

Dunedin City Council Land Information Memorandum

100318

**Issued in accordance with Section 44A of the Local Government Official
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed
in this report, please phone our Customer Services Agency on
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **29 April 2025**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

138 Coast Road Waikouaiti

**LIM Applicant
Print Date**

Glenn Raymond Rugaas
29-Apr-2025

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PROPERTY DETAILS

Property ID 5044915
Address 138 Coast Road Waikouaiti
Parcels LOT 31 DP 2137

Rubbish Day Monday

RATES DETAILS

Rate Account 2044915

Address 138 Coast Road Waikouaiti

Valuation Number 26520-15800

Latest Valuation Details

Capital Value \$235,000
Land Value \$235,000
Value of Improvements \$0
Area (Hectares) 0.0759HA
Units of Use 1

Current Rates

Current Rating Year Starting 01-Jul-2024
Dunedin City Council Rates \$1,088.10

Rates Outstanding for Year \$272.04

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Dunedin City Council have no drainage records for 138 Coast Rd Waikouaiti.

Building and Drainage Consents

There are no records of any Building Consents for this property.

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1963-288589](#) AAW19630011 - A010188 - Kitchen Alteration/Demolished. The permit was lodged on 23-Jul-1963.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

Land Stability – Engineering reports for this property have noted that the adjacent road has been subject to instability in the past. No record of damage to this property.

Identified within GNS Science Consultancy Report 2017/41 "Revised landslide database for the coastal sector of the Dunedin City district", Barrell, July 2017

This information is administered by the Otago Regional Council Natural Hazards Database
<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

The **Otago Regional Council** has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report.

We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection.

Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has two district plans, and as at 19th August 2024, the partially operative Dunedin City Second Generation District Plan ("The 2GP") almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

The 2GP is subject to change at any time. Plan Change 1 (Minor Improvements) to the 2GP was notified on Wednesday 20 November 2024. Rules that protect areas of significant indigenous vegetation or habitats of indigenous fauna, and that protect historic heritage, have immediate legal effect from notification of Plan Change 1. Once the initial submission period ends on 18 December 2024, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Plan Change 1 at <http://www.dunedin.govt.nz/2gp-plan-change-1> .

You should check with the Council whether any changes have occurred since the date this LIM report was issued. **The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as follows in the District Plan.

Zone

RURAL

Indigenous Vegetation and Fauna - Interim Rule 16.6.2

Rule 16.6.2 applies in the Rural and Rural Residential zones, but not in any Urban Landscape Conservation Area. The rule imposes controls on the clearance or modification of indigenous vegetation, and on earthworks in respect of coastal habitat, wetland, skink habitat and indigenous vegetation. Also refer to Planning Map 79.

Type

0.5ha

Coastal Habitat

Subdivision Activity - Esplanade Reserve/Strip Required

This site or a nearby or adjoining property to this site is traversed by a watercourse or water body which is notated on the Planning Maps and in Rule 18.5.4 or Rule 18.5.5 as requiring an esplanade reserve or strip upon subdivision of any land into lots of less than 4ha. If the bed of the watercourse is close to or extends into this property, then the esplanade reserve/strip requirements may apply to any subdivision of this site.

Name

Type

COAST

Reserve

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA L_{max} between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

55 Dt/40Nt dBA within 50m of a residence

Road Hierarchy

The roads listed below adjoining this property are classified as either Collector, District Regional or National Roads in the District Plan Road Hierarchy. All other roads adjoining this property but not listed here are classified as Local Roads. Refer to Section 20 of the District Plan for more information.

Type

DISTRICT

Coast Rd

SECOND GENERATION PLAN INFORMATION**Zoning**

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Archaeological Alert Layer
- No DCC Reticulated Wastewater Mapped Area
- Road Classification Hierarchy (main roads within 30m of site)
 - Coast Rd is a Collector road
- Wahi Tupuna (adjoining)
 - Name: Blueskin Bay
 - ID: 16
- Wahi Tupuna
 - Name: Purakaunui to Hikaroroa to Huriawa
 - ID: 14

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

Resource Consents

There are no resource consents for this property.

RESOURCE CONSENTS WITHIN 50 METRES OF 138 COAST ROAD WAIKOUAITI 2284 R Coast Road Waikouaiti

[LUC-2021-321](#) Land Use Consent development and operation of a new, underground network utility. The outcome was Granted on 27/09/2021.

[RMA-2004-368562](#) Resource Management Act (Historical Data) ALTER DESIGNATION FOR SH1 - WARRINGTON TURN-OFF (Other). The outcome was Granted on 17/08/2005.

[RMA-2000-363953](#) Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE FOR THE CONSTRUCTION OF FIVE SPANS OF 11 KV (312 METRES) OF OVERHEAD POWER LINES (Other). The outcome was Declined on 01/05/2000.

[RMA-1984-354332](#) Resource Management Act (Historical Data) ERECT A"LEAN TO"IMPLEMENT SHED Ownr:KM AND AG BENNETT / App: KM AND AH BENNETT COAST RD, WAIKOUAITI (Notified - Non Complying). The outcome was Granted on 08/03/1985.

[RMA-1984-354330](#) Resource Management Act (Historical Data) OPERATE AN OLD PEOPLES HOME / App: DL AND EA COOPER (Notified - Non Complying). The outcome was Granted on 06/03/1985.

5044911 127 Coast Road Waikouaiti

[RMA-2006-369838](#) Resource Management Act (Historical Data) SECTION 357 OBJECTION TO CONSENT DECISION RMA 20051126 (Other). The outcome was S357 Upheld on 30/01/2006.

[RMA-2005-369546](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/11/2005.

5112836 127 Coast Road Waikouaiti

[RMA-2005-369712](#) Resource Management Act (Historical Data) CHANGE OF CONDITIONS TO SUBDIVISION CONSENT RMA20050952 (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/01/2006.

[RMA-2006-369838](#) Resource Management Act (Historical Data) SECTION 357 OBJECTION TO CONSENT DECISION RMA 20051126 (Other). The outcome was S357 Upheld on 30/01/2006.

[RMA-2006-370035](#) Resource Management Act (Historical Data) SECTION 127 REVIEW OF CONSENT CONDITIONS (Other). The outcome was Granted on 07/04/2006.

[RMA-2005-369546](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/11/2005.

5112842 125 Coast Road Waikouaiti

[RMA-2005-369712](#) Resource Management Act (Historical Data) CHANGE OF CONDITIONS TO SUBDIVISION CONSENT RMA20050952 (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/01/2006.

[RMA-2006-369838](#) Resource Management Act (Historical Data) SECTION 357 OBJECTION TO CONSENT DECISION RMA 20051126 (Other). The outcome was S357 Upheld on 30/01/2006.

[RMA-2006-370035](#) Resource Management Act (Historical Data) SECTION 127 REVIEW OF CONSENT CONDITIONS (Other). The outcome was Granted on 07/04/2006.

[RMA-2005-369546](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT (Non-Notified - Restricted Discretionary). The outcome was Granted on 17/11/2005.

[5128922](#) 140 Coast Road Waikouaiti

[SUB-2018-140](#) Subdivision Consent subdivision consent for the fee-simple subdivision of existing cross lease titles. The outcome was Granted on 18/01/2019.

[LUC-2018-716](#) Land Use Consent land use consent for residential activity on undersized lots created by SUB-2018-140. The outcome was Granted on 18/01/2019.

[5128923](#) 142 Coast Road Waikouaiti

[SUB-2019-35](#) Subdivision Consent subdivision consent for a boundary adjustment. The outcome was Granted on 31/05/2019.

[SUB-2018-140](#) Subdivision Consent subdivision consent for the fee-simple subdivision of existing cross lease titles. The outcome was Granted on 18/01/2019.

[LUC-2018-716](#) Land Use Consent land use consent for residential activity on undersized lots created by SUB-2018-140. The outcome was Granted on 18/01/2019.

[RMA-1992-354988](#) Resource Management Act (Historical Data) ADD BEDROOM AND DECK TO DWELLING (Non-Notified - Non Complying). The outcome was Granted on 08/04/1992.

[5130891](#) 142 Coast Road Waikouaiti

[SUB-2019-35](#) Subdivision Consent subdivision consent for a boundary adjustment. The outcome was Granted on 31/05/2019.

[SUB-2018-140](#) Subdivision Consent subdivision consent for the fee-simple subdivision of existing cross lease titles. The outcome was Granted on 18/01/2019.

[LUC-2018-716](#) Land Use Consent land use consent for residential activity on undersized lots created by SUB-2018-140. The outcome was Granted on 18/01/2019.

[RMA-1992-354988](#) Resource Management Act (Historical Data) ADD BEDROOM AND DECK TO DWELLING (Non-Notified - Non Complying). The outcome was Granted on 08/04/1992.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORT

As of the 24th April 2015, the Transport Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined.

DCC Transport has carried out a desktop inspection of this property and found the following:

Non-compliant vehicle crossing

To meet current Council standards the vehicle crossing is required to be sealed from the edge of carriageway for at least first 5m towards the property boundary. This requirement is to protect the back of the footpath and prevent debris migrating from inside the property out onto the footpath or carriageway. This may be required to be upgraded in the future. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Please note these matters above may or may not have been resolved.

3 WATERS

WATER

Rural water supply area - Warrington Scheme – Not Connected

The subject property is located within the Warrington Rural Water Scheme as shown in Appendix B of the Dunedin City Council Water Bylaw 2011. The water supply from this scheme is a low-pressure, restricted flow supply. This property is not connected to the scheme. New connections and allocation of new water units or re-allocation of existing units is at the discretion of the Council.

It is a scheme requirement that a storage tank is in place, and capacity of at least 2 days storage for domestic use is recommended. Only part of the scheme is incorporates with fire-fighting capability. Where a property is located beyond the area with fire-fighting capability, it is strongly recommended that water storage facilities also comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNZ PAS 4509).

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

FOUL SEWER AND WASTE WATER

No Services Available

No Dunedin City Council-owned stormwater or foul sewer services are available for connection at the subject property

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

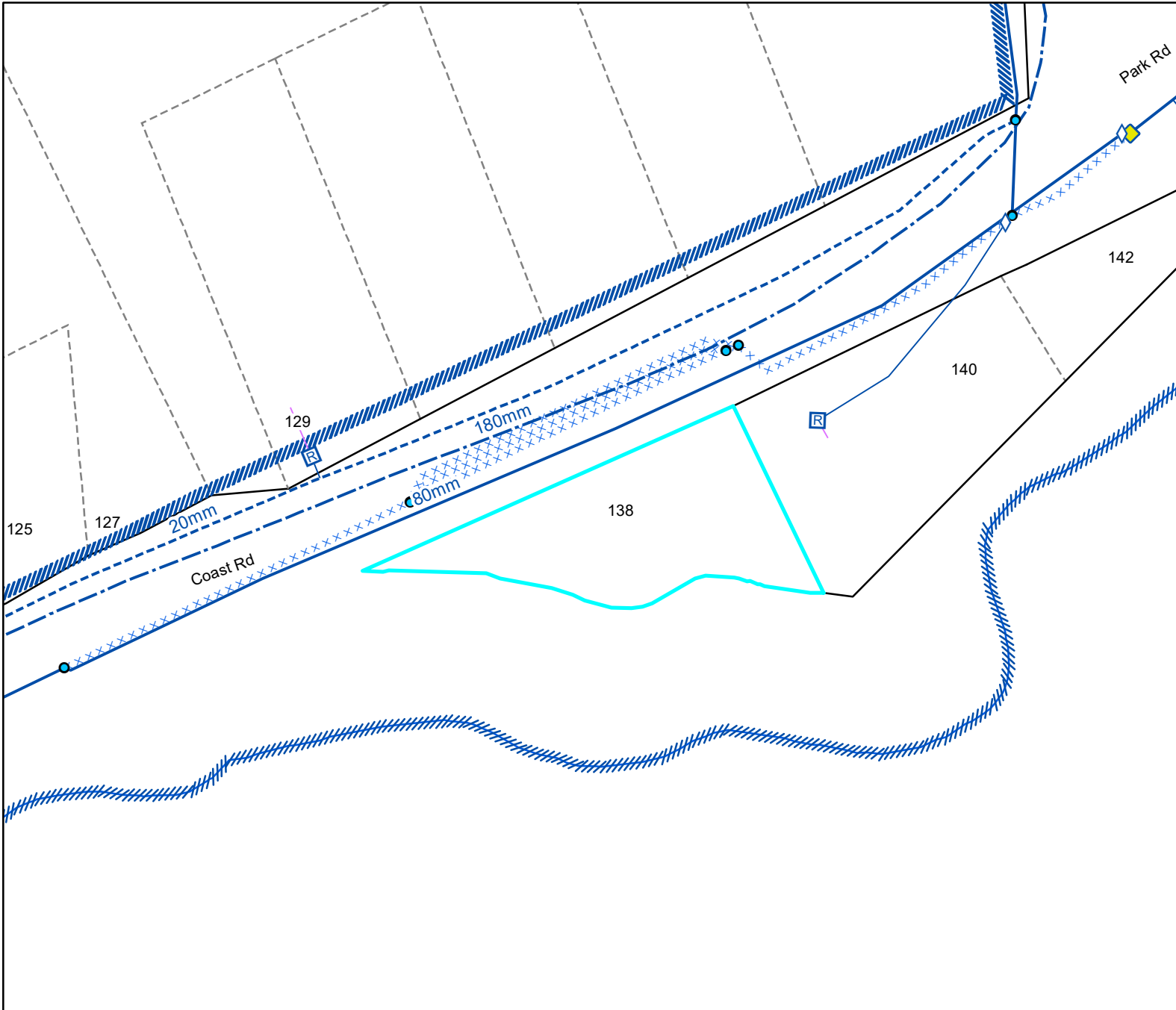
Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System





Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel
	Railway Centrelime		Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

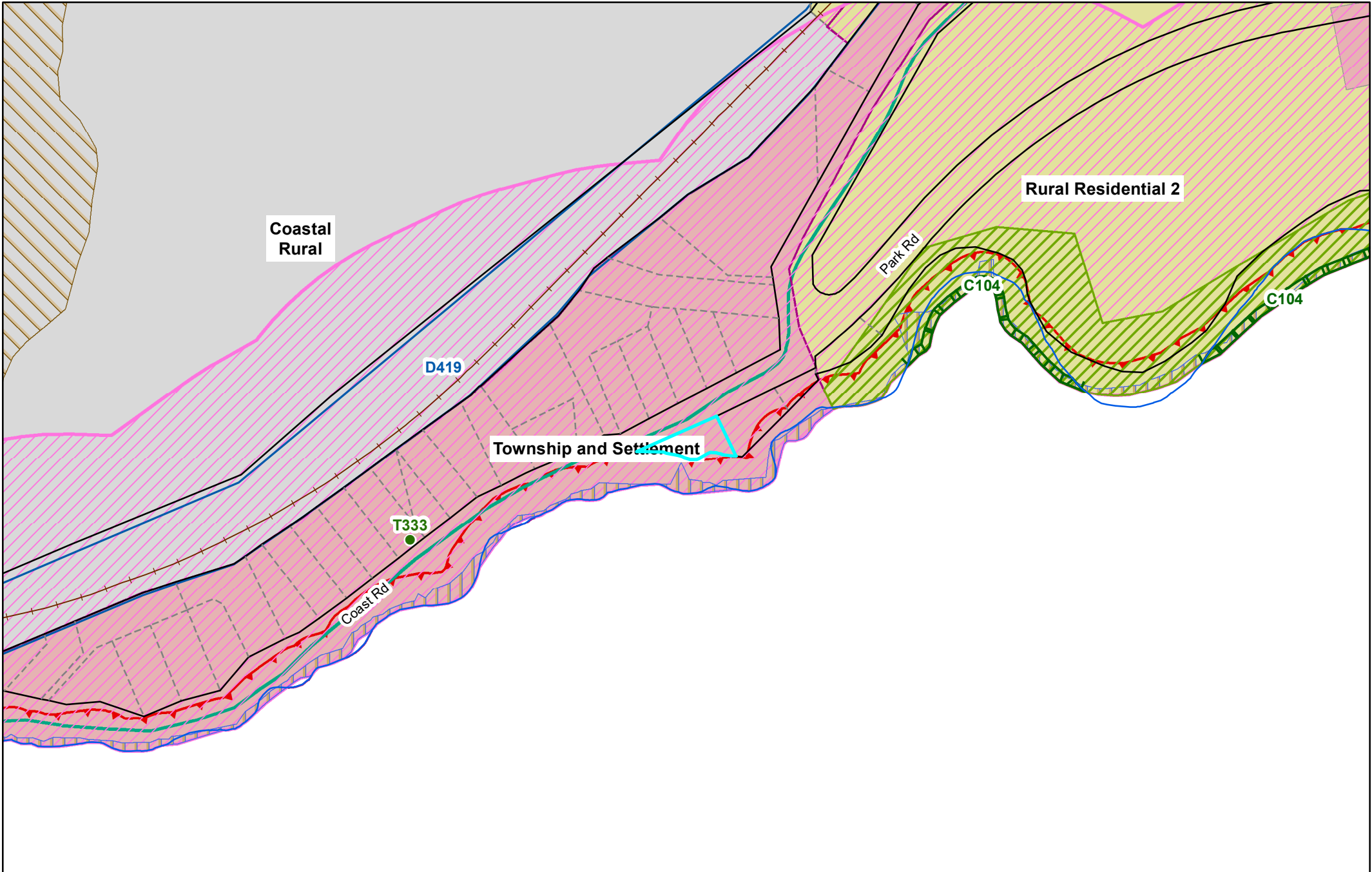
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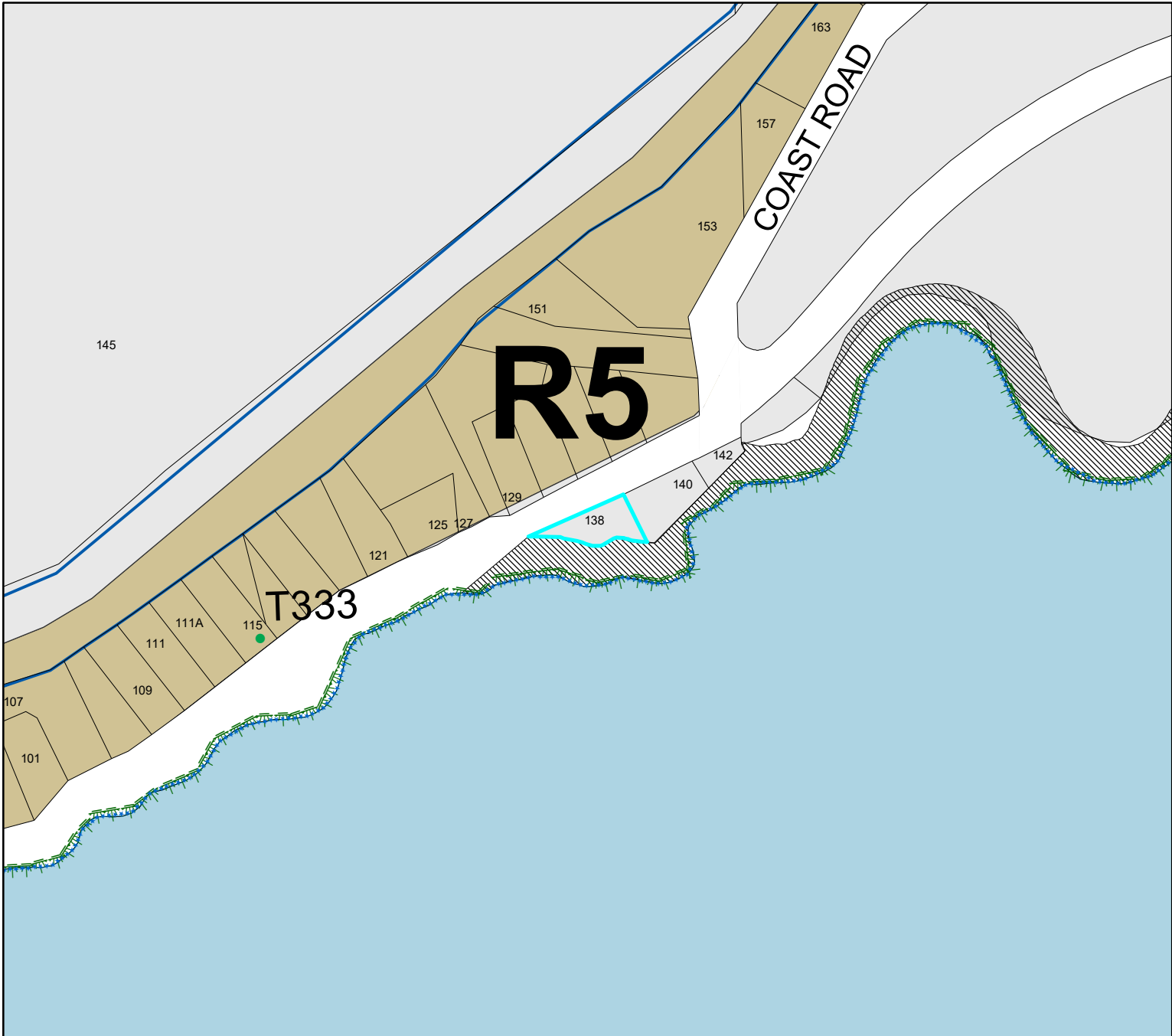
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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Legend

- Significant Trees
 - Transpower Structure
 - Transpower Lines
 - Heritage Structure
 - Heritage Facade
 - DP Archaeological Sites
 - Airport Fan Designation 274 bdy
 - Port Height Restrictions
 - DP Designations
 - Urban Landscape Conservation Area
 - DP Taiari Aerodrome
 - Restricted Water Supply Area
 - Ground Water Protection Zone A
 - Ground Water Protection Zone B
 - Public Roads not Legal
 - Unformed Legal Road
- Zones**

 - R1 - Residential 1 Zone
 - R2 - Residential 2 Zone
 - R3 - Residential 3 Zone
 - R4 - Residential 4 Zone
 - R5 - Residential 5 Zone
 - R6 - Residential 6 Zone
 - R6A
 - Campus Zone
 - Airport Zone
 - Stadium Zone
 - CA - Central Activity Zone
 - LSR - Large Scale Retail Zone
 - LA1 - Local Activity Zone 1
 - LA2 - Local Activity Zone 2
 - In1 - Industrial 1 Zone
 - In2 or SD - Industrial 2 or Special Development Zone
 - Port 1 Zone
 - Port 2 Zone
 - RR - Rural Residential Zone
 - Rural Zone
 - H - Harbourside
- Port & Airport Noise**

 - Air Noise Boundary
 - Airport Outer Control Boundary
 - Outer Port Control Boundary
 - Port Noise Boundary

Esplanade Requirement

- Esplanade Reserve Required
- Esplanade Strip Required

Landscape Management Boundary

- outside boundary
- boundary between areas
- prominency boundary

Townscape

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

Pedestrian Frontage

- Identified Pedestrian Crossing
- Verandah Required

Areas of Significant Conservation Value boundary

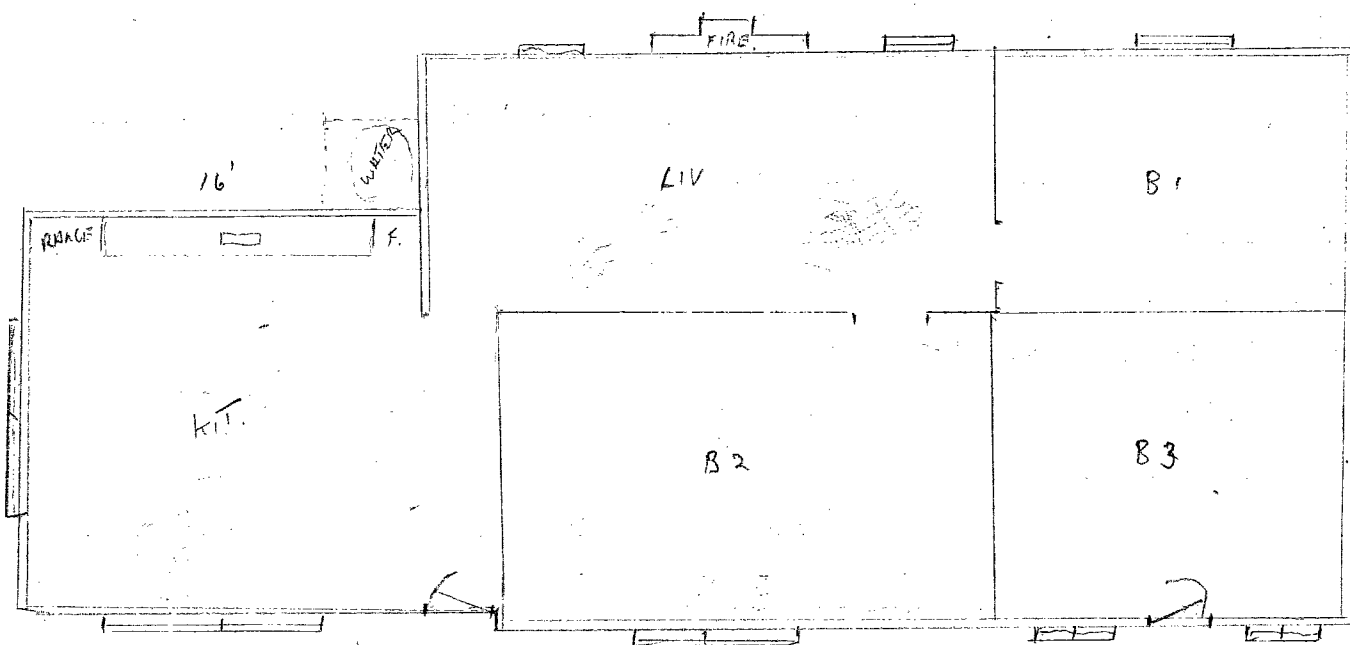
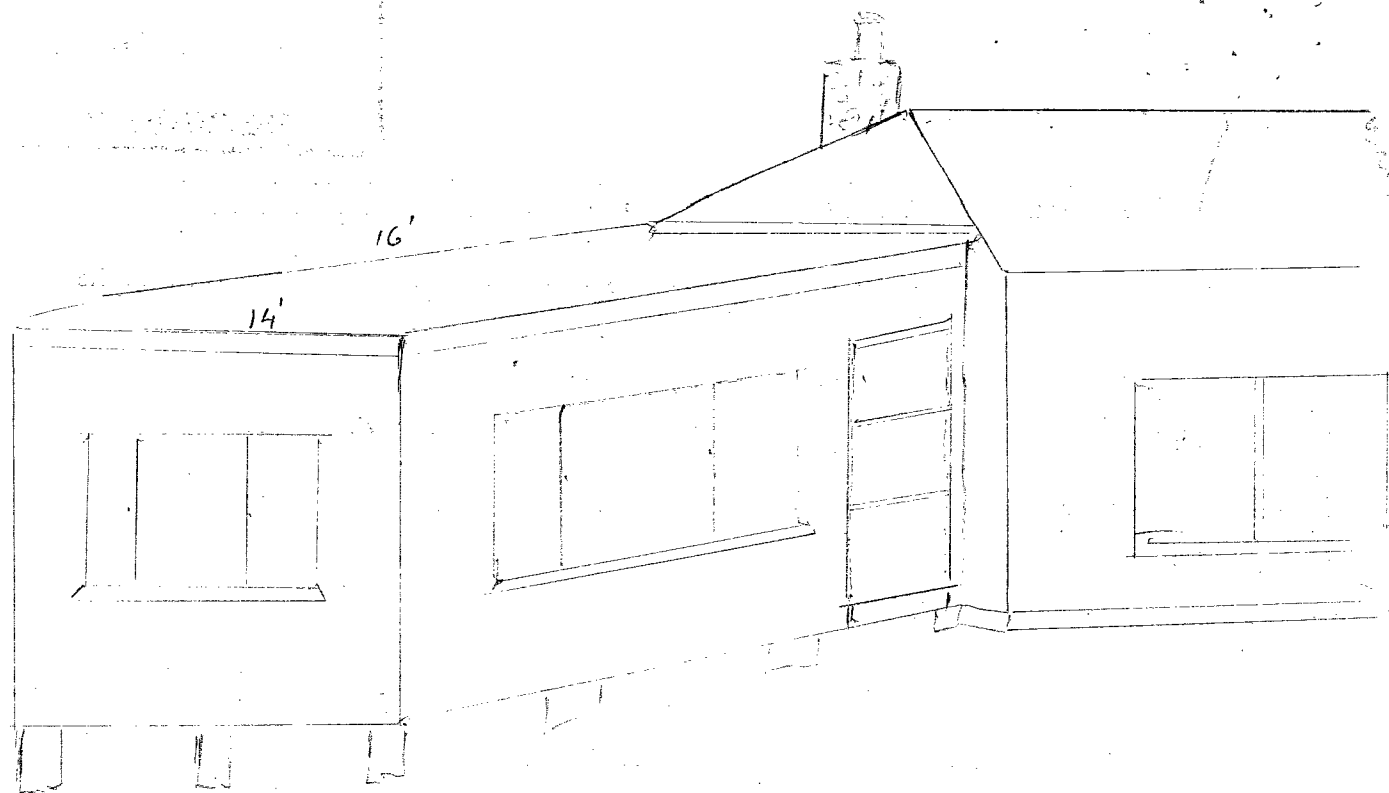
- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000
Optimal scale range is 1:2000 - 1:5000
This Planning Map is indicative.

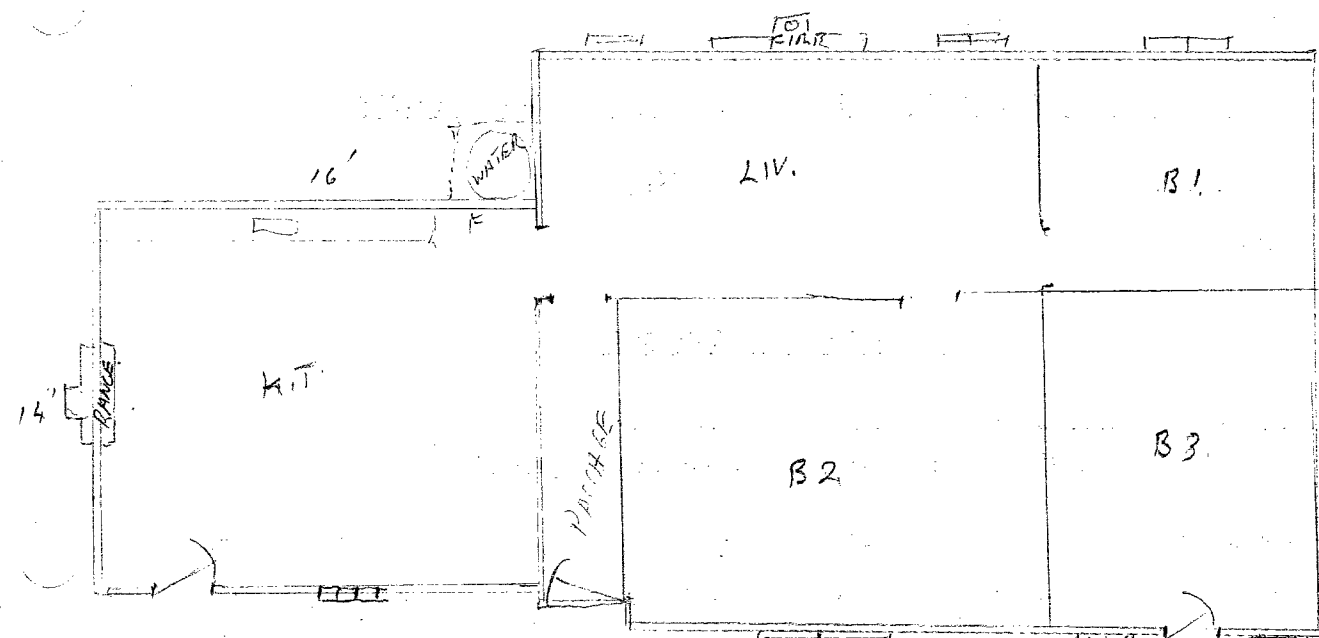
The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

SCALE—SITE PLAN 1/16th INCH = 1 FOOT
ELEVATIONS, ETC. 1/8th INCH = 1 FOOT

PLAN OF PROPOSED BUILDING



NEW. PLAN



OLD PLAN

BEYOND REPAIR.

TANK

10'

PUMPS
COPPER

BATH

TUB
AS WASH
BATH

14'

TUB

WASHING
MACHINE

14'

CHAMBER
W.C.

HOUSE