b>10/8/11</b>				Completed: <b>Y</b> <b>N</b>	
<b>P&amp;D WASTEWATER</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>CITY NETWORKS</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>STRUCTURAL</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>HEALTH/HSNO</b> Name:    Date:				Completed: <b>Y</b> <b>N</b>	
<b>PROJECT DESCRIPTION</b> <b>Install inbuilt fire</b>				<b>Site Folder</b> Cityview Map Site Plan Drainage Plan Copy of PIM Copy of B/C	<b>Address for Inspection</b>
					<b>Checklists to be sent to:</b>
					<b>N/a</b> <input type="checkbox"/>
					<b>Name:</b>
<b>Project Number</b> <b>27607</b>		<b>PIM Number</b>		<b>Address:</b>	
<b>PROJECT ADDRESS</b> <b>1 Strachan way</b>				<b>Provisional Due Date</b> <b>23 / 8 / 11</b>	
				<b>Email:</b>	

## **Code Compliance Certificate**

### **Section 95, Building Act 2004**

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#### **The Building**

Street address of building: 1 STRACHAN WAY  
PALMERSTON NORTH  
Legal description of land where building is located: LOT 6 DP 72610  
Current, lawfully established, use: RESIDENTIAL DWELLING

---

#### **The Owner**

Name of owner: MILLER, GRANT DAVID  
MILLER, MARILYN MARNIE  
Mailing address: 1 STRACHAN WAY  
PALMERSTON NORTH 5301  
Phone number Landline: Day 0064 06 3533339  
Daytime: Day 0064 06 3533339

#### **First point of contact for communications with the council/building consent authority:**

Contact person: HARTS MOWERS & CHAINSAWS  
Mailing address: C/O MOWART LTD  
P O BOX 1196  
PALMERSTON NORTH  
Phone number Landline: day 0064 06 3583779  
Daytime: day 0064 06 3583779  
†Facsimile number: Fax 0064 06 3583002  
Email address: [jane@mowart.co.nz](mailto:jane@mowart.co.nz)

---

#### **Building Work**

Building Consent Number 28182  
Project Description: INSTALL INBUILT FIRE  
Issued by: PALMERSTON NORTH CITY COUNCIL

#### **Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that —  
(a) the building work complies with the building consent.

Signature:



Name:

GRAHAM WAIT  
TEAM LEADER

Position:

BUILDING  
INSPECTIONS & COMPLIANCE

On behalf of:

PALMERSTON NORTH CITY COUNCIL

Date:

23 NOV 2011

# Application for PIM and/or Building Consent for the Installation of a Solid Fuel Heating Appliance



Section 33 or Section 45, Building Act 2004

## Application

I request that you issue a:

☐ Project Information Memorandum

☒ Building Consent

☐ Amendment to existing Building Consent

BC No. 28182

For the building work described in this application [tick one or more as applicable]

Value of the Solid fuel appliance and installation (including Goods And Services Tax) \$ 7000-00

## Building

Street address of building:

1 Strachan Way  
Highbury, Palmerston North

Legal description of land and where  
building is located:

Lot: 6 D.P.: 72610

Number of levels:

[include ground level and any levels below ground]

One

Current, lawfully established, use:

[include number of occupants per level and use if more  
than 1]

Dwelling

Year first constructed: [approximate date is  
acceptable eg: 1920s or 1960-1970]

\_\_\_\_\_

## Owner [All contact details must be in New Zealand.]

Name of owner:

[eg. Mr, Mrs, Miss, Dr if an individual]

G & M Miller

Contact person:

[insert n/a if the applicant is an individual]

\_\_\_\_\_

Mailing address:

1 Strachan Way  
Palmerston North

Phone numbers

Landline:

06 353 3339

Mobile:

\_\_\_\_\_

Email address:

\_\_\_\_\_

Evidence of ownership is  
attached to this application:

☐

Certificate of Title

☐

Agreement for Sale  
and Purchase

☒

Rates Demand

**Agent** [only required if application is being made on behalf of the owner]**Name of agent:****Contact person:****Street address / registered office:****Phone number:****Landline:****Mobile:****Facsimile number(s):****Email address(es):****First point of contact for  
communications with the  
council/building consent authority:**

Jane McLaughlin MOWART Limited  
T/a Harts Mowers & Chainsaws  
PO Box 1196  
Palmerston North

06 358 377906 358 3002jane@mowart.co.nz**The Project: Installation of the solid fuel heating appliance****State Make and Model of Appliance being installed:**LE 4000☐ **Free Standing**☒ **Inbuilt**☒ **New appliance**☐ **Second hand appliance**

[Second hand appliances must be certified by an approved certification agency and a copy provided at time of application]

**Is a wetback being installed?**☐ **Yes**☒ **No****Intended Specified life of the solid fuel appliance:**Freestanding: **5 years** (unless otherwise specified \_\_\_\_\_ yrs)Inbuilt Fire: **15 years** (unless otherwise specified 15 yrs)**Building Consent Compliance****The building work will comply with the building code & standard as follows:** [if you're not sure about the clauses & standard listed, talk to the BCA or your agent]

Clause [tick relevant clause number of building code & standards]	Means of compliance [refer to the relevant compliance document(s) or detail or alternative solution in the plans and specification; if not applicable, put n/a]	Waiver/modification required [state nature of waiver or modification of building code required; if not applicable, put n/a]
<input checked="" type="checkbox"/> <b>B1 Structure</b> ( <i>chimney/flues and hearths</i> )		
<input checked="" type="checkbox"/> <b>B2 Durability</b> ( <i>maintenance</i> )		
<input checked="" type="checkbox"/> <b>C1 Outbreak of fire</b> (C9 – 9.1.2 seismic restraints)		
<input checked="" type="checkbox"/> <b>E2 External moisture</b> ( <i>roof penetration details</i> )		
<input checked="" type="checkbox"/> <b>F7 Warning systems</b> ( <i>smoke alarms</i> )		
<input checked="" type="checkbox"/> <b>G12 Water Supplies</b> ( <i>plumbing installation</i> )		
<input checked="" type="checkbox"/> <b>NZS 2918:2001</b> ( <i>installation</i> )		

**Signature:**

Signature of the owner/agent on behalf of and with the authority of the owner:

Name of person signing:

Jane McLaughlin

Date: 10/10/11

**Council use only**

PIM type

—

Building consent type

J2

Receipt number

2012/90856

Date received

11-10-11

**Contacts:****Installer:**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Builder**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Plumber:**

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

**Other:**

Installer

Business/name:

Address:

Daytime:

Mobile:

After hours:

Facsimile:

Registration/qualification:

MOWART Limited  
T/a Harts Mowers & Chainsaws  
PO Box 1196  
Palmerston North

NZ HHA

**Privacy Information:**

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to regularly forward these to Statistics NZ. The Council stores the information on a public register which must be supplied (as previously determined by the Ombudsman) to whomsoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

## Please complete prior to application for Building Consent

Pre-Application checklist:		(Tick when information is provided)	✓ Council Check
a	Ministry for the Environment Approved Wood burner. (If site is >2 ha the wood burner does not require Mfe approval)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
b	Copy of manufacturer's specifications and installation dimensions.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
c	Clearly specify the appliance to be installed. (Where manufacturers literature contains more than one type of appliance.)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
d	Floor plan of the dwelling provided showing the location of the proposed fire installation.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
e	Location of the smoke detectors shown on floor plan.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
f	Roof plan provided showing the flue location.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
g	Chimney / flue flashing detail provided.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
h	Elevation provided demonstrating the flue height is in accordance with NZS 2918, i.e. Flue to be min of 1000 mm above roof or when situated within 3 m of ridge, height to be min of 600 mm above ridge.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

UPDATED  
8-9-11

Only complete the following section if applicable

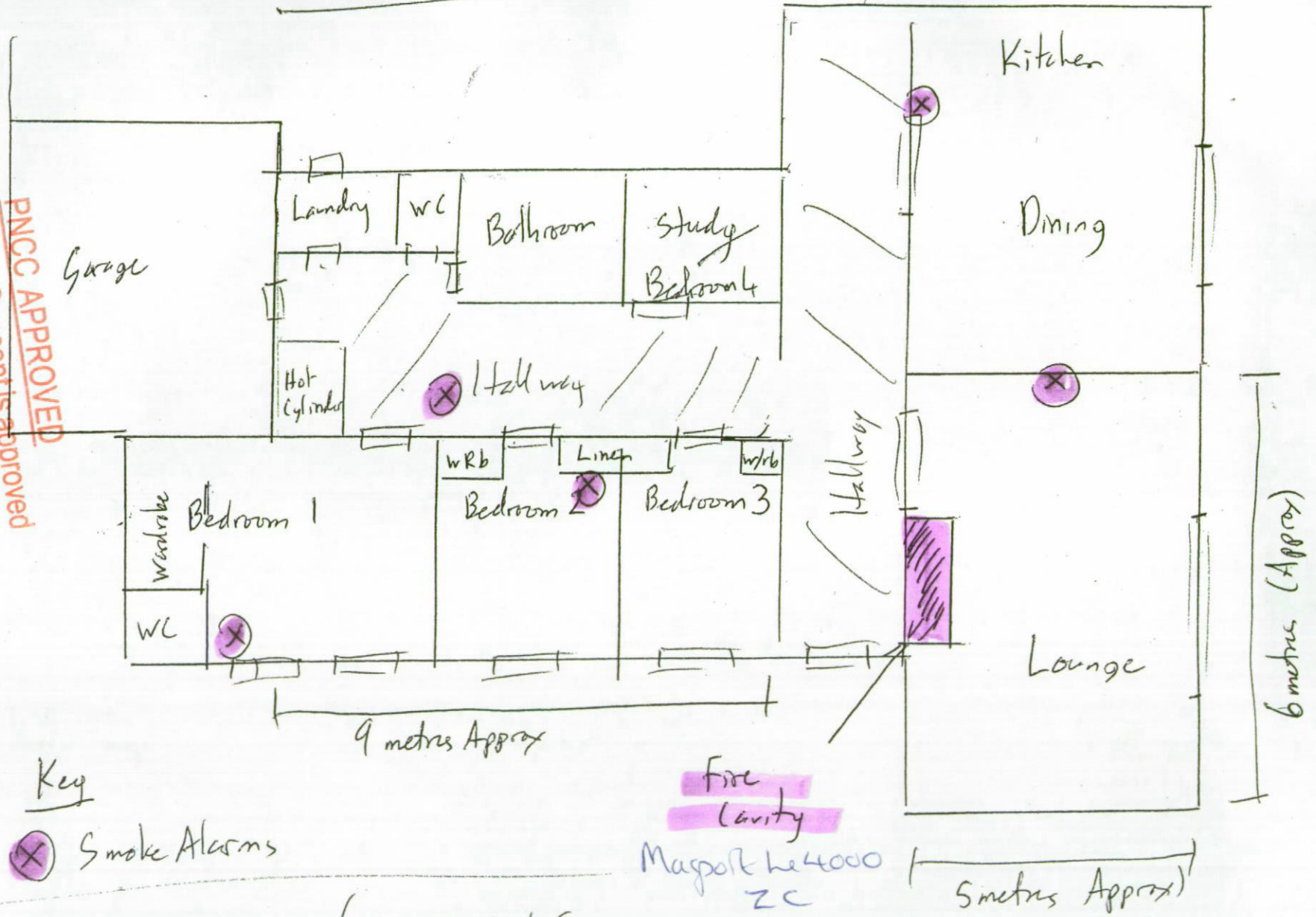
Where wetback is to be fitted:		✓ Council Check
i	Location of the hot water cylinder (HWC) shown on floor plan of dwelling.	<input type="checkbox"/>
j	Type of HWC specified (i.e. low pressure open vented, elephant or combo)	<input type="checkbox"/>
k	Plumbing specification provided for wetback installation. (i.e. 25mm copper, plumbing pipework schematic including height of cylinder re: wetback)	<input type="checkbox"/>
l	Tempered hot water provided to showers, baths and wash hand basins.	<input type="checkbox"/>
m	Name and registration Number of Craftsman Plumber undertaking wetback installation.	<input type="checkbox"/>

**Please ensure all information required in the checklist above is provided at the time of application or your application will not be accepted.**

1 Strachan Way - Palmerston North  
Lot 6 DP 72610

Amberley Avenue

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**Key**  
⊗ Smoke Alarms

ham wayref S






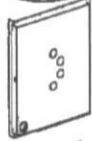


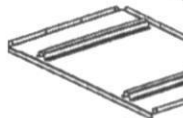

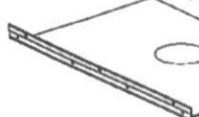

Fire  
Cavity  
Magport h4000  
ZC

28182

## LE 4000 Provincial Built-in (Zero Clearance) Kit Instructions.

CONSTRUCTIONAL DIMENSIONS DIFFER FOR EACH OF THE MASPORT ZERO CLEARANCE INSTALLATIONS. BEFORE COMMENCING CONSTRUCTION, VERIFY THAT YOU ARE USING THE CORRECT INSTRUCTIONS FOR YOUR PARTICULAR HEATER MODEL.

LE4000 Provincial ZC Kit contains:

Part No.	Quantity	Description	Picture
503259	4	Self Threading Screw 13mm	
503459	6	Self Threading Screw Timbertites	
503388	2	Spire Nut	
503704	34	Self Threading Screw 16mm	
595688	1	Adapter Ring	
593136/ 993137	1	LH Side Assy	
593136/ 993176	1	RH Side Assy	
593139/ 993138	1	Rear Assy	
593141/ 593140	1	Bottom Assy	
993249	1	Top Panel	
593143/ 993248	1	Top Shield Assy	
995196	2	Seism. Restraint Bracket	

Pt 593252.a.1

10/08/06

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This kit enables the Masport LE 4000 Provincial Woodfire to be installed when no conventional masonry chimney is available. The woodfire will need a shielding box, a special flue kit, a ventilated top fascia rail, and a bottom fascia rail. The installation may be made onto a timber or particle board floor or a concrete floor. (See Special Constructions below for concrete floors). We recommend following the sequence below.

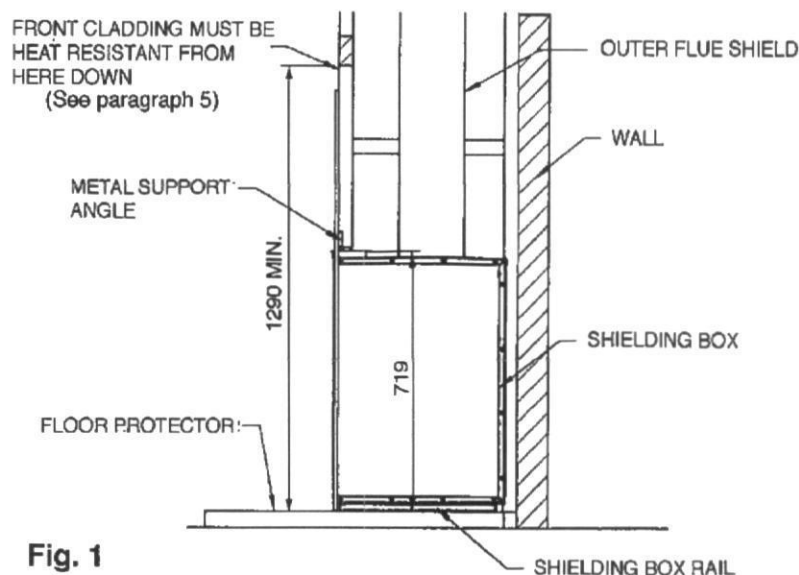


Fig. 1

### STANDARD INSTALLATIONS:

1. Inspect the house construction at the proposed installation position to verify that the flue shield (250mm diameter, plus 25mm clearance all around) can pass right up through the ceiling space without requiring the removal of essential roof or ceiling support beams. The flue centreline will be 271 mm out from the rear wall and it must be at least 730mm distant from any side wall. (See Fig. 2).

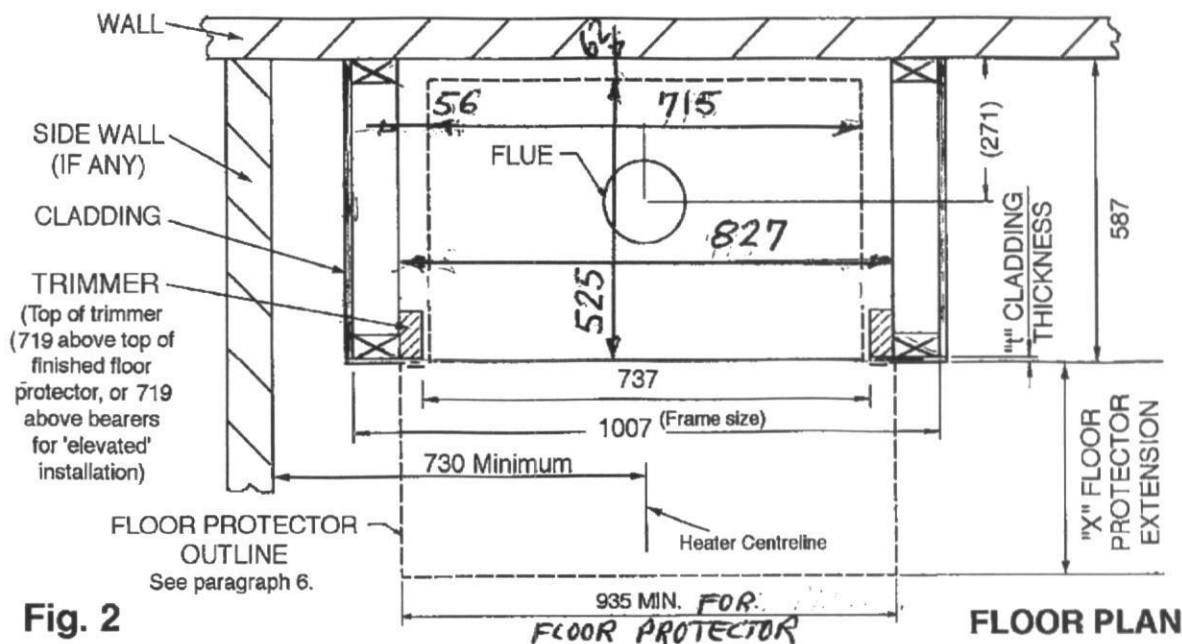


Fig. 2

2. Drop a plumb line from the ceiling to the floor to verify the centreline and cut a hole at least 300mm square through the ceiling on this centreline. If preferred, there may be no ceiling inside the fireplace enclosure. (See step 12)
3. Ensure that there are suitable nogs at either the ceiling or roof level (or both) to provide anchorage for the outer flue heat shield bracing angles.
4. Frame up the enclosure using nominal 90 by 45 dressed timber, verifying that it will be on the flue centreline. (See Fig. 3). The overall depth of the frame should be  $(587 - t)$  mm, where 't' is the cladding thickness. The distance between the trimmers (where the assembled shielding box will fit), should be 737mm. The overall width of the enclosure frame shown is the minimum required, but if desired it may be larger. The trimmers do not run the full height, but end 719 mm above the finished top face of the floor

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protector (or 719 mm above the top of the bearers if the heater is 'elevated'). Refer to paragraph 6 for floor protector thickness options and the advantage of 'elevated' installations. Fix the metal support angle across the tops of the trimmers to provide support and fixing for the front heat resistant cladding. (See Fig. 3).

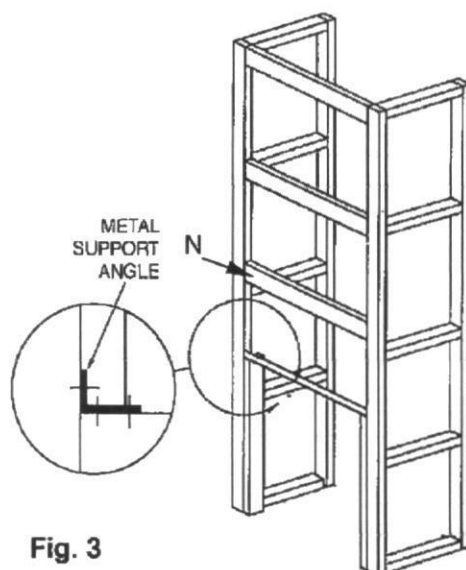


Fig. 3

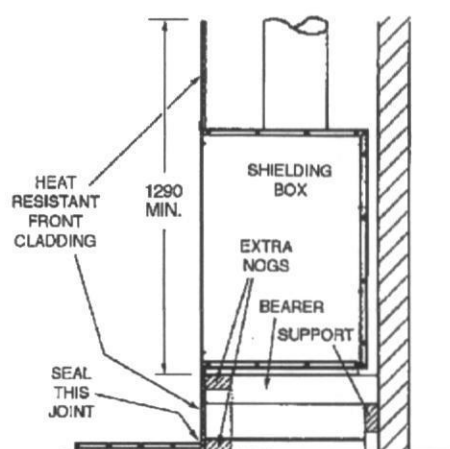


Fig. 4 ELEVATED INSTALLATION

For an 'elevated' installation, fix two **extra nogs** (90x45x737 mm) across the front opening of the enclosure, one at the bottom and the other at the desired 'elevation' height. (See Fig. 4). These **extra nogs** will carry the front cladding below the heater. Fix two 90 x 45 **bearers** running from front to back behind the top extra nog, 240 mm each side of the centreline to support the shielding box rails. The **bearer** tops must be flush with the top of the **top extra nog**. Provide **support** at the rear of the bearers to carry the appliance. (See Fig. 4). The shielding box rails can sit directly on the bearers. No insulation is necessary.

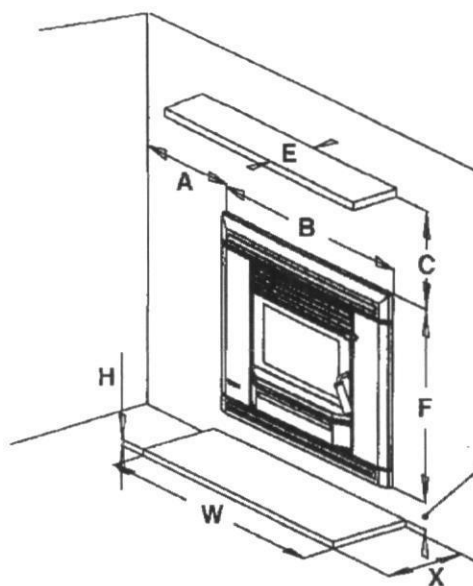
The usual three nogs may be fixed at each side of the enclosure. At the front, the lowest wooden nog N must have its lower face at least 1290 mm above the top of the floor protector (or 1290 mm above the bearers for an elevated installation). Further wooden nogs can be fitted at the front above this one.

5. Fix the cladding to the **front** of the enclosure, including down each side of the 719 x 737 opening. All **front cladding** (including cladding below the heater in elevated installations) which is less than 1290 mm above the floor protector (or the bearers in elevated installations), must be of heat-proof material such as Hardies Tile and Slate Underlay, Hardiflex or Supalux. **Wall surfaces directly above the heater may reach 85 degrees C**, so materials such as wallpaper and water based paint may be adversely affected. For durability of finishes and surfaces you should contact the relevant manufacturer for their specifications. Masport accepts no responsibility for the deterioration of surfaces or finishes. It is usually convenient to carry the heat-proof material right up to ceiling level. At the lower edge, drill (4.5 mm diameter) into the metal support angle through the holes in the top flange of the shielding box and fasten with the self threading screws provided. The **side cladding** for the enclosure may be Gib board or any other wall cladding material. For ease of flue installation, leave the cladding off at least one side until the flue system has been installed.
6. For heat sensitive floors, construct a floor protector of the shape shown in the Floor Plan above (Fig. 2). (See SPECIAL CONSTRUCTIONS below for concrete floors). The standard floor protector is constructed of two layers of 6mm fibre cement board (such as Hardies Tile and Slate Underlay), topped with a layer of tiles or slate. This will give a thickness of approximately 20mm, and the extension from the face of the front cladding must be at least 412 mm. The floor protector must be at least 935 mm wide, but you may prefer to increase this size to match the fascia width (967 mm).

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NOTE: For elevated installations, the floor protector may be installed after the heater is in position as it does not need to extend into the enclosure. However, its rear edge must butt up against the face of the heat-proof cladding below the heater, and the joint at that point must be sealed to prevent the possibility of ember penetration.



A Min.	B	F	W Min.	C Min.	E Max	H	X Min.
247	967	740	§ 935	510	150	25	¥390
						57	330

¥ 330mm with 32 mm or more elevation

§ Increase to match or exceed fascia width B for an enhanced appearance

Elevation  
(if any)

Fig 5.

7. Cement tiles or slate to the top of the floor protector. The part inside the enclosure will not be visible and therefore does not need complete coverage. It is necessary to fix the finishing layer only under the support rails in this area. The visible edges of the floor protector are best finished with wooden trim or tiles.
8. Penetrate the roofing material on the flue centreline. Working from the bottom, assemble sections of the flue and the inner and outer flue heat shields (casings) and pass them up through the hole in the roof. The flue must be fixed at each joint with at least two rust-proof fasteners, and the crimped ends of the flue heat shields go to the top. When finally installed, the inner shield must extend up past the roof penetration point and the outer shield must be sufficiently high to avoid down-draughts in the finished flue. If the flue centreline is within 3m of the ridge, the outer shield must end at least 600mm above the roof ridge. If it is more than 3m from the ridge, the shield must extend at least 900mm above the point of roof penetration. If there are trees or high buildings in the vicinity, it may be necessary to increase this height to avoid down-draughts. Note that the 200mm adapter ring (with holes which ventilate the space between the flue and the inner shield) will be fitted into the shielding box assembly and will engage in the bottom of the inner heat shield (see Fig. 7). Fit a temporary support to hold the flue system high enough to permit sliding in the shielding box.
9. Assemble the base, sides, back and top panel of the shielding box (see Fig. 6). Slide the assembly into place in the enclosure. After centralising, fix the flange of the top panel of the shielding box through the cladding into the metal angle support, and fix the side flanges (through the cladding) into the wooden trimmers. Pass the 200mm adapter ring (crimped end up) upwards into the hole in the top panel of the shielding box, and slide the top shield in under it so that the ring sits on top of the top shield and the top shield rests on the top edges of the inner heat shields of the cabinet. Make sure the back flange of the top shield hooks over the shield on the rear panel. Fix the top shield to the front flange of the top panel with 3 screws.
10. Remove the two retaining screws and slide out the removable top section of the firebox cabinet. Fix the seismic restraint brackets at each side of the firebox cabinet (flanges facing outwards), and slide the firebox cabinet into the shielding box. Centralise it and secure the restraint brackets to the shielding box flanges.
11. Lower the assembled flue and seal and fix it to the flue socket of the heater. Lower the inner flue heat shield and engage its bottom end with the adapter ring. Lower the outer flue heat shield to sit on top of the shielding box.
12. Fit the two shield bracing angles at either ceiling or roof level as appropriate. Fix a suitable flashing where the outer shield penetrates the roof.
13. **IMPORTANT.** TO AVOID THE RISK OF A FIRE, COVER THE ENTIRE OPEN SPACE SURROUNDING THE HEAT SHIELD AT CEILING LEVEL WITH WIRE NETTING WHICH HAS A MESH SMALL ENOUGH TO PREVENT THE ENTRY OF BIRDS OR VERMIN INTO THE ENCLOSURE.

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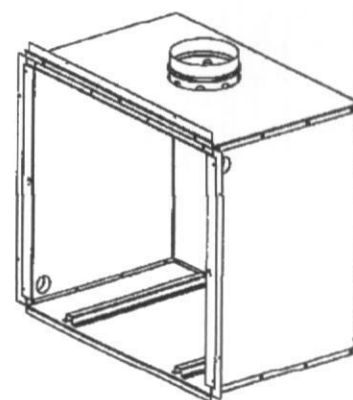
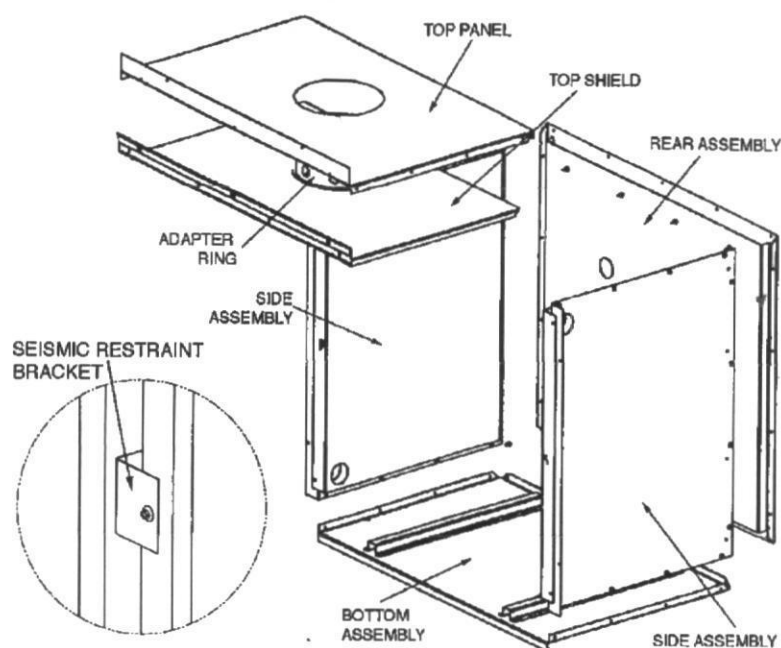


Fig. 6

14. At the top of the flue, fix the flashing cone and fit the flue cowl in the usual way.
15. Re-fit the removable top section of the firebox cabinet and secure it with two screws.
16. Fix the cladding to the enclosure side(s).
17. An un-shielded mantel-shelf may be fitted according to the height and width restrictions shown in Fig. 5. Shelves lower or wider than shown require a metal under-shield (see the installation manual).
18. Remove the standard top rail of the fascia and replace it by the vented one. Remove the bottom bar of the fascia and replace it by the vented bottom rail, taking care to trap the mains lead and grommet between the left end of the bottom rail and the left fascia upright. If necessary, replace the electrical connections at the rear of the fan switch (see installation manual) and ensure that the earth wire is connected to the post behind the Masport badge on the left fascia upright.
19. Fit the fascia by offering it up to the heater about 15 mm above its final position and lowering it, making sure the lip behind the top fascia rail engages in the slot at the top of the shielding box. Fit the six retaining screws.
20. Fit the upper and lower fascia grilles and the firebox door as described in the installation manual.
21. Finish the floor protector by installing an edge trim if desired.

### SPECIAL CONSTRUCTIONS:

**CONCRETE FLOORS:** The above instructions assume that the heater is being assembled on a heat sensitive floor such as timber or particle board. Where the floor is not heat sensitive (e.g. concrete), the insulating floor protector may be omitted. However, if heat sensitive floor coverings are fitted it will be necessary to keep them at a safe distance. The most practical way to do this is to fix tiles to the floor where the floor protector would normally be. This will make the top of the protector approximately flush with the floor covering, so a larger floor protector will be needed. It must extend out to 453 mm from the face of the front cladding material, with a minimum width of 965 mm (but see paragraph 6).

**EXTERNAL INSTALLATIONS:** In the case where the enclosure is to be erected outside the house, the shielding and flue installation details above will still apply. It is important to remember that the aperture in the wall of the house will need to be sufficiently high to permit the installation of heat resistant panelling in front of the heater to at least 1290 mm above the bottom of the shielding box rails. Suitable foundations will be required to support the weight of the enclosure and the heater and weatherproofing of the entire assembly will be necessary.

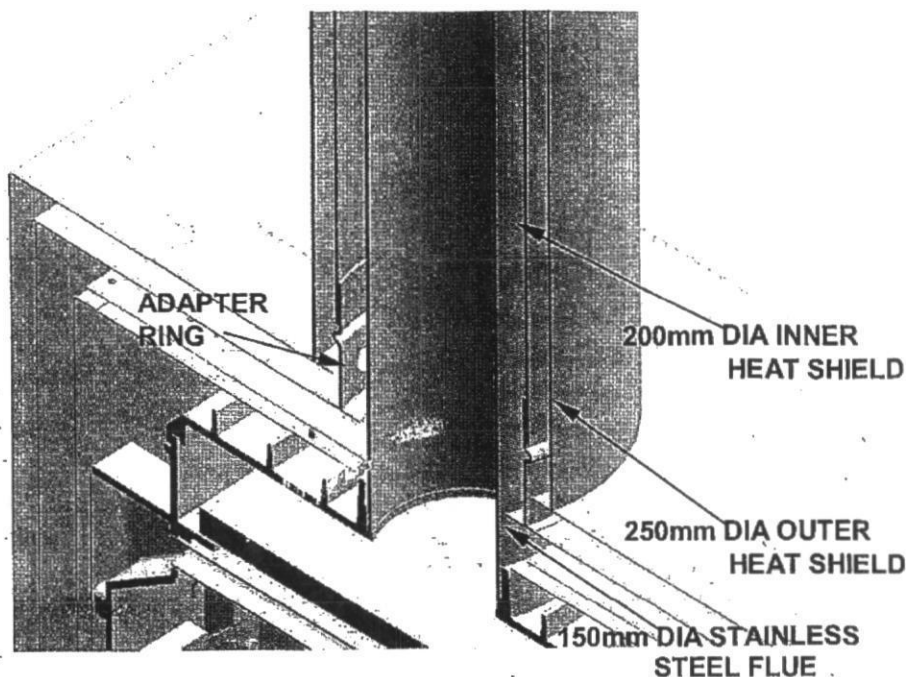
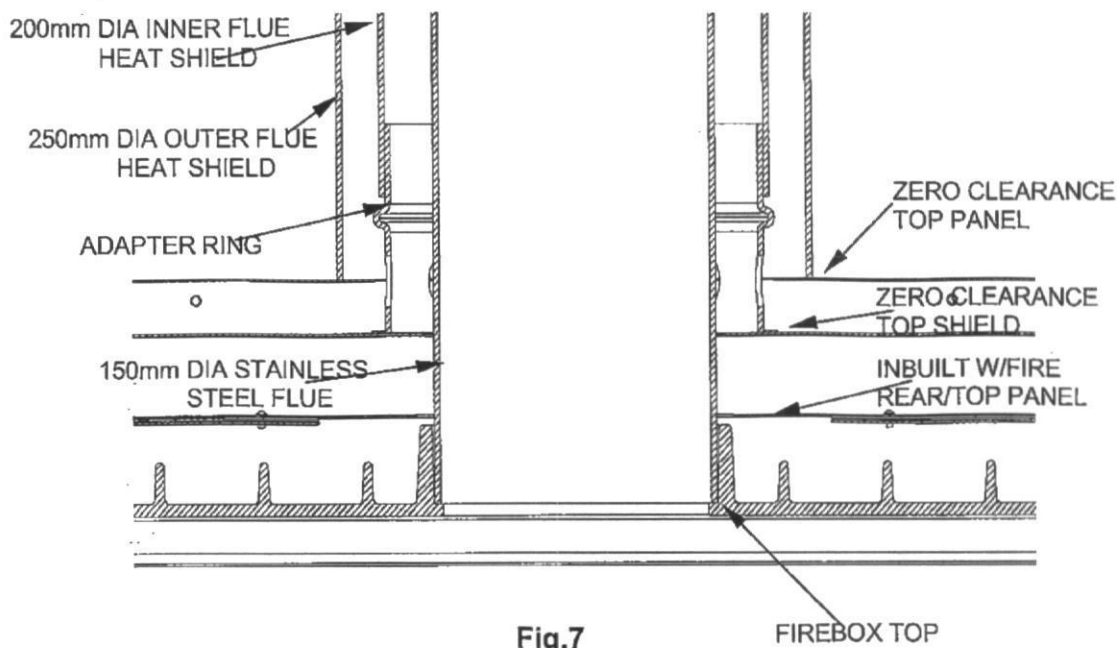
### BRICK FACED INTERNAL ENCLOSURES:

Flue installation and clearance requirements are as detailed above. Brick wall construction will normally require a cast concrete base slab, so this slab could be extended to provide the necessary floor protection.

CAUTION. If local Building Requirements permit laying the concrete slab on top of a wooden floor, it should be made of lightweight concrete and even then foundation support may be required. In any case, the slab should be poured on top of one layer of Micore 160 board (covered with sheet plastic to keep it dry) to prevent heat damage to the wooden floor. The top surface can be finished with bricks or tiles etc. In all cases the floor protector dimensions must be as previously shown.

As before, the opening for the appliance in the front wall must be 737 mm wide and 719 mm high. Note that the bricks above the opening must extend to at least 1290 mm above the bottom of the shielding box rails.

Fit the shielding box and complete the installation as previously detailed for standard installations.



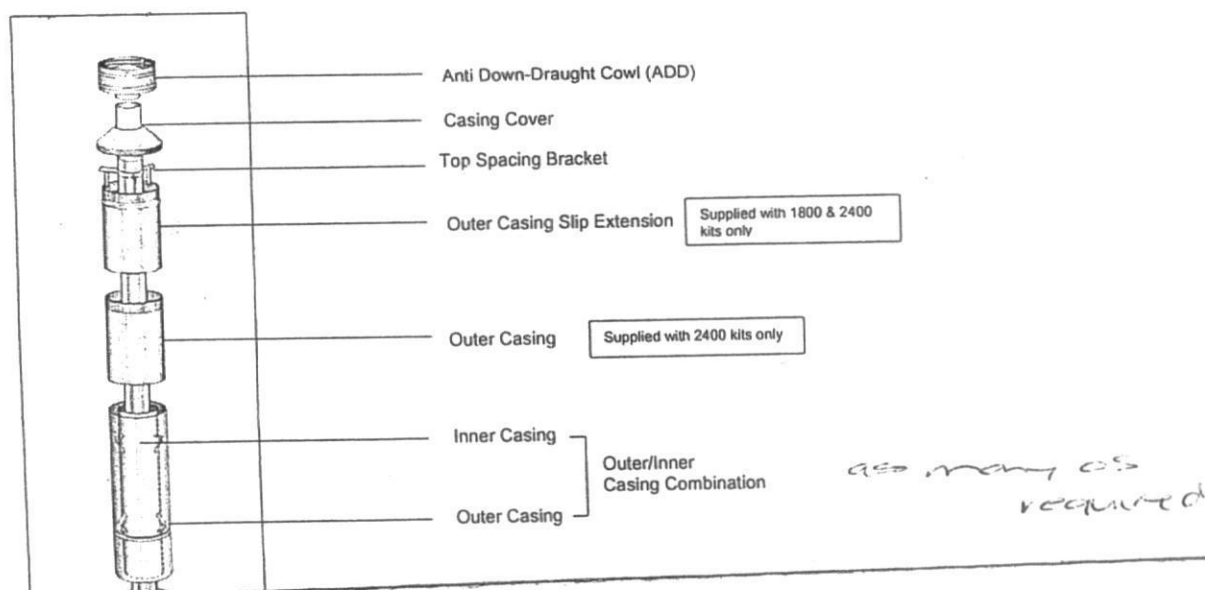
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Sheetmetal Fabricated Products Ltd.

**150mm  
Free Standing Wood Fire Flue Kit  
Installation Instructions  
Complies with AS/NZS 2918:2001**



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## Glen Dimplex Australasia Limited

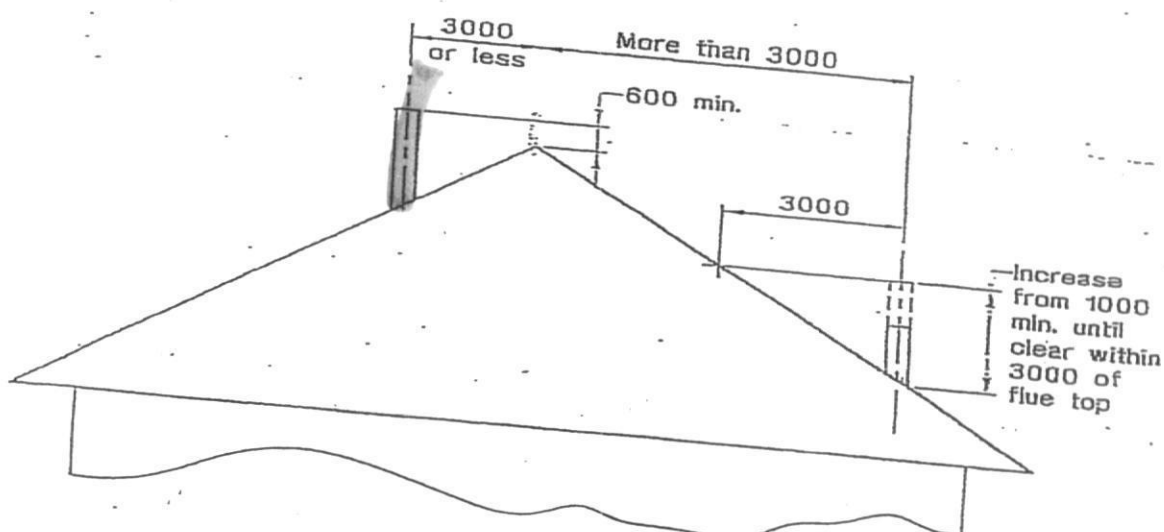
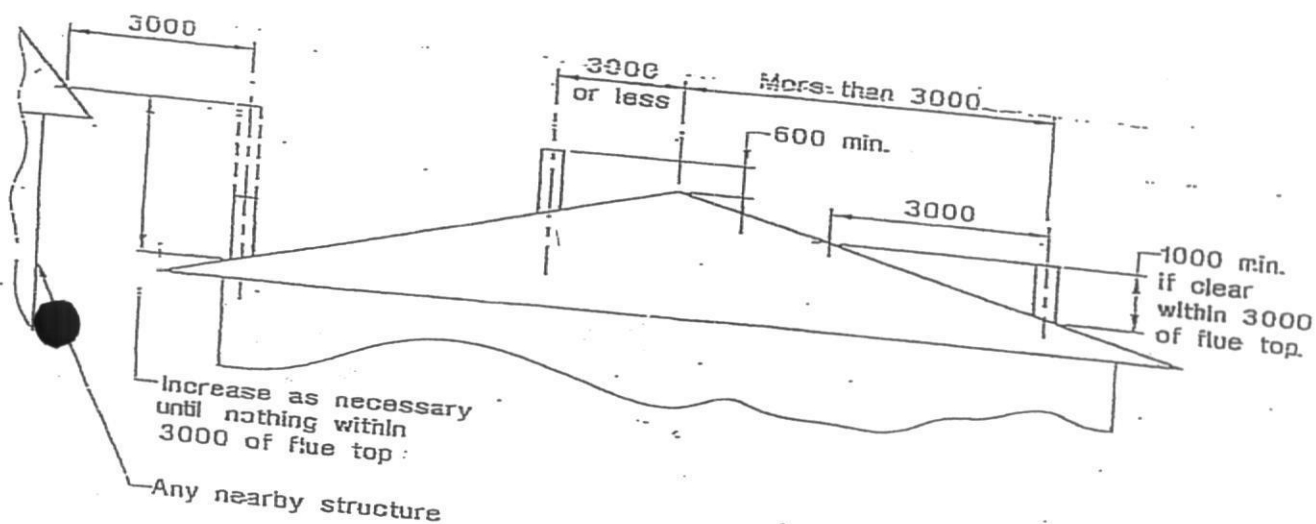
Appliance	Type	Authorised fuel	Water heater	Emission (g/kg)	Efficiency (%)	Authorisation No.	
						ECan	Nelson
Atlanta Bay	Freestanding	Dry wood	No	1.1	77		03002
Logaire Minos	Freestanding	Dry wood	No	1.2	76		N0006
Masport F2000	Freestanding	Dry wood	No	0.6	77	092857	092857
Masport F2200C	Freestanding	Dry wood	No	0.8	71	102104	102104
Masport F3000	Freestanding	Dry wood	No	0.6	69	092856	092856
Masport F3300C	Freestanding	Dry wood	No	0.5	72	103815	103815
Masport Grandview Series 3	Freestanding	Dry wood	No	0.7	69	06006	06006
Masport Hestia 2 Clean Air*	Freestanding	Dry wood	No	0.6	66	110045	110045
Masport I3000	Insert	Dry wood	No	0.4	68	103869	103869
Masport I3000 Wet	Insert	Dry wood	Yes	0.8	66	111333	111333
Masport Kronos Clean Air*	Freestanding	Dry wood	No	0.7	65	110044	110044
Masport LE 2000 Series 2	Freestanding	Dry wood	No	0.7	71	06005	06005
Masport LE 4000 Provincial <sup>2</sup>	Insert	Dry wood	No	0.6	67	071591	071591
Masport Minos 2 Clean Air*	Freestanding	Dry wood	No	0.6	68	110047	110047
Masport Talisman*	Freestanding	Dry wood	No	1.0	73	110046	110046
Masport Toronto	Freestanding	Dry wood	No	0.9	70	06004	06004
Masport Verona	Freestanding	Dry wood	No	0.8	68	02001	02001
Osburn 1600 (dry)	Freestanding	Dry wood	No	0.7	70	090550	090550
Osburn 1600	Freestanding	Dry wood	Yes	0.9	72	06012	01006

<sup>1</sup> The Logaire Hestia Clean Air was withdrawn from sale following a serious failure in phase 1 of the performance review. The Hestia 2 Clean Air is authorised as listed above. Consumers are advised to check the label on the wood burner carefully.

<sup>2</sup> The Masport LE 4000 Provincial passed both design verification and emissions testing in Phase 2 but had an undetermined outcome for efficiency testing. For further information please refer to the Phase 2 report.

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# MINIMUM HEIGHT OF FLUE SYSTEM OUTLET



DIMENSIONS IN MILLIMETRES

The pipe shall extend not less than 4.6m above the top of the floor protector.  
The cowl must be at least 600mm above the highest point of the roof if within 3 metres of the ridge.  
The outlet must be at least 3 metres above the roof penetration if more than 3 metres from the ridge.  
The outlet must be at least 3 metres above the roof penetration if more than 3 metres from the ridge, or any adjacent building may be in or above a circular area of a horizontal radius of 3 metres from the flue exit.

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# Project File Sign Off Checklist

Address: **1 Strachan Way**Building Consent No.: **28182**

Item to be checked for completion:	Yes	N/A	No	Comments:
<b>Plumbing &amp; Drainage Officer</b>				
'As laid' Drainage plans received				
P&D conditions / endorsements signed off?				
Total number of pans in the Building <sup>1</sup>				Number:
<b>Plumbing &amp; Drainage items signed off</b>	Officer: Signed:	B.L Churchill		Date: 03/11/2011
<b>Building Officer</b>				
All conditions/endorsement of the consent signed off?				
All mandatory inspections completed and SIN/NTF complied with				
CS and CSS required?				
Amendment to existing Compliance Schedule required?				
Section 72, 75 or Memo of Encumbrance Certificates registered?				
Waiver and modification process completed?				
Property Issues forms been completed and registered?				
Roads Assets Officer advised if new vehicle crossing is applicable and copy of project file sign off checklist forwarded?				
WHRs claim applicable to BC and copy of Project File Sign Off Checklist forwarded to Claims Officer?				
Planning Officer advised if work is a relocate and copy of project file sign off checklist forwarded				
Earthquake Prone Building Register – LIM Officer advised that the status to be changed to "upgraded"				
Swimming pool administration officer been advised and copy of inspection checklist forwarded?				
<b>All relevant information placed on the project file:</b>				
Building Consent Application				
PIM / CT / Consent Notices				
Processing Checklist				
Plans & Specifications				
Engineer Design / Calculations				
Geotechnical Report				
Effluent System Design				
Truss Layout / Design Certificate				
Fire Design / Analysis				
NZFSRU Summary				
Producer Statements (PS1/PS2)				
Producer Statement Acceptance Checklist completed?				
Further Information Requests / Correspondence				
Building Consent / Amended BC's				
Building and Planning Services Project sheet				
Section 77 Certificate				
Amendments (application/checklist)				
Inspection checklists as per BC				
NTF / SIN				
Energy Certificates				
As Laid Drainage Plans				
Manufacturers Certificates				
Producer Statements (PS3/PS4)				
Producer Statement Acceptance Checklist completed?				
CPU application/checklist/certificate				
Waiver or modification documents				
Application for CCC				
Certification of specified systems from approved certifiers				
OTHER / Notes:				

# Project File Sign Off Checklist

BCA T-33a  
Ver: 6  
Date: 02/11/2010

Item to be checked for completion:	Yes	N/A	No	Comments:
		<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>		
		<input checked="" type="checkbox"/>		
<b>Building Officer – CCC application approved for issue?</b>	<input checked="" type="checkbox"/> YES / NO			Officer: B L Churchill Signed <i>Ba</i> Date: 03/11/2011

<b>Administration Officer</b>			
Any changes to the street address? (check on City View)			
File been amended if street address has changed?	<input checked="" type="checkbox"/>		
All inspections billed?	<input checked="" type="checkbox"/>		
All bonds refunded?		<input checked="" type="checkbox"/>	
Development Contribution paid?		<input checked="" type="checkbox"/>	
All fees paid?	<input checked="" type="checkbox"/>		
Compliance Schedule (CS) & Compliance Schedule Statement (CSS) prepared?	<input checked="" type="checkbox"/>		
<b>CCC issued?</b> Copy of signed CCC, CS & CSS (if applicable) and project file sign off checklist placed in project file.	<input checked="" type="checkbox"/>		
<b>Administration items signed off?</b>			Officer: Signed <i>John Swadel</i> Date: 03/11/2011

<sup>1</sup> Urinals are treated as one pan.

2 CHARGED  
2 DONE  
*GW.*

23 NOV 2011

GRAHAM WAIT  
TEAM LEADER  
BUILDING  
INSPECTIONS & COMPLIANCE

# Inspection Checklist –Fireplace Final


28182

Address: 1 Strachan Way Building Consent No.: \_\_\_\_\_  
 Tradesperson: Harts Home Heating Tradesperson: \_\_\_\_\_  
 Reg No: \_\_\_\_\_ Contact Details: \_\_\_\_\_ Reg. No.: \_\_\_\_\_ Contact Details: \_\_\_\_\_  
 Date: 03/11/2011 Time: 3.30

Staged/Partial Inspection: \_\_\_\_\_ of \_\_\_\_\_

Item to be inspected for compliance: with the Building Act 2004, NZBC & Approved Documents Complies with approved plans & specifications	Outcome <sup>1</sup>			Details of Inspection & Comments: Comments must be made for: 1. Non-complying items 2. Items/work deviates from approved documents 3. Detail alternative solution & how compliance achieved
	Pass	N/A	Fail	
Stamped approved plans and specification on site?				(Yes) / No
Advice of Completion received				(Yes) / No
Conditions of consent/site instructions read?				(Yes) / No
Conditions of consent actioned		(Yes) / No		
Pre-installation chimney inspection passed		(Yes) / No		
All previous inspections passed (If fireplace is part of other building work)		Yes / (N/A) / No		
<b>Free Standing Fire</b>				
Manufacturers specification provided		Yes / (No)		
Flue riveted (3 rivets min)				
Flue shield fitting & clearance				
Clearance – rear of unit to wall				
Clearance - side of unit to wall				
Clearance – corner of unit to wall				
Hearth type				Insulating / Ash
Clearance to front of hearth				
Clearance to sides of hearth				
Clearance from window drapes/ combustibles				
Fire place restraints fitted				
Triple flue				
Flue gap thru ceiling				
Insulation blocked clear of flu (ceiling space)				
<b>Inbuilt Fire</b>				
Manufacturers specification provided		(Yes) / No		
Hearth type				Specify: Tile
Clearance to front of hearth				
Clearance to mantle				
Heat deflector shield fitted to mantle				
Fire box restraints				
Flue installed in timber framed chimney to manufacturers specification		(Yes) / No		
<b>Other</b>				
Wetback fitted				
Height of HWC above Wetback				
Flow & return pipe size				
Tempering valve fitted				
Hot water temperature				Test result °c
<b>Smoke alarms</b>				
Correctly located and operational				
Battery powered with 'Hush Facility'				
Hard wired to security system				
<b>External</b>				
Flue flashed to roofing				
Height & location of flue				
<b>Notes:</b>				

## Inspection Checklist –Fireplace Final

Item to be inspected for compliance: with the Building Act 2004, NZBC & Approved Documents Complies with approved plans & specifications	Outcome <sup>1</sup>			Details of Inspection & Comments: Comments must be made for: 1. Non-complying Items 2. Items/work deviates from approved documents 3. Detail alternative solution & how compliance achieved
	Pass	N/A	Fail	
Amended plans required?	Yes	No		Officer: B L Churchill
Amended specifications required?	Yes	No		
Re-inspection required?	Yes	No		Signed: 
Site instruction issued?	Yes	No		
Final fire inspection passed?	Yes	No		Date: 03/11/2011

<sup>1</sup> Pass = Compliance with approved plans & documentation, N/A = Not applicable to this project, Fail = Non-compliance with approved plans & documentation.

# Inspection Checklist –Inbuilt Fireplace Pre-Installation Check

Address: 1 Strachan Way Building Consent No.: 28128  
 Tradesperson: Harts Home Heating Tradesperson: \_\_\_\_\_  
 Reg. No.: \_\_\_\_\_ Contact Details: \_\_\_\_\_ Reg. No.: \_\_\_\_\_ Contact Details: \_\_\_\_\_  
 Date: 03/11/2011 Time: 9.15  
 Staged/Partial Inspection: \_\_\_\_\_ of \_\_\_\_\_

Item to be inspected for compliance: with the Building Act 2004, NZBC & Approved Documents Complies with approved plans & specifications	Outcome <sup>1</sup>			Details of Inspection & Comments: Comments must be made for: 1. <b>Non-complying</b> items 2. Items/work <b>deviates</b> from approved documents 3. Detail alternative solution & how compliance achieved
	Pass	N/A	Fail	
Stamped approved plans and specification on site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(Yes) / No
Conditions of consent/site instructions read?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(Yes) / No
Conditions of consent actioned	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>Inbuilt Fire</b>				
Manufacturers specification provided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(Yes) / No
Fire bricks removed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Timber framed Chimney
Fire box clean & chimney swept	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Fire box sound (No cracking evident)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Cracks in fire box filled	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Hearth size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Mantel clearance	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>External</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Chimney sound (No cracking or settlement evident)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<b>Notes:</b>				
Timber framed fire cavity, New fire to have a Zero Tolerance Box and Triple Flue Kit fitted				
Amended plans required?	Yes	(No)	Officer: <b>B L Churchill</b> Signed: _____	
Amended specifications required?	Yes	(No)		
Reinspection required?	Yes	(No)		
Site instruction issued?	Yes	(No)	Date: <b>03/11/2011</b>	
Inbuilt fire pre-installation inspection passed?	(Yes)	/ No		

<sup>1</sup> Pass = Compliance with approved plans & documentation, N/A = Not applicable to this project, Fail = Non-compliance with approved plans & documentation.

## Processing Checklist – Freestanding and Inbuilt Fires

Applicant Name: G & M Miller

PIM No: \_\_\_\_\_

BC No: 28182

Site Address: 1 Strachan Way

Date: 13/10/11

### Notes<sup>1</sup>:

Item to be checked for compliance: with the NZ Building Act 2004, NZBC & Approved Documents <small>Note: N/A = this item is not applicable to this application and has not been assessed</small>	Plans/Specs Checked			Details of Processing & Comments: Comments must be made for: 1. Non-complying items 2. Alternative solutions & how compliance with NZBC achieved
	Complies	N/A	Non-Complying	
Pre-application checklist provided <sup>2</sup>	Yes	No		
Any outstanding Building Consents relating to property Act	Yes	No		Record Building Consent Number(s):
S.112 Alterations to existing buildings	Yes	No	N/a	
PIM	Yes	No		
Application checklist completed & attached?	Yes	No		
Plans				
Site plans for building location				
Plumbing				
Sufficient information to process	Yes	No	N/a	Details:
Plumbing Act noted on PIM/BC	Yes	No	N/a	Details:
Building PIM detail				
Building PIM checklist completed & attached?	Yes	No	N/a	
Building requirements from PIM noted?	Yes	No	N/a	
Waiver and Modification				
Application for a waiver or modification?	Yes	No		
Building BC detail			NZBC - B1, B2, C1, C2 & F7	
Fireplace / solid fuel heater shown on floor plan <sup>3</sup>	Yes	No		
Fire MFE approved for location <2ha <sup>4</sup>	Yes	No	N/a	
Manufacturers' specifications provided <sup>5</sup>	Yes	No		
Flue location shown on elevations <sup>6</sup>	✓			
Smoke alarms specified & shown on plans <sup>7</sup>	✓			
Flashings <sup>8</sup>			NZBC - B2 & E3	
Chimney / flue flashing detail	✓			
Manufacturers flu detail provided for timber framed chimney	✓			
Conditions/Endorsements & Inspections entered onto computer system?	Yes	No		

**Processing Checklist – Freestanding and Inbuilt Fires**

<b>Notes<sup>1</sup>:</b>			
<b>Item to be checked for compliance:</b> with the NZ Building Act 2004, NZBC & Approved Documents Note: N/A = this item is not applicable to this application and has not been assessed	<b>Plans/Specs Checked</b>		<b>Details of Processing &amp; Comments:</b> Comments must be made for: 1. <b>Non-complying</b> items 2. Alternative solutions & how compliance with NZBC achieved
	Complies	N/A	
<b>Water supply</b>	NZBC – G13		<b>Plumbing &amp; Drainage Officer to process</b>
Wetback fitted	Yes <input checked="" type="radio"/> No		
Plumbing specification for installation.	<input checked="" type="checkbox"/>		
Tempered hot water specified	<input checked="" type="checkbox"/>		
<b>Conditions/Endorsements &amp; Inspections entered onto computer system?</b>	Yes <input checked="" type="radio"/> No		
<b>Plumbing &amp; Drainage - Application approved:</b>	Yes/No	<b>Officer:</b>	<b>Date:</b>
		<b>Signed:</b>	
<b>Building Officer - Application approved for Granting:</b>	Yes/No	<b>Officer:</b>	<b>Date:</b>
		<b>Signed:</b> Neville Mudgway Building Officer	13/10/11

<sup>1</sup> General notes and observations<sup>2</sup> PNCC information checklists<sup>3</sup> Floor plan of the dwelling showing the location of the proposed fire installation.<sup>4</sup> Refer Approved Wood burner list on Ministry for the Environment website. If site is >2ha the fire does not require MfE approval.<sup>5</sup> Copy of manufacturer's specifications showing clearances, etc. Copy placed in "green" folder for on site checking<sup>6</sup> Flue location in accordance with NZS 2918, i.e. Flue to be min of 1000mm above roof or when situated within 3m of ridge, height to be min of 600mm above ridge<sup>7</sup> Floor plan of the dwelling showing the location of the smoke detectors.<sup>8</sup> NZBC E2

**Building Consent No: 28182  
Section 51, Building Act 2004**

8277 0943/29

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**The Building**

Street Address of building: 1 STRACHAN WAY  
PALMERSTON NORTH

Legal Description of land where building is located: LOT 6 DP 72610

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**The Owner**

Name of owner: MILLER, GRANT DAVID

Mailing Address: 1 STRACHAN WAY  
PALMERSTON NORTH 5301

Contact person: HARTS MOWERS & CHAINSAWS

Mailing Address: C/O MOWART LTD  
P O BOX 1196  
PALMERSTON NORTH

Phone number: DAY 0064 06 3583779  
Facsimile number:  
Email address:

---

**Building Work**

The following building work is authorised by this consent:

Project: INSTALL INBUILT FIRE

Intended Use: RESIDENTIAL DWELLING

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**THIS BUILDING CONSENT IS SUBJECT TO THE FOLLOWING CONDITIONS;**

**BUILDING ACT 2004, SECTION 90:**

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

---

**ENDORSEMENTS – The following items will need to be addressed prior to the issue of the code compliance certificate;**

**SITE INFORMATION:**

Exposure Zone =2  
Wind Zone =Medium  
Earthquake Zone =A

**SMOKE ALARMS:**

Smoke alarms are required to be installed in the building, in accordance with the following:

Smoke alarms must be located on the escape routes on all levels within the household unit.

On levels containing sleeping spaces, the smoke alarms shall be located either;

In every sleeping space, or  
Within three metres of every sleeping space door. In this case, the smoke alarm must be audible to sleeping occupants on the other side of the closed door,

Smoke alarms must be installed on or near the ceiling in accordance with AS 1670.6 and the manufacturers instructions.

**INBUILT FIRES:**

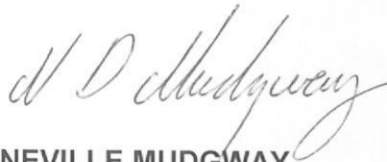
Chimney to be swept prior to any inspection by PNCC

**THE FOLLOWING INSPECTIONS ARE MANDATORY, FAILURE TO NOTIFY THE PALMERSTON NORTH CITY COUNCIL BUILDING SERVICES SECTION OF ANY OF THE REQUIRED INSPECTIONS WILL RESULT IN A NOTICE TO FIX BEING ISSUED.**

Detail	Date Completed	Time	Name/ Signature	Pass/Fail
1 x INBUILT FIREPLACE PRE-INSTALL CHECK				Pass/Fail
1 x FINAL - FIREPLACE				Pass/Fail

**NOTE: FURTHER INSPECTIONS MAY INCUR ADDITIONAL COST AT TIME OF CODE COMPLIANCE CERTIFICATE ISSUE.**

Signature:



Name:

**NEVILLE MUDGWAY**

Position:

**SENIOR PLUMBING & DRAINAGE OFFICER**

On behalf of:

**PALMERSTON NORTH CITY COUNCIL**

Date:

**13<sup>th</sup> OCTOBER 2011**

# Application for Code Compliance Certificate



Section 92, Building Act 2004

Please submit to Council only when all inspections have been completed (as identified on the Building Consent)

## The Building Consent:

Building Consent number:

28182

Issued by:

[Name of building consent authority that granted building consent, TICK ONE]

☐ Manawatu District Council ☒ Palmerston North City Council

Address of work:

1 Strachan Way  
Palmerston North

## The Owner: [All contact details must be in New Zealand.]

Name of owner:

[eg, Mr, Mrs, Miss, Dr if an individual]

G & M Miller

Contact person:

[insert n/a if the applicant is an individual]

Mailing address:

[if different from address of work above]

Street address/registered office:

Phone numbers

Landline:

353 3339

Mobile:

Daytime:

After hours:

Facsimile number:

Email address:

Evidence of ownership is attached to this application:

[required only if ownership has changed since the application was made]

☐ Certificate of Title

☐ Lease

☐ Agreement for Sale and Purchase

☒ Other document

**The Agent:** [Only required if application is being made on behalf of the owner.]

**Name of agent:**

[eg, Mr, Mrs, Miss, Dr if an individual]

**Contact person:**

[insert n/a if the applicant is an individual]

**Mailing address:**

**Street address/registered office:**

**Phone numbers**

**Landline:**

**Mobile:**

**Daytime:**

**After hours:**

**Facsimile number:**

**Email address:**

**Relationship to owner:**

[State details of the authorisation from the owner to make the application on the owner's behalf]

**First point of contact for communications with the council/building consent authority:**

**Full name:**

**Mailing address:**

**Phone numbers:**

[Landline]

[Mobile]

**Facsimile number:**

**Email address**

HARTS MOWERS & CHAINSAWS

10 TAONUI STREET

PALMERSTON NORTH

PH.: (06) 358-3779

FAX: (06) 358-3002

J. McLaughlin.

PO Box 1196

Palmerston North

06 358 3779

06 358 3002

jane@mowat.co.nz

Builder & installer.

HARTS MOWERS & CHAINSAWS

10 TAONUI STREET

PALMERSTON NORTH

PH.: (06) 358-3779

FAX: (06) 358-3002

358 3779

358 3002

jane@mowat.co.nz

## Application:

All building work to be carried out under the above building consent was completed on:

3 / 11 / 11

The personnel who carried out the building work are as follows:

### Designer/Architect:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Engineer (Identify practice college):

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Builder:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Head Contractor / Site Manager:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Plasterer:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Structural Engineer:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Plumber:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Drainlayer:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Bricklayer:

Business/name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Daytime: \_\_\_\_\_ Mobile: \_\_\_\_\_  
After hours: \_\_\_\_\_ Facsimile: \_\_\_\_\_  
Registration/qualification: \_\_\_\_\_

### Other:

Business/name: **HARTS MOWERS & CHAINSAWS**  
Address: **10 TAONUI STREET**  
**PALMERSTON NORTH**  
Daytime: \_\_\_\_\_ Mobile: **(06) 358-3779**  
After hours: \_\_\_\_\_ Facsimile: **FAX: (06) 358-3002**  
Registration/qualification: **NZHTA 1643**

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to:

[required only if different from owners details completed on the front page]

HARTS MOWERS & CHAINSAWS

10 TAONUI STREET

PALMERSTON NORTH

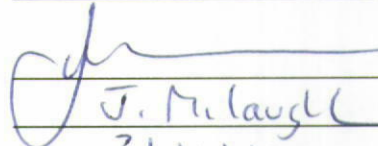
PH.: (06) 358-3779

FAX: (06) 358-3002

Signature of the owner / agent on behalf of and with the authority of the owner:

Name of person signing:

Date:

  
J. McLaughlin  
3/11/11

### Attachments:

The following documents are attached to this application:

[Tick as applicable or put n/a if there are no attachments.]

- ☐ Certificates from the personnel who carried out the work.
- ☐ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent

28182



Mowart Ltd  
10 Taonui Street  
Palmerston North  
Phone: 06 358 3779  
Fax: 06 358 3002  
Email: office@mowart.co.nz

10<sup>th</sup> October 2011

Palmerston North City Council  
Private Bag 11034  
Palmerston North

Attention: Building Department

Dear Sirs

Enclosed is a Application for a Building Consent for the Installation of a Solid Fuel Heating Appliance for:

G & M Grant, 1 Strachan Way, Palmerston North

Our cheque number 102664 for \$364 is attached for the above application.

Yours sincerely



Jane McLaughlin  
Mowart Ltd

1

Parcel ID	0943/29	DMS	Gzone
Parcel	1	STRACHAN WAY	
Legal	LOT 6 DP 72610		
Description	0.0706		
Area (ha)	22893		
Pnufi	3894028		
ParID	14530/013.71	Czone	
Valuation	1	STRACHAN WAY	
Address	1	STRACHAN WAY	
Postal	5301		
Ratepayer	MILLER, GRANT DAVID		
(s)	MILLER, MARILYN		
Legals	LOT 6 DP 72610		
Rates Area	0.0706		
Capital	\$370000		
Land Value	\$126000		
Rates	\$1845.39		
Note: Owner and postal addresses			



# RATES INVOICE

Period: 01 July 2011 to 30 June 2012

28182

Private Bag 11034, Manawatu Mail Centre, Palmerston North 4442, New Zealand P 64 6 356 9 F 64 6 351 4510  
www.pncc.govt.nz

G D MILLER  
M M MILLER  
1 Strachan Way  
Highbury  
Palmerston North 4412

Date: 0 August 2011

Instalment No: One of Four

Due Date: 6 Aug 2011

Valuation Ref: 530 013 71

Invoice No: R/ 201214689

## RATEABLE VALUE

Land Value: \$126,000

Capital Value: \$370,000

## RATING UNIT DETAILS

Location: 1 STRACHAN WAY

Area (Hectares): 0.0706

Legal Description:

LOT 6 DP 72610

TAX INVOICE/CREDIT NOTE EBIT NOTE -  
GST REG NO. 11-213-081

Rates include GST. Penalties are exempt.

## RATES REBATE SCHEME - RESIDENTIAL PROPERTIES

The Government operates a scheme to assist low income Ratepayers with payment of their rates. If you are a residential ratepayer and your income for the year ended 31 March 2011 was \$23,240 (plus \$500 per dependent) or less you may be eligible for a rebate of \$580. If your income was more than \$23,240 you may qualify for a reduced rebate. Please contact our Customer Services staff to determine your eligibility.

TOTAL RATES  
FOR CURRENT YEAR ▶

\$1,845.39

DUE DATE: 26 Aug 2011

A 10% PENALTY will be added to any portion of  
THIS INSTALMENT remaining unpaid after the DUE DATE.

Current Instalment GST content is \$60.17

BALANCE TO CLEAR ALL RATES TO 30/06/12 ▶

\$1,923.23

## STATEMENT OF ACCOUNT

OPENING BALANCE - 1st JULY \$148.04

ADJUSTMENT \$0.00

PREVIOUS INSTALMENTS \$0.00

PENALTY TO DATE \$14.80

PAYMENTS TO 22 July 2011 \$85.00 CR

CURRENT INSTALMENT \$461.35

PAYMENT NOW DUE ▶

\$539.19



Private Bag 11034, Manawatu Mail Centre,  
Palmerston North 4442, New Zealand

Remittance Advice

Rates Inst No. 1

PAYMENT DUE ▶

\$539.19

AMOUNT ENCLOSED ▶

VALUATION REF: 14530 013 71

NAME: G D MILLER

LOCATION: 1 STRACHAN WAY

PLEASE NOTE ANY CHANGE OF POSTAL ADDRESS ON REVERSE.

02301 110000014689 20120011 0000053919

Palmerston North  
City Council

TAX INVOICE No: 2012/90856  
GST Reg No : 11-213-081

Received From  
MOWART LTD

Date : 11 Oct 2011, Time: 04:29pm  
Till : FOH5  
Received : \$ 364.00 CHEQUE

=====

Applicat'n: \$ 364.00 BCON-28182  
MOWART

-----  
Total Rec : \$ 364.00

=====

In GST : \$ 47.48

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# Building & Planning Services Project Sheet

28182

Project Address: 1 STRACHAN Way

Project Description: INSTALL INSECT FENCE

Project Type Definition (circle): 0 1 2 3 4 5 6 7 Commercial or Industrial (circle)

Project Value (\$): \$7000.00 Person Making Payment: MOWART LTD

Does this application rely on a Multiproof certificate? ☐ Yes ☒ No If yes, ensure certificate is provided.

TYPE	Code	V/G NO (PNCC)	Code	AMOUNT
PIM		Lodgement BC	BA	\$
BUILDING CONSENT	<u>J2</u>	Lodgement BC	BA	\$ <u>364.00</u>
BRANZ LEVY - \$1.00 / \$1,000.00 (set fees)		Receipt with BC Lodgement	BA	\$
DBH - \$2.01 / \$1,000.00 (set fees)		Receipt with BC Lodgement	BA	\$
BUILDING CONSENT AMENDMENT		SI against owner of BC	BA	\$
CERTIFICATE FOR PUBLIC USE		SI against owner of BC	BA	\$
EXEMPT/UNAUTHORISED BUILDING WORK/SAFE & SOUND		020104 4001 GL	BA	\$
CERTIFICATE OF ACCEPTANCE		Lodgement BC	BA	\$
DEVELOPMENT CONTRIBUTION		SI DCON		\$
INSTANT RESOURCE CONSENT		RCON INST		\$
LAND USE CONSENT		RCON LUSE		\$
CERTIFICATE OF COMPLIANCE INCL. OVERSEAS INVESTMENT/EXISTING USE RIGHTS		RCON COMP		\$
SUBDIVISION CERTIFICATE		RCON SUBC		\$
SUBDIVISION DEPOSIT		RCON SUBV		\$
RELOCATION BOND		RBND		\$
CERTIFICATE OF TITLE (CT)		030205 4023 GL		\$
VEHICLE CROSSING (VEHX)		Lodgement BC		\$
COUNCIL ASSET BOND (No GST)		99 99 99 2156 GL		\$
SERVICE CONNECTIONS STORMWATER		640120 4001 GL		\$
SERVICE CONNECTIONS WASTEWATER		640322 4001 GL		\$
SERVICE CONNECTIONS WATER		640442 4001 GL		\$
TOTAL				\$ <u>364.00</u>

Project Number:	Application Accepted by:	Name: <u>NICK WARR</u> Signature: <u>[Signature]</u>	Date Accepted:	<u>11-10-11</u>
-----------------	--------------------------	---	----------------	-----------------

Comments:

Site Visit: ☐ Yes ☐ n/a Officer: Date: Time:

Please tick technical inputs for processing as required:

<input checked="" type="checkbox"/> Planning	<input checked="" type="checkbox"/> Building	<input type="checkbox"/> City Networks - Assets (MDC)
<input type="checkbox"/> Plumbing & Drainage	<input type="checkbox"/> Structural	<input type="checkbox"/> Claims Management
<input type="checkbox"/> Environmental Health	<input type="checkbox"/> NZ Fire Service DRU	<input type="checkbox"/> Palmerston North Office

Please tick appropriate processing checklist:

<input type="checkbox"/> T-08a Planning processing PIM	<input type="checkbox"/> T-19f Conservatory	<input checked="" type="checkbox"/> T19o Fires
<input type="checkbox"/> MT-08a Planning Processing PIM (MDC)	<input type="checkbox"/> T-19g Commercial - New Building	<input type="checkbox"/> T-19p Farm Buildings
<input type="checkbox"/> T-08b Building processing PIM	<input type="checkbox"/> T-19h Commercial Addition & Alteration	<input type="checkbox"/> T-19q Demolitions
<input type="checkbox"/> T-08c PIM/Building Consent Site Visit	<input type="checkbox"/> T-19i Commercial Minor Alteration	<input type="checkbox"/> T-19r Multiproof Consent
<input type="checkbox"/> T-19a Planning Processing BC	<input type="checkbox"/> T-19j EH Food Premises	<input type="checkbox"/> T-19s Shade sails/Small Sheds/Open Sited Buildings
<input type="checkbox"/> T-19b New Dwelling	<input type="checkbox"/> T-19k EH Hair Premises	<input type="checkbox"/> T-19t Continuous Flow Hot Water
<input type="checkbox"/> T-19c Small Addition	<input type="checkbox"/> T19l EH Hazardous Substances	<input type="checkbox"/> T-21b Amendment to Building Consent
<input type="checkbox"/> T-19d Minor Alteration	<input type="checkbox"/> T19m Swimming Pool	<input type="checkbox"/> T-47a Certificate for Public Use C/list
<input type="checkbox"/> T-19e Garage/Carport/Pergola/Sleepout	<input type="checkbox"/> T19n Relocation	

## CHARGE SHEET

28182

### ADMINISTRATION

Date	Time	Task	Who
12/10/11	0.25	Make folder - locd	PF
13/10/11	0.50	Monitor - Fees - Format	Vicki
Total Hours		@ \$98 ph (PNCC) \$100ph (MDC)	\$ 13.50

### TEAM LEADER/SENIOR P&D OFFICER/ADVANCED BUILDING OFFICERS

Date	Time	Task	Who
13/10/11	0.5	Process R/C	Neville
14/10/11	0.25	Sign-off	"
Total Hours		@ \$179 ph (PNCC Planning) / \$174 ph (PNCC Building) / \$151 ph (MDC)	\$ 130.50

### BUILDING/PLANNING OFFICERS/OTHER UNIT STAFF

Date	Time	Task	Who
11-10-11	0.25	App DV for FDR	NE
Total Hours		@ \$153 ph (PNCC Planning) / \$153 ph (PNCC Building) / \$131 ph (MDC Building)	\$ 38.25

### MDC PLANNING OFFICERS TIME

Date	Time	Task	Who	Sub Total
Total Hours		@ \$150 ph (Principal) / \$120 ph (Senior) \$105 ph (Officer)	TOTAL Code:(24129810)4105016008	\$

### CONTRACTORS / CONSULTANTS TIME

Date	Time	Task	Who	Sub Total
TOTAL				\$

SUB TOTAL LABOUR		\$ 242.25
LESS DEPOSIT PAID		\$
TOTAL LABOUR COST		\$

28182

## CHARGE SHEET

TOTAL LABOUR COST (Carried forward)	\$
-------------------------------------	----

OTHER FEES		N°	
LEVIES:	BRANZ	\$1.00 / \$1000.00	\$
	DBH	\$2.01 / \$1000.00	\$
Code Compliance Certificate		\$147.00 (PNCC) \$72.00 (MDC)	\$ 147.00
Building Inspections		\$81.50 / Half Insp (PNCC Only)	\$ 81.50
		\$163.00 / Insp (PNCC)	\$ 163.00
		\$156.00 / Insp (MDC)	\$
Scanning	A3	\$3.75 ea	\$
	A4	\$2.25 ea	\$
	MDC	\$42.00	\$
Vehicle Crossings		\$179.00 / Insp	\$
Legal Fee	Sect 75	\$738.00 (PNCC) / \$391.00 (MDC)	\$
	Sect 72	\$332.00 (PNCC) / \$313.00 (MDC)	\$
Producer Statement		\$72.00ea	\$
Compliance Schedule		\$115.00 (PNCC) / \$104.00 (MDC)	\$
Compliance Schedule (amendment only)		\$68.00 (PNCC) / \$62.00 (MDC)	\$
Council Asset Bond (No GST)		\$1000.00	\$
Development Levy (pre 1/7/04)			\$
NZ Fire Service DRU			\$
			\$
			\$
			\$
DEVELOPMENT CONTRIBUTIONS		City Wide Reserves	\$
		Roading	\$
		Water	\$
		Wastewater	\$
		Local Reserves	\$
		Stormwater	\$

TOTAL COST	\$ 634
TOTAL FEE TO BE WAIVED (See Below)	\$
TOTAL TO BE INVOICED/PAID	\$ 364 Fixed

Date Fees Entered into Computer System: 13/10/11

Signed off by BSO: [Signature]

### Description of Fees To Be Waived:

Type of fee	Reason for waiving	Amount
Total		\$ 364 Fixed

Waived Fees Approved By (Manager): \_\_\_\_\_

Date: \_\_\_\_\_

## INSPECTIONS REQUIRED

28182

		Tick if Applicable	No. of Inspections
291 / T28A	Building WOF		
292 / T30A	Foundations		
293 / T30AA	Reinspection		
294 / T30AB	Inbuilt Fireplace Pre-Install Check	✓	1
295 / T30AC	Final - Fireplace	✓	1/2
297 / T30AE	COMM - Foundation/Pads/Ground Beams		
296 / T30AD	COMM - Structural Concrete & Masonry		
298 / T30AF	COMM - Concrete Slab		
299 / T30AG	COMM - Framing		
300 / T30AH	COMM - Preline		
301 / T30AI	COMM - Postline		
302 / T30AJ	COMM - Final		
343 / T30VA	COMM - Final - Plumbing		
303 / T30AK	Swimming & Spa Pool		
304 / T30AL	CPU Inspection		
305 / T30B	Foundations Slab Single Pour		
306 / T30C	Retaining Wall/Split Level Foundation		
307 / T30D	Ring and Pile Foundation		
342 / T30DA	Farm Building Foundation		
308 / T30E	Subfloor Framing		
309 / T30F	Underfloor/Preslab Soil/Drain/Waste		
310 / T30G	Concrete Slab		
311 / T30GH	Blockfill		
312 / T30H	Framing		
314 / T30J	Cavity		
313 / T30I	Preclad/Plaster System Flashings		
315 / T30K	Monolithic Backing		
316 / T30L	Paper Netting		
317 / T30M	Scratch Coat		
318 / T30N	Half High Brick		
319 / T30O	Weathertightness		
320 / T30P	Preline - Single/Lower Storey		
321 / T30Q	Preline - Upper Level		
322 / T30R	Preline - Plumbing		
395 / T30RA	Minor Preline - Plumbing & Building		
336 / T30P/R	Preline - Building & Plumbing		
323 / T30S	Postline		
324 / T30T	Drainage		
325 / T30U	Final - Building		
326 / T30V	Final - Plumbing		
327 / T30W	Final - Building & Plumbing		
344 / T30WA	Final - Relocation		
328 / T30X	Final - Garage, Carport, Pergola		
337 / T30XA	Final - Farm Buildings		
329 / T30Y	Final - Minor Internal Alteration		
330 / T30Z	Final - Demolition		
331 / T30ZZ	Engineer Observation		
Total Number of Inspections Charged			2

 **Blue Folder**

 Codafire

## Plan Drawer

**Nº:**

<b>Project Type</b> (0-7) (C/I) <b>0</b>		<b>Building Officer Responsible</b> <b>Res</b>		<b>FOH Received Date</b> <b>11 / 10 / 11</b>	
				<b>NZFS DRU Input Required?</b> <b>Y / N</b>	
<b>PLANNING/SUBDVN</b>		<b>Name:</b>		<b>Date:</b>	
<b>CLAIMS MANAGEMENT</b>				<b>In Progress:</b>	
Does this consent require a:					
Section 72		<b>YES / NO</b>		<b>Completed:</b>	
Section 75		<b>YES / NO</b>			
Memorandum of Encumbrance		<b>YES / NO</b>			
<b>SITE VISIT:</b>		<b>Name:</b>		<b>Date:</b>	
<b>BUILDING PIM:</b>		<b>Name:</b>		<b>Date:</b>	
<b>BUILDING BC:</b>		<b>Name:</b> <b>NOM</b>		<b>Date:</b> <b>13/10/11</b>	
<b>P&amp;D WASTEWATER</b>		<b>Name:</b>		<b>Date:</b>	
<b>CITY NETWORKS</b>		<b>Name:</b>		<b>Date:</b>	
<b>STRUCTURAL</b>		<b>Name:</b>		<b>Date:</b>	
<b>HEALTH/HSNO</b>		<b>Name:</b>		<b>Date:</b>	
<b>PROJECT DESCRIPTION</b>			<b>Site Folder</b>	<b>Cityview Map</b> <input checked="" type="checkbox"/>	
<b>INSTALL INBUILD FIRE</b>				<b>Site Plan</b> <input checked="" type="checkbox"/>	
				<b>Drainage Plan</b>	
				<b>Copy of PIM</b>	
				<b>Copy of B/C</b>	
<b>Project Number</b> <b>28182</b>		<b>PIM Number</b>		<b>VC number</b>	
<b>PROJECT ADDRESS</b> <b>1 STRACHAN WAY</b>				<b>Provisional Due Date</b> <b>9 / 11 / 11</b>	