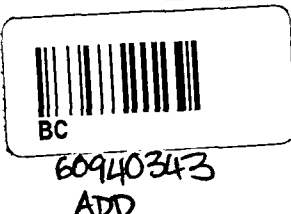


(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT		PROJECT	
<b>Name:</b> MR & MRS A & J DOUGLAS  <b>Mailing Address:</b>  C/O K HAPI 65 THOMAS CRESENT ROTORUA		<b>All</b> <input type="checkbox"/>  <b>Stage No</b> X <b>of an intended</b> <b>stages</b> <b>of:</b>  New Building <input type="checkbox"/>  Alteration <input type="checkbox"/>  <b>Intended Use(s) (in detail):</b> DWELLING ALTERATIONS/EXTEN REMOVE KITCHEN/DINING ROOM WALL  <b>Intended Life:</b>  Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as <b>years</b>  Demolition <input type="checkbox"/>  <b>Estimated Value:</b> \$ 900.00	
PROJECT LOCATION			
<b>Street Address:</b>  6 OTONGA ROA ROTORUA 			
LEGAL DESCRIPTION			
<b>Property Number:</b> 10327 <b>Valuation Roll Number:</b> 06580/210.00 <b>Lot:</b> 36 <b>DP:</b> 27272 <b>Section:</b> <b>Block:</b> <b>Survey District:</b>			
COUNCIL CHARGES			
<b>The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:</b>   <b>Total:</b> \$ 0.00  <b>ALL FEES ARE G.S.T. INCLUSIVE</b>		<b>Signed for and on behalf of the Council:</b>  <b>Name:</b> M S Tapiak  <b>Position:</b> ADMIN - BUILDING  <b>Date:</b> 11 / 4 / 94	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached **1** pages, headed "Conditions of Building Consent No **94/343**"



**Signed:**

Chiggins 2-10-95

Section 43(3), Building Act 1991

ISSUED BY

ROTORUA DISTRICT COUNCIL

BUILDING CONSENT NO: 60/94/0343

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT		PROJECT LOCATION	
All	<input checked="" type="checkbox"/>	Street Number:	
Stage No of:	of an intended stages	MR & MRS A & J DOUGLAS 6 OTONGA ROAD ROTORUA	
New or relocated building	<input type="checkbox"/>		
Alteration	<input checked="" type="checkbox"/>		
Intended use(s) (in detail): DWELLING ALTERATIONS/EXTEN REMOVE KITCHEN/DINING ROOM WALL		LEGAL DESCRIPTION	
Intended Life:		Property Number: 10327	
Indefinite, but not less than 50 years		Valuation Roll Number: 06580/210.00	
Specified as years		Lot: 36	DP: 27272
Demolition		Section:	Block:
		Survey District:	

This is:

☒

A final code compliance certificate issued in respect of all of the building work under the above building consent

☐

An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent

☐

This certificate is issued subject to the conditions specified in the attached .....page(s) headed "Conditions of Code Compliance Certificate No. ...." (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No:

Signed for and on behalf of the Council:

Name:

*C. Wiggins*

Position:

*Building Officer*

Date:

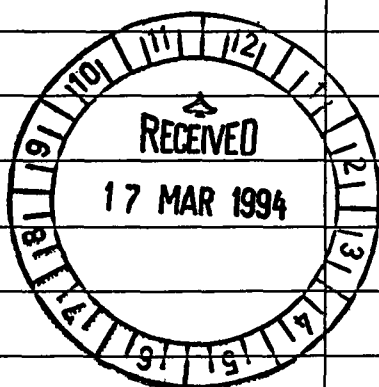
*6/10/95*

## BUILDING CONSENT PROCESSING SHEET

CONSENT NUMBER: 60/94/ 343 DATE RECEIVED: 17.3.94

SITE ADDRESS: 6 Otonga Road

ACTION/OFFICER	Review	Date	TIME TAKEN	APPROVE	DATE
Check Appln - Bldg Off.			Hours ____ Mins ____	<i>[Signature]</i>	17.3.94
Prepare file & date entry			Hours ____ Mins <u>15</u>	<i>[Signature]</i>	18.3.94
Process Application -					
- CPC Planning			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	18.3.94
- <del>Drafting</del>			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	21.3.94
- EHO			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	24.3.94
- P & D			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	24.3.94
- Trade Waste			Hours ____ Mins <u>5</u>		
- <del>Res &amp; Comm.</del>			Hours ____ Mins ____		
- Dangerous Gds/Geother. Hazardous Waste			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	24.3.94
- Resource Engineer - Land Fill - Flood Prone			Hours ____ Mins ____ No Unknown No Unknown	<i>[Signature]</i>	25.3.94
- Building Officer			Hours ____ Mins <u>5</u>	<i>[Signature]</i>	6.4.94
Update data entry, issue invoice/permit			Hours ____ Mins ____		
Word Processing			Hours ____ Mins ____		
Issue permit			Hours ____ Mins ____		
Fax costs			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		
			Hours ____ Mins ____		



# ROTORUA DISTRICT COUNCIL

## APPLICATION FOR A BUILDING CONSENT

Section 33, Building Act 1992  
(Attach all relevant documents in duplicate)

APPLICATION NUMBER 94.343



### PART A : GENERAL

(Complete Part A in all cases)

#### 1. OWNER

#### 2. CONTACT (If not owner)

Name <u>A + J. DOUGLAS</u>	Contact Name <u>K. HAPI</u>
Postal Address <u>6 OTONGA RD</u> <u>ROTORUA</u>	Postal Address <u>65 THOMAS CRES</u> <u>ROTORUA</u>
Phone Number <u>(07) 3480 702</u>	Phone Number <u>(07) 3489 804</u>
Fax Number <u>—</u>	Fax Number <u>—</u>

#### 3. PROJECT LOCATION

Address: 6 OTONGA RD ROTORUA

#### 4. LEGAL DESCRIPTION

Valuation Number <u>6580 / 210.</u>	Property ID: <b>OFFICE USE ONLY</b>
Lot(s) (Section) <u>36</u>	DP/S (Block) <u>27272</u>
Lot Area(s) <u>885m<sup>2</sup></u>	square metres hectares

#### 5. PROJECT

5.1 New Building <input type="checkbox"/>	5.2 Intended Life	5.3 Description of Work: <u>REMOVE 2 WALLS</u>
Alteration <input checked="" type="checkbox"/>	Indefinite but not less than 50 yrs <input checked="" type="checkbox"/>	5.4 Intended Use(s) (in detail) <u>CREATE OPEN</u>
Relocation <input type="checkbox"/>	or	<u>PLAN DINING / KITCHEN.</u>
Demolition <input type="checkbox"/>	Specified as <input type="checkbox"/> yrs	5.5 Estimated Value: \$ <u>900</u> (GST INCL)

- ☐ Application for building consent only, in accordance with Project Information Memorandum No. ....
- ☐ Application for Building Consent and Project Information Memorandum.

Signed by the owner:

Signature: J. Douglas

Name: J. DOUGLAS Date: 16.3.94  
(PLEASE PRINT)

<b>Office Use Only</b>
<b>TARGET DATE</b>
<u>15/3/94</u>

## PART B : PROJECT DETAILS

6. (Complete Part B only if you have NOT applied separately for a project information memorandum).

The project involves the following matters; tick each applicable box, if any, and attach relevant information in duplicate.

- (a) ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings. (Site Plan with elevations, Topography, drawn to scale.)
- (b) ☐ Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundation, geothermal, hazardous contaminants on or near the site.
- (c) ☐ Provision to be made for vehicular access, including parking. (To be shown on site plan.)
- (d) ☐ Provisions to be made in building over or adjacent to any road or public place.
- (e) ☐ Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan.)
- (f) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- (g) ☐ New connections to public utilities, i.e. water supply, stormwater system, wastewater system.
- (h) ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- (i) ☐ Details of any cultural or heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
- (j) ☐ Copy or reference to, of any resource consent or planning approval for this project.
- (k) ☐ Details of volume of Proposed Excavations: Include volumes for Site Preparation, Basement, and Driveway.

## PART C : PROJECT DETAILS

(Complete Part C in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate).

- 7. ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provision of the New Zealand Building Code, with supporting documents, if any, including:
  - 8. ☐ Building certificates
  - 9. ☐ Producer statements
  - 10. ☐ References to accreditation certificates issued by the Building Industry Authority.
  - 11. ☐ References to determinations issued by the Building Industry Authority.
- 12. ☒ Proposed procedures, if any, for inspection during construction.

13. Please answer the following questions if they apply.

What materials will be used for the: (tick boxes) and which form of energy is being installed OR is already installed?

**Floor**

1 ☐ Timber

2 ☐ Concrete

3 ☐ Wood products

4 ☐ Other

**Roof**

1 ☐ Steel

2 ☐ Concrete tiles

3 ☐ Steel tiles

4 ☐ Shingles

5 ☐ Aluminium

6 ☐ Other

**Outer Walls**

1 ☐ Brick

2 ☐ Concrete

3 ☐ Concrete block

4 ☐ Cement Board

5 ☐ Plaster

6 ☐ Timber

7 ☐ Steel

8 ☐ Aluminium

9 ☐ Other

**Energy**

1 ☐ Electric

2 ☐ Gas

3 ☐ Solid Fuel

4 ☐ Floor electrical

5 ☐ Ceiling electrical

6 ☐ Storage electrical

**Cooking**

7 ☐ Electric

8 ☐ Gas

9 ☐ Solid fuel

**Framing**

1 ☒ Timber

2 ☐ Concrete

3 ☐ Steel

4 ☐ Aluminium

5 ☐ Other

**Internal Linings**

1 ☒ Plaster board

2 ☐ Fibrous Plaster

3 ☐ Wood products

4 ☐ Other

**Insulation**

1 ☐ Fibreglass

2 ☐ Fibreglass

3 ☐ Wool

4 ☐ Foil

5 ☐ Other

14.	
Floor Area of Proposed Work	Area square metres
<b>Buildings Other Than Detached Accessory Buildings:</b>	sq.m.
Floor	sq.m.
Basement	sq.m.
Ground Floor	sq.m.
First Floor	sq.m.
Second Floor	sq.m.
Additional Floors (Total)	sq.m.
Mezzanine	sq.m.
Decks	sq.m.
Total	sq.m.
<b>Detached Accessory Buildings:</b>	Area square metres
Garage	sq.m.
Carport	sq.m.
Other Buildings	sq.m.
Total	sq.m.



## PART E : COMPLIANCE SCHEDULE DETAILS

### E1 : SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

*(Complete Part E1 for all new buildings and alterations, except single residential dwellings)*

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above mentioned systems.
- ☒ None of the above.

### E2 : OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

*(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)*

The building will contain the following (cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Hand-held hoses for fire fighting.
- ☐ Such signs as are required by the New Zealand Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

**PART D***(Complete as far as possible in all cases)**Give names, addresses, telephone numbers. Give relevant numbers if known.*

11.

**DESIGNER(S)**

Name: .....

Address: .....

Phone Number: ..... Fax Number: .....

**BUILDER**Name: K. Hapi .....Address: 65 THOMAS CRES ROTORUA .....Phone Number: 34 89804 ..... Fax Number: — .....**DRAINLAYER**

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

**PLUMBER**

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

**GASFITTER**

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

**ELECTRICIAN**

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

**CERTIFIERS**

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

Certifying: .....

Name: ..... Reg. No. ....

Address: .....

Phone Number: ..... Fax Number: .....

Certifying: .....

# RESITING OF DWELLINGS/BUILDINGS ETC.

## FOR OFFICE USE ONLY

FEES		
Fees paid on Application	\$	¢
Plan Review		
Project Information Mem.		
Microfilming		
<b>TOTAL FEE GST incl.</b>		
Fees payable on approval	\$	¢
Building Consent <i>Small work full fees</i>	75	
Street Crossing		
BRANZ Levy		
Development Contribution		
Footpath Deposit		
Photocopying		
Microfilming		
Water Connection		
Structural Check		
Sewer Connection		
Sewer Dis.		
Controlled Activity Bond		
Controlled Activity Fee		
Resiting Bond		
Service Lane formation		
<b>APPROVAL TOTAL</b>		

CONSENT No.

### CONSENT ISSUE AUTHORITY

Receipt No.

D489282

Date of Issue

17.3.94

Authorised by

*[Signature]*

Date authorised

6.4.94

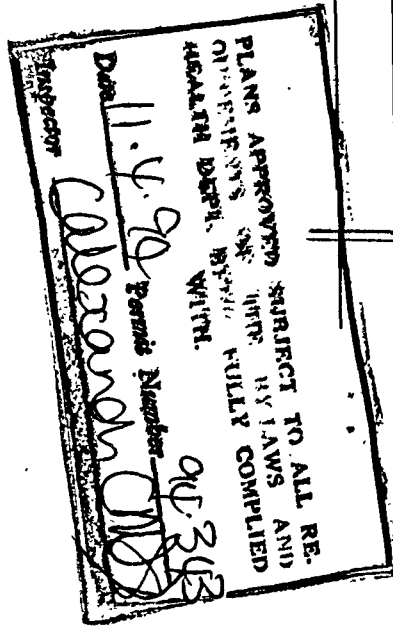
### REFERRALS

	SENT	RETURNED
Structural		
Fire Service		

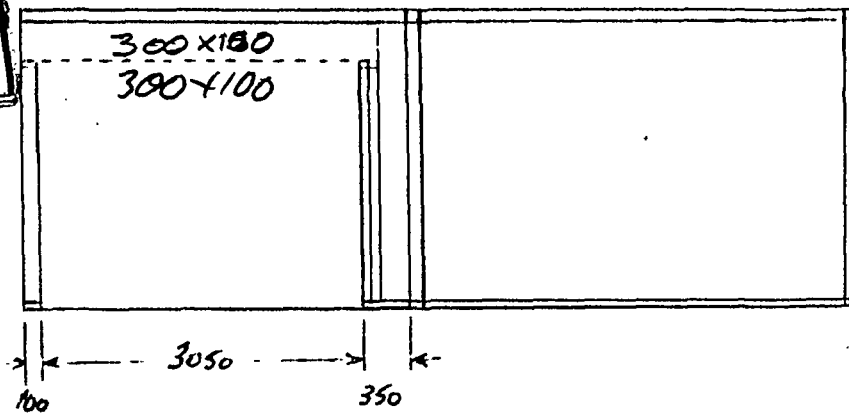
### AMENDED DETAILS RECEIVED

	TO	FROM
Planning		
Health		
Streets		
Traffic		
Water		
Drainage		
P & D		
Building		
Structural		

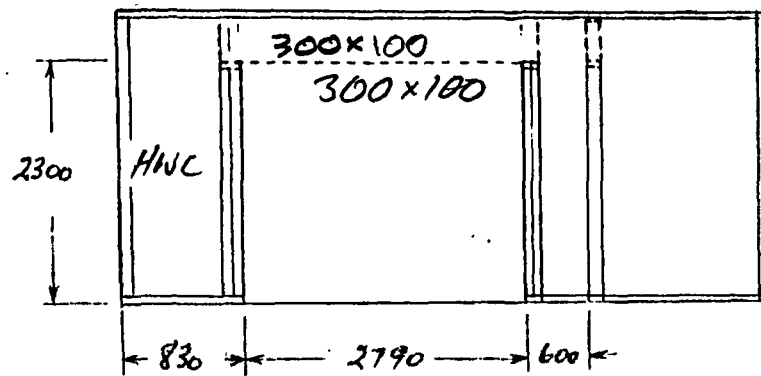
SECTION B



SECTION A



SECTION A



SECTION B

- BEAMS:
- 1) SUPPORTED BY DOUBLE STUDS.
  - 2) ENDS FIXED TO EXISTING STUDS.
  - 3) TOP FIXED TO TOP PLATE.

A. AND J. DOUGLAS.

LOT No 36

O.P. 27272



