

Application for Project Information Memorandum and/or Building Consent



Here We Are!

RICHMOND
189 Queen Street
Private Bag 4,
Richmond 7031
Ph (03) 543 8400
Fax (03) 543 9524

MOTUEKA
7 Hickmott Place
PO Box 123
Motueka
Ph (03) 528 2022
Fax (03) 528 9751

TAKAKA
78 Commercial St
PO Box 74,
Takaka
Ph (03) 525 0020
Fax (03) 525 9972

MURCHISON
92 Fairfax St,
Murchison
Ph (03) 523 1013
Fax (03) 523 1012

24 Hour
**EMERGENCY
PHONE**

Call your local office



Application for Project Information Memorandum and/or Building Consent

Form 2

Section 33 or Section 45, Building Act 2004

The building

Street address of building:

(for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection)

45 KING EDWARD ST. MOTUEKA.

Legal description of land where building is located: (state legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent)

Building name: (if applicable)

Location of building within site/block number: (include nearest street access)

Number of levels: (include ground level and any levels below ground)

1

Level/unit number: (if applicable)

Area: (total floor area; indicate area affected by the building work if less than the total area)

125m²

Current, lawfully established, use: (include number of occupants per level and per use if more than 1)

Dwelling (2 occupants)

Year first constructed: (approximate date is acceptable e.g. c1920s or 1960-1970)

c 1930s

The owner

Name of owner: (include preferred form of address, eg, Mr, Miss, Dr, if an individual)

Mr. GAVIN B. GOODALL

Contact person: (insert n/a if the applicant is an individual)

N/A

Mailing address:

45 KING EDWARD ST. MOTUEKA.

Street address/registered office:

AS ABOVE

Phone number: Landline:

Mobile:

0256075334

Daytime:

After hours:

03528 4331

Facsimile number:

Email address:

Website: (if applicable)

The following evidence of ownership is attached to this application:

(ie, copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)

Agent

Name of agent: (only required if application is being made on behalf of the owner, delete if not applicable)

Contact person: (insert n/a if the applicant is an individual)

n/a

Mailing address:

Street address/registered office:

Phone number: Landline:

Mobile:

Daytime:

After hours:

Facsimile number:

Email address:

Website: (if applicable)

Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)

First point of contact for communications with the council/building consent authority:

(state full name, mailing address, phone number(s), facsimile number(s) and email address(es))

CONTACT OWNER

Application

I request that you issue a: (tick one box)

- ☐ project information memorandum
☐ project information memorandum & building consent
☒ building consent for the building work described in this application.

Signature of owner/agent on behalf of and with the authority of the owner (delete one)

Date:

24/6/05 (PDC IF I HAVE MISSED OUT ANY INFORMATION OR HAVEN'T FILLED FORM
CORRECTLY PLEASE CONTACT ME - THANKS GAVIN GOODALL)

space for council use

The project

Description of the building work: (provide sufficient description of building work to enable scope of work to be fully understood; continue on a separate page if necessary, or refer to an attached document setting out the description)

1600
~~INSTALLATION~~ INSTALLATION OF OSBURN 1600 WOOD FIRE, REFER TO
MANUFACTURERS INSTALLATION SPECIFICATIONS DOCUMENTS (PROVIDED).
SEE PLAN OF PROPOSED LEGAL POSITION OF OSBURN 1600
WOODFIRE AT 45 KING EDWARD ST MOTUEKA.

Will the building work result in a change of use of the building?

☐ Yes

☒ No

If Yes, provide details of the new use:

Intended life of the building if less than 50 years: (number of years)

List building consents previously issued for this project (if any):

(list who issued the consent, the date of issue and the consent number)

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):
(state estimated value as defined in section 7 of the Building Act 2004)

\$ ~~1500.00~~ 3,900

Project information memorandum (do not fill in this section if the application is for a building consent only)

The following matters are involved in the project: (tick the matters relevant to the project)

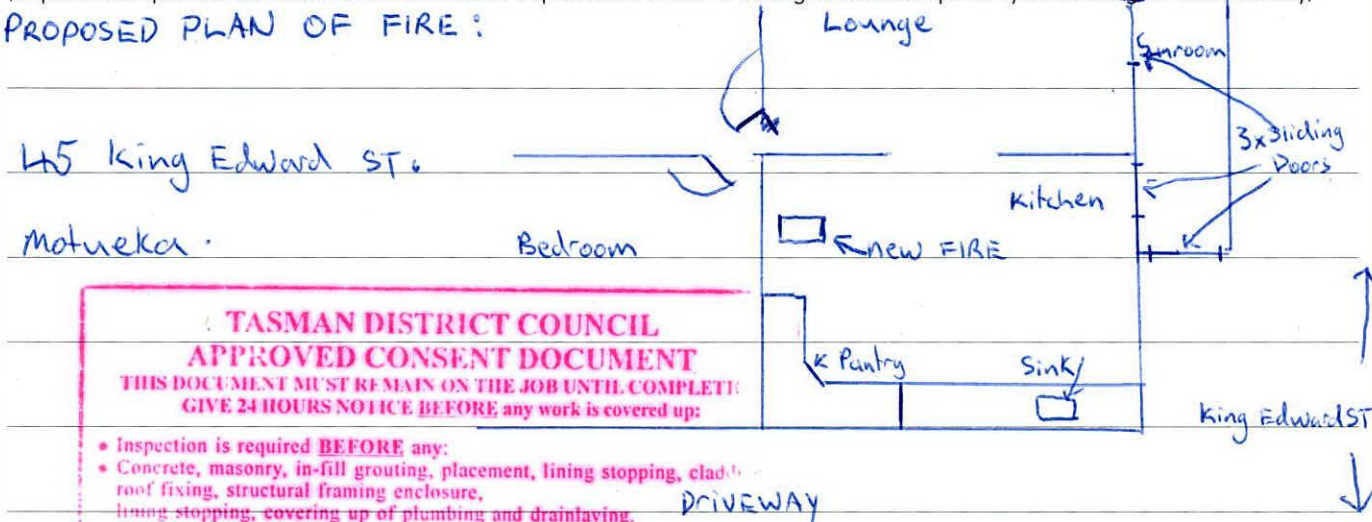
- ☐ Subdivision
- ☐ Alterations to land contours
- ☐ New or altered connections to public utilities
- ☐ New or altered locations and/or external dimensions of buildings
- ☐ New or altered access for vehicles
- ☐ Building work over or adjacent to any road or public place
- ☐ Disposal of stormwater and wastewater
- ☐ Building work over any existing drains or sewers or in close proximity to wells or water mains
- ☐ Other matters known to the applicant that may require authorisations from the territorial authority: (specify)

Building consent (do not fill in this section if the application is for a project information memorandum only)

The following plans and specifications are attached to this application:

(all plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority)

PROPOSED PLAN OF FIRE:



The building work will comply with the building code as follows:
(if you're not sure which clauses are applicable, talk to the BCA or your architect)

- The Consent holder is responsible and liable for any damage as a result of this work being carried out

Clause

BUILDING CONSENT NO: 055523
SIGNED: _____
DEVIATIONS FROM THIS DOCUMENT REQUIRED FOR SUBMITTAL: _____

Means of compliance

DATE: _____
refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications; if not applicable, put n/a

Waiver/modification required

state nature of waiver or modification of building code required; if not applicable, put n/a

- | Clause | Means of compliance | Waiver/modification required |
|---|---------------------|------------------------------|
| <input checked="" type="checkbox"/> B1 Structure | as with B1/AS1 | N/A |
| <input checked="" type="checkbox"/> B2 Durability | as with B2/AS1 | N/A |
| <input checked="" type="checkbox"/> C1 Outbreak of fire | as with C/VM1 | N/A |
| <input checked="" type="checkbox"/> C2 Means of escape | as with E2/AS1 | N/A |

<input type="checkbox"/> C3 Spread of fire	✓	
<input type="checkbox"/> C4 Structural stability during fire		
<input type="checkbox"/> D1 Access routes		
<input type="checkbox"/> D2 Mechanical installations for access		
<input type="checkbox"/> E1 Surface water		
<input type="checkbox"/> E2 External moisture	✓	
<input type="checkbox"/> E3 Internal moisture		
<input type="checkbox"/> F1 Hazardous agents on site		
<input type="checkbox"/> F2 Hazardous building materials		
<input type="checkbox"/> F3 Hazardous substances and processes		
<input type="checkbox"/> F4 Safety from falling		
<input type="checkbox"/> F5 Construction and demolition hazards		
<input type="checkbox"/> F6 Lighting for emergency		
<input type="checkbox"/> F7 Warning systems	✓	
<input type="checkbox"/> F8 Signs		
<input type="checkbox"/> G1 Personal hygiene		
<input type="checkbox"/> G2 Laundering		
<input type="checkbox"/> G3 Food preparation and prevention of contamination		
<input type="checkbox"/> G4 Ventilation		
<input type="checkbox"/> G5 Interior environment		
<input type="checkbox"/> G6 Airborne and impact sound		
<input type="checkbox"/> G7 Natural light		
<input type="checkbox"/> G8 Artificial light		
<input type="checkbox"/> G9 Electricity		
<input type="checkbox"/> G10 Piped services		
<input type="checkbox"/> G11 Gas as an energy source		
<input type="checkbox"/> G12 Water supplies		
<input type="checkbox"/> G13 Foul water		
<input type="checkbox"/> G14 Industrial liquid waste		
<input type="checkbox"/> G15 Solid waste		
<input type="checkbox"/> H1 Energy efficiency		

Compliance schedule

[do not fill in this section if this is an application for a project information memorandum only] Tick one:

☐ The specified systems for the building are as follows:

[specified systems are defined in regulations; if you are not sure whether your building has specified systems, talk to the BCA or your architect]

☐ The following specified systems are being altered, added to, or removed in the course of the building work:

[insert n/a if not applicable]

☐ There are no specified systems in the building

Attachments

The following documents are attached to this application: (tick as applicable or put n/a if there are no attachments)

☒ Plans and specifications [list]

2x pieces of paper CONTAINING MANUFACTURERS INSTALLATION
SPECIFICATIONS.

☐ Project information memorandum

☐ Development contribution notice

☐ Certificate attached to project information memorandum

Application Information

(a) Project Information Memorandum (PIM)

A Project Information Memorandum will be issued within a maximum allowable time of 20 working days provided all the information required has been supplied. Insufficient information will result in your application being returned. A fixed fee of \$160.00 is required to accompany your PIM application.

(b) Building Consent (BC)

A Building Consent will be processed within a maximum allowable time of 20 working days provided all the information required has been supplied. Processing time is stopped whenever further information is required and starts again when the information is received.

A deposit fee of \$160.00 is required to begin processing your application.

Once the Building Consent has been processed, you will receive notification which will include where appropriate an invoice for the balance of the fees payable.

Once the fees are paid in full your Building Consent will be granted.

(c) Combined Project Information Memorandum & Building Consent Applications

Applications for a combined PIM/BC will only be accepted when sufficient information is provided to permit the Building Consent to be processed. If insufficient information is provided the application will be returned.

Inspections

A minimum of 24 hours notice of commencement of the building work is required to be given to the Building Consent Authority.

During the process of construction, inspections will be necessary to confirm all work complies with your approved Building Consent documentation. The Building Consent Authority requires a minimum of 24 hours notice prior to the Building Consent Authority's Building Officials visit, however this will not guarantee an inspection in 24 hours if inspection bookings are full for that day.

The inspections required will be set out in the Building Consent documentation issued by the Building Consent Authority. Failure to have a prescribed inspection carried out and to be provided with confirmation that the work has been approved by the Inspecting Authority will make the issue of a Code Compliance Certificate difficult.

Resource Consents

Your application will be assessed by the Environment and Planning Department of the Council to determine whether your project complies with the relevant District Plan requirements.

If your application does not comply with the Tasman Resource Management Plan requirements you will need to either amend your proposal to comply or apply for a Resource Consent. A Certificate will be attached to your Project Information Memorandum to notify that a resource consent is required prior to building work commencing.

Code Compliance

A building consent is not completed until it has been issued with a Code Compliance Certificate. The Owner is required to complete a separate application form to apply for a Code Compliance Certificate as soon as practicable after the building work is completed but in any event no later than 2 years after the granting of the Building Consent. A Code Compliance Certificate will be issued within a maximum allowable time of 20 working days provided all the information required has been supplied.

Note: Certificates will be required from all trades involved in the project.

TASMAN DISTRICT COUNCIL**Building Consent Enquiry**

[Prev Change](#), [Inspection Load](#), [Create Invoice](#), [Print Forms](#), [Print Letters](#), [Search](#), [Next Resource Consent Search \(Change Log\)](#)

PIM/Consent No. 055583

The Building

Valuation No 1956043800[General Property Enquiry](#)**Street Address** 45 King Edward Street, Motueka**Legal Description** All DP 2364**Current use** Dwelling**Year First Constructed** 1930**Current Status** Amendment Issued 28/06/07
Change position of woodburner**Process Days Taken To Issue** 5**Overseer** David Stebbings**Zone** Residential

The Owner

Name MR G B Goodall**Mailing Address** 45 King Edward Street

Print

Location Popup

Content Popup

Printer Admin

Search

Documentation

NCS Manuals

Newsletters

Intranet

Web Server

Local Docs

NCS Contacts

Sundry Infringement Enquiry

Update Balances

Cancel Sundry Infringements

Adjust Sundry Infringements

Issue Reminder Notices

Send to Court (eFiling)

Run a Report

Input

Update

Start New Month (Year)

►Administration

Enquiry

Letters

Published Reports

0274 368398

CHANGE OF POSITION.

AMENDED PLANS ONLY BUILDING CONSENT SCREENING

Form No: BC13A

Name: Gavin Goodall Date: 20.6.07
 Address: 45, King Edward St BC: 055583
Motueka RM: _____

Is this building subject to natural hazard? ☐ Yes ☐ No If Yes: Please refer to CRS
 Is this building earthquake prone? ☐ Yes ☐ No If Yes: Please refer to CRS

Are there any B.A. Sec 100 Systems (sprinklers, alarms, etc)? ☐ Yes ☐ No If yes: Does application for compliance schedule accompany application? If so, apply AI 12

BC CONDITIONS / INSPECTIONS

Nominate required inspections:

- | | | |
|---|---|--|
| <input type="checkbox"/> Siting (building profiles) | <input type="checkbox"/> Pre-line brace/ insulation | <input type="checkbox"/> Heating unit / inbuilt Chamber inspection |
| <input type="checkbox"/> Foundation / footing / poles | <input type="checkbox"/> Pre-line plumbing | <input type="checkbox"/> Heating unit / inbuilt Final |
| <input type="checkbox"/> Masonry infill / cleanouts | <input type="checkbox"/> Pre-line firewall / rating structure | <input type="checkbox"/> Swimming pool/ Spa fence |
| <input type="checkbox"/> Masonry bond beams | <input type="checkbox"/> Post-line bracing | <input type="checkbox"/> Non standard inspections as attached |
| <input type="checkbox"/> Concrete slab / subfloor | <input type="checkbox"/> Post-line / Firewalls | <input type="checkbox"/> Specify High Risk Detail |
| <input type="checkbox"/> Timber sub-floor | <input type="checkbox"/> Wet area membrane (showers) | _____ |
| <input type="checkbox"/> Trusses and purlin fixings | <input type="checkbox"/> Drainage, sewer | _____ |
| <input type="checkbox"/> Pre-wrap/Structure | <input type="checkbox"/> Drainage stormwater | _____ |
| <input type="checkbox"/> Pre-roof/Deck Membrane | <input type="checkbox"/> On-site effluent disposal | <input type="checkbox"/> Final |
| <input type="checkbox"/> Post wrap/cavities | <input type="checkbox"/> Ext works / driveway, sumps | |
| <input type="checkbox"/> Brick veneer – mid-height | <input type="checkbox"/> Retaining walls / soil drains | |
| <input type="checkbox"/> Stucco / texture pre-coat | <input type="checkbox"/> Heating unit / free-standing | |
| <input type="checkbox"/> Stucco control joints | | |

Standard Conditions

- ☐ **BI 60:** This consent is granted pursuant to Section 72 (building on hazard prone land) of the Building Act and is conditional on the Council notifying the District Land Registrar that this consent is granted pursuant to Section 72. An entry will be made by the District Land Registrar against the Certificate of Title.
- ☐ **BI 61:** This consent is granted pursuant to Section 75 (building over two or more lots) of the Building Act and conditional on Council notifying the District Land Registrar that this consent is granted pursuant to Section 75. An entry will be made by the District Land Registrar against the affected Certificates of Title.
- ☐ **BI 62:** This consent is granted subject to a waiver from the requirements of the Building Code in respect of:
 Specify: _____

ADDITIONAL INFORMATION

BUILDING STATEMENTS	
AI01	It is Council policy to apply a standard charge, however it reserves the right to assess individual cases as required. Additional charges may be requested if costs incurred exceed the standard.
AI02	The manufacturer's installation specifications shall be on site when inspection required.
AI03	Council recommends annual maintenance of the heating appliance installed.
AI04	No part of the roof framing can be interfered with, without Building Inspector approval.
AI05	Not approved as a habitable building.
AI06	Not approved as a habitable room.
AI07	A Producer Statement review from a chartered professional engineer is required confirming all site inspections as specified in the engineer's schedule have been completed.
AI08	No deviation from original plans and specifications is permissible without written approval from the Building Inspector. A formal amendment application is to be made.
AI09	The owner and the builder are to locate and identify all boundary survey pegs prior to work commencing.
AI10	You should obtain an Energy Works Certificate for any utility system work, e.g. electricity/gas.
AI11	Any covenants that are registered on the title must be observed and followed before any building work commences.
AI12	This project includes the installation of fire alarms. Fire alarm installations require to be certified by an accredited inspection body. A list of these is available on "www.ianz.govt.nz". We suggest that you book your certifier early. Also required is copy of an Energy Works Certificate for electrical work..
AI13	Proprietary exterior plaster claddings shall be applied by an approved applicator and in full compliance with manufacturer's specifications.
AI14	The exterior texture coating applicator shall, on completion of work, provide a Producer Statement stating compliance with all aspects of the texture coating products approved application specifications.
AI15	Suitability of ground conditions and foundation bearing are not known. Engineer investigation and design may be required. This will be determined during footing inspection.
AI16	This building requires regular paintwork and maintenance because of its lack of roof overhang to provide protection.
DRAINAGE AND PLUMBING STANDARD STATEMENTS	
AD17	On the completion of all drainage work an engineer's as-built plan to scale is to be submitted to the Tasman District Council.
AD18	This building consent has no provision for any sanitary plumbing and drainage. A further consent will be required should any of these features be installed.
AD19	No plumbing and drainage work is to commence prior to the Council receiving names of your nominated plumber or drainlayer. The attached advisory sheets are to be completed and returned to this office for our records.
AD20	It is the owner's responsibility to ensure that the required grade can be obtained between foundations and sewer connection.
AD21	A Producer Statement shall be provided from the solar panel installer stating compliance with the code of practice for manufacture and installation of Solar Water Heating Systems in NZ.

Building Statements			P&D Statements	
A1 01	AI 07	A1 13	AD17	
A1 02	A1 08	A1 14	AD18	
A1 03	A1 09	A1 15	AD19	
AI 04	AI 10	AI 16	AD20	
A1 05	A1 11	Other as attached	AD21	
A1 06	A1 12			

Engineering: _____

Date: _____

Land Use: _____

Date: _____

Building Inspector:  _____

Date: 28.6.07

Notes to Applicants

This application is to gain consent for **minor** changes, which could arise from on-site problems

Proposals will not be deemed 'Minor' if they fall outside the scope of the original Building Consent, need more than minor changes to the existing structure, Conditions of Building Consent, change the building shape and construction type or result in more than a minor increase in building project value.

Minor amendment plans are accepted at the discretion of Tasman District Council Regulatory staff. Minor amendment could cover such situations as:

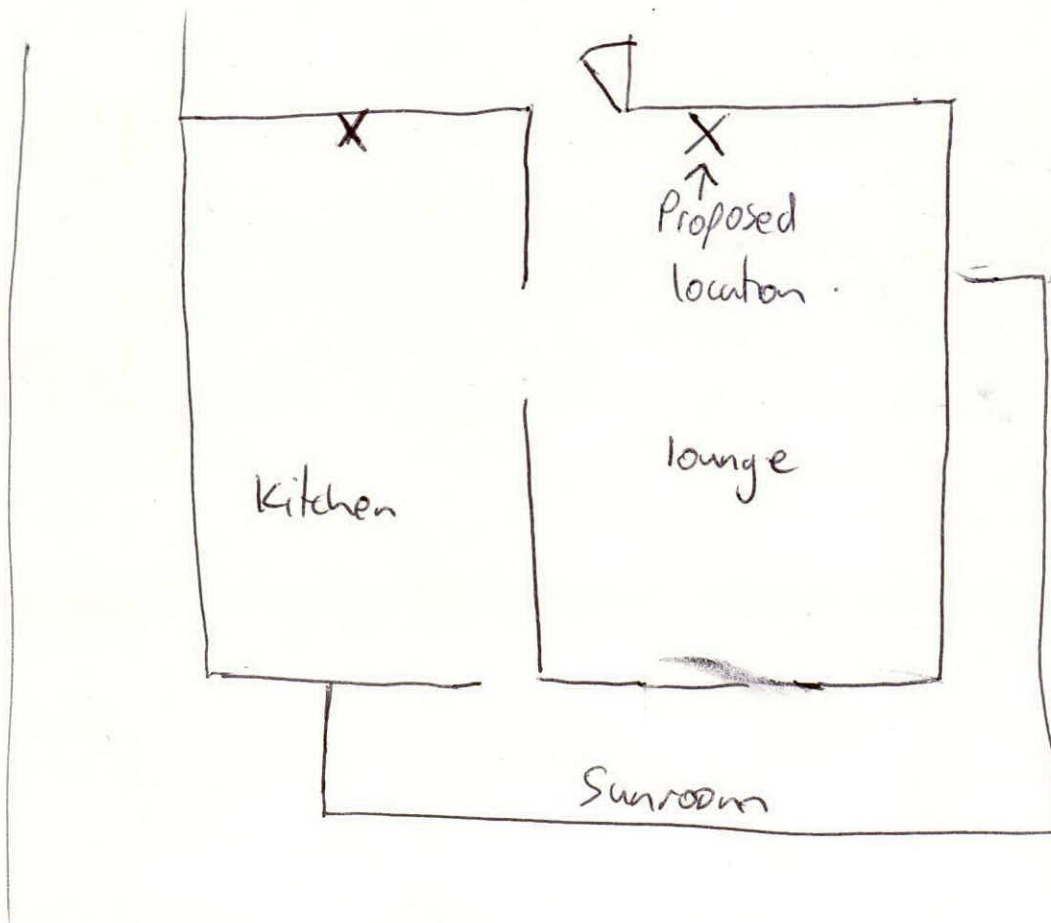
Examples

- A NZS3604 beam that may need to be included due to on-site problems
- Minor framed construction changes that do not affect bracing or structural values
- Removal or reduction of a deck
- Relocation of sanitary fixtures
- Changing of window dimensions where bracing or structural values will not be significantly affected.
- Minor relocation of an internal wall line where bracing and structural values will not be significantly affected.

The list is not complete, but is a simple indication of the types of work that fit into the 'Minor' amendment category.

The Full building Consent Application Form and process will be required if it becomes apparent that the submitted plans do not meet the above 'minor' criteria. In some instances a new Building Consent may be required.

A fee of \$160.00 is required to accompany your application.



Here We Are!

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24 Hour

**EMERGENCY
PHONE**

Call your local office

Printed May 2006
DryCrust/4491/0506



email: info@tdc.govt.nz website: <http://www.tdc.govt.nz>

Application for amendment to a Building Consent

Note: this application must be accompanied by two copies of the relevant drawings from the issued building consent set and two copies of the documents with the proposed amendments clearly highlighted on both copies.

Project details

Address: 45 King Edward st, Motueka.

Legal Description Lot: All DP 2364

OFFICE USE

Date received stamp

20 JUN 2007

MOTUEKA

BC No: 055583.

Date granted 28/7/07.

Existing consent number:

Existing BC Number: 055583

Description of amended work (refer to notes overleaf)

change of ~~totally~~ proposed location of ~~the~~ installation of fire (osbourne 1600) see overleaf for plan.

Value of Amendment (GST inclusive)

Does the amendment alter the project value

☐ Yes \$ _____ (new value)

☒ No

Are there any amendments to systems for which a compliance schedule has been issued? ☐ Yes ☒ No

Owner & applicant details (note: owner details required in all cases)

Owner (if also applicant, tick box ☒)

Name: Gravin Goodall

Address: 45 King Edward st.

Phone (day): 027 6075334

Cellphone: _____

Suburb: Motueka

Correspondence to ☒ owner ☐ or agent

Signed by the owner or

Signature: [Signature]

Name: Gravin Goodall

Date: 20/6/07.

Agent

Business name: _____

Contact person: _____

Address: _____

Phone (day): _____

Cellphone: _____

Fax: _____

Signed by the agent (on behalf of, or with authority from, the owner)

Signature: _____

Name: _____

Date: _____

PIM / BUILDING CONSENT SCREENING

Form No: BC13

Name: Mr. Goodall

Date: 27.6.05

Address: 45. King Edward St

BC: 055523

Motueka

RM: _____

Is this building subject to natural hazard?
Is this building earthquake prone?

☐ Yes
☐ Yes

☐ No
☐ No

If Yes: Please refer to CRS
If Yes: Please refer to CRS

Are there any B.A. Sec 100 Systems
(sprinklers, alarms, etc)?

☐ Yes ☐ No

If yes: Does application for
compliance schedule accompany
application? If so, apply BI 30

BC CONDITIONS / INSPECTIONS

Nominate required inspections:

- ☐ Siting (building profiles)
- ☐ Foundation / footing / poles
- ☐ Concrete slab / subfloor
- ☐ Ext works / driveway, sumps
- ☐ Retaining walls and soil drains
- ☐ Brick veneer - mid-height
- ☐ Weather tightness / flashings
- ☐ Trusses and purlin fixings
- ☐ Stucco control joints
- ☐ Stucco / texture pre-coat
- ☐ Masonry infill / cleanouts
- ☐ Masonry bond beam
- ☐ Pre-line brace/ structure

- ☐ Pre-line insulation
- ☐ Pre-line plumbing
- ☐ Pre-line firewall / rating structure
- ☐ Post-line bracing
- ☐ Post-line / Firewalls
- ☐ Wet area membrane (showers)
- ☐ Wall cavity and building wrap
- ☐ Drainage, sewer
- ☐ Drainage stormwater
- ☐ On-site effluent disposal
- ☒ Heating unit / free-standing
- ☐ Heating unit / inbuilt
- Chamber inspection

- ☐ Swimming pool fence
- ☐ Non standard inspections as attached
- ☐ High Risk Detail Inspection

Specify: _____

☐ Final

Standard Conditions

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AI06	Not approved as a habitable room.
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AI08	No deviation from original plans and specifications is permissible without written approval from the Building Inspector. A formal amendment application is to be made.
AI09	The owner and the builder are to locate and identify all boundary survey pegs prior to work commencing.
AI10	You should obtain an Energy Works Certificate for any utility system work, e.g. electricity/gas.
AI11	Any covenants that are registered on the title must be observed and followed before any building work commences.
AI12	The project includes the installation of systems listed under Section 100 of the Building Act 2004. These installations will require producer statements for code compliance purposes. Also required is a copy of an Energy Works Certificate for electrical work.
AI13	Proprietary exterior plaster claddings shall be applied by an approved applicator and in full compliance with manufacturer's specifications.
AI14	The exterior texture coating applicator shall, on completion of work, provide a Producer Statement stating compliance with all aspects of the texture coating products approved application specifications.
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AI16	This building requires regular paintwork and maintenance because of its lack of roof overhang to provide protection.

DRAINAGE AND PLUMBING STANDARD STATEMENTS

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AD19	No plumbing and drainage work is to commence prior to the Council receiving names of your nominated plumber or drainlayer. The attached advisory sheets are to be completed and returned to this office for our records.
AD20	It is the owner's responsibility to ensure that the required grade can be obtained between foundations and sewer connection.

OTHER ITEMS

AO01	The owner or person undertaking the building work shall advise of completion work by returning the Application for CCC form, which accompanied the consent.
AO02	A copy of this consent is to remain on-site at all times and you should ensure that a copy is given to any tradesmen, e.g. your builder, plumber and drainlayer.
AO03	This consent will expire if building work is not commenced within 12 months from the date of issue unless a written extension of time is obtained from the Building Inspector.

Building Statements			P&D Statements	Other Items
A1 01	AI 07	A1 13	AD17	AO 01
A1 02	A1 08	A1 14	AD18	AO 02
A1 03	A1 09	A1 15	AD19	AO 03
A1 04	A1 10	A1 16	AD20	
A1 05	A1 11	Other as attached		
A1 06	A1 12			

Building Inspector

Date

[Signature]

1-7-05

APPLICATION CHECK SHEET

☐ Building/PIM Application: BC: 055583 Receipt: 149114

☐ Certificate of Acceptance: GL3201100101 Receipt: _____

FORM NUMBER: BC16

Name: GOODALL

Location: 45 King Edward Street, Motueka
Instal woodburner.

Project: 1956043800

Valuation No: 1956043800

Sq mtrs: 125m² No Pans: —

☒ New Application OR

☐ Amendments to Existing BC _____

☐ Certificate of Title

☒ \$160.00 Deposit
\$130 fee

Date Stamp



Initials: me.

X: 2510405

Y: 6009141

☒ Value of project \$ 3,900

☒ 2 complete sets of plans to scale
(including site plan) Floor plan
additional floor plan
2 sets of specifications Fire Specs.

☒ Completed and signed application

Fees

☐ PIM \$ _____

☐ BC \$ 130.00

☐ BRANZ \$ _____

☐ DBH \$ _____

Dev Con:

☐ Rooding \$ _____

☐ W/water \$ _____

☐ S/water \$ _____

☐ Water \$ _____

FC:

(Reserves) \$ _____

Total \$ 130.00

Invoice No: 75036 Date: 4/2/05

Receipt No: _____ Date: _____

Engineering

Sewer connection \$ _____

Water connection \$ _____

Stormwater connection \$ _____

Tradewaste \$ _____

Invoice No: _____ Date: _____

Receipt No: _____ Date: _____

CSO Initials: lh

GST 51076806
Received with thanks by
Tasman District Council

1/01 13

27-06-05 9:05

Receipt no.149114

COPY *COPY* *COPY*
DR BC055583 GOODALL G B 130.00-
MR G B GOODALL::45 KING EDWARD STREET:M

Cash Tendered 130.00

Additional Information to Building Consent**The owner**

Name of owner:

MR G B Goodall

Contact person:

Building work

The following building work is authorised by this building consent:

Install Osborn wood burner: Intended Use: Heating

The following information accompanies Building Consent 055583 and should be read in conjunction with inspection conditions.

The Building Inspector is to be given 24 hours' notice before carrying out inspections:

The owner or person undertaking the building work shall advise of completion of work by returning the Application for Code Compliance Certificate form which accompanied the consent.

A copy of this consent is to remain on site at all times and you should ensure that a copy is given to any tradesmen e.g. your builder, plumber and drainlayer.

All Building Work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur on the Drawings and Specifications.

This consent will expire if building work is not commenced within 12 months from the date of issue unless a written extension of time is obtained from the Building Inspector.

It is Council policy to apply a standard charge, however it reserves the right to assess individual cases as required. Additional charges may be requested if costs incurred exceed the standard.

The manufacturer's installation specifications shall be on site when inspection required.

Council recommends annual maintenance of the heating appliance installed.

Main Office

189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
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Fax (03) 543-9524

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Service Centre**

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Murchison 7191
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Fax (03) 523-1012

**Motueka
Service Centre**

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P.O. Box 123
Motueka 7161
Tel (03) 528-2022
Fax (03) 528-9751

**Golden Bay
Service Centre**

78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-0020
Fax (03) 525-9972

Application for code compliance certificate

Form 6: Section 92, Building Act 2004

The building consent

Building consent number: 055583

Issued by: Tasman District Council

The owner

Name of owner: MR G B Goodall

Contact person:

Mailing address: 45 King Edward Street, Motueka 7161

Street address/registered office:

Phone number: Landline: 035284331 Mobile: 0256075334

Daytime: After hours:

Facsimile number:

Email address: Website:

The following evidence of ownership is attached to this application:

- ☐ Copy of certificate of title
- ☐ Lease, agreement for sale and purchase
- ☐ Or other document showing full name of legal owner(s) of the building

First point of contact for communications with the council/building consent authority:

As above

Application

All building work to be carried out under the
above building consent was completed on _____

The personnel who carried out the building work are as follows:

Contractors:

Main Office

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1 of 2

Motueka Service Centre

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Golden Bay Service Centre

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Fax (03) 525-9972

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to:

Signature of

Name of person signing

Date: _____

Attachments

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work
- ☐ Certificates that relate to the energy work
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent.
- ☐

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2 of 2

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Notes to Applicants

This application is to gain consent for **minor** changes, which could arise from on-site problems

Proposals will not be deemed 'Minor' if they fall outside the scope of the original Building Consent, need more than minor changes to the existing structure, Conditions of Building Consent, change the building shape and construction type or result in more than a minor increase in building project value.

Minor amendment plans are accepted at the discretion of Tasman District Council Regulatory staff. Minor amendment could cover such situations as:

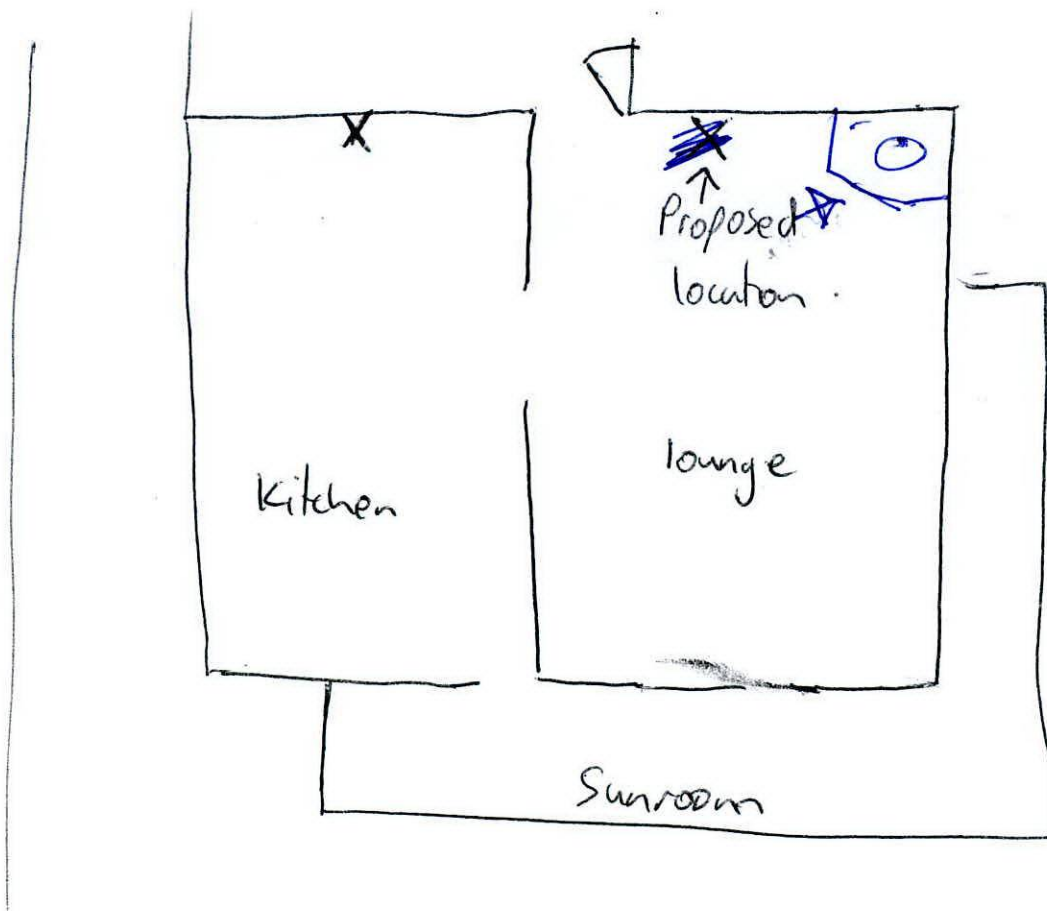
Examples

- A NZS3604 beam that may need to be included due to on-site problems
- Minor framed construction changes that do not affect bracing or structural values
- Removal or reduction of a deck
- Relocation of sanitary fixtures
- Changing of window dimensions where bracing or structural values will not be significantly affected.
- Minor relocation of an internal wall line where bracing and structural values will not be significantly affected.

The list is not complete, but is a simple indication of the types of work that fit into the 'Minor' amendment category.

The Full building Consent Application Form and process will be required if it becomes apparent that the submitted plans do not meet the above 'minor' criteria. In some instances a new Building Consent may be required.

A fee of \$160.00 is required to accompany your application.



Here We Are!

RICHMOND
189 Queen Street
Private Bag 4,
Richmond 7031
Ph (03) 543 8400
Fax (03) 543 9524

MOTUEKA
7 Hickmott Place
PO Box 123
Motueka
Ph (03) 528 2022
Fax (03) 528 9751

TAKAKA
78 Commercial St
PO Box 74,
Takaka
Ph (03) 525 0020
Fax (03) 525 9972

MURCHISON
92 Fairfax St,
Murchison
Ph (03) 523 1013
Fax (03) 523 1012

24 Hour
EMERGENCY
PHONE

Call your local office

Printed May 2006
DryCrust/4491/0506



email: info@tdc.govt.nz website: <http://www.tdc.govt.nz>

ENTERED



Tasman District Council

RESIDENTIAL FINAL INSPECTION - FORM BC10C

ADDRESS 45 King Edward
OWNER Goodall

BC NUMBER 055583
CONTRACTOR Hayes Alan King
DATE 25.5.09
INSPECTOR RGT

Osborn 1600 Wood burner installed by Alan
from Hayes plumbing
Hearth correct seismic restraints fitted
all Manufactures clearances correct.
Flue shield fitted ceiling penetration correct
Chimney correct and sealed on Roof

2x Smoke Detectors fitted

ok to issue CCC.

☒ Interior

- ☒ Layout as per plans
- ☒ Sinks drain properly without sucking traps
- ☒ Toilets flush properly
- ☒ Impervious floors to wet areas Type _____
- ☒ Joinery installed and sealed to walls
- ☒ Windows as per plans
- ☒ Ventilation adequate to rooms
- ☒ Mechanical vents fitted and ducted to exterior No. _____
- ☒ Smoke detectors fitted
- ☒ Safety barriers are the correct height
- ☒ Safety glazing to shower doors and panels verified
- ☒ Safety glazing to windows and doors and plans verified
- ☒ Handrails fitted to stairs
- ☒ Restrictor stays on windows where required
- ☒ Waterproof seal to shower and basin
- ☒ Water temperature checked _____ degrees
- ☒ HWC secure 2 straps 180L 3 straps other
- ☒ HWC relief pipe to outside if valve vented
- ☒ HWC High or Low pressure
- ☒ HWC Open or Valve vented
- ☒ Tempering valve fitted
- ☒ All valves accessible
- ☒ Gas hot water system Type _____
- ☒ Roof access available Location _____
- ☒ Insulation in place
- ☒ Insulation away from downlights
- ☒ Pipework lagged
- ☒ 1m of copper pipe from cylinder
- ☒ Supply tank secure
- ☒ Cables clipped at access
- ☒ Firewall sheets stopped

☐ Reinspection required

☒ Exterior

- ☒ Cladding type _____
- ☒ Cladding as per plans
- ☒ Roofing secure
- ☒ Roofing type _____
- ☒ Barrier heights appropriate
- ☒ Overflows to enclosed decks installed
- ☒ Windows flashed / sealed to soffit
- ☒ Ground levels 225mm NG 150mm PA
- ☒ Gas bottle location and seismic restraint
- ☒ Subfloor insulation in place and protected
- ☒ Subfloor ventilation exposed
- ☒ Stucco sealed and painted
- ☒ Capillary break to stucco
- ☒ Gully heights 20mm PA 95mm NG
- ☒ Waste pipes sealed through foundations
- ☒ Waste pipes sealed into gullies
- ☒ Stormwater system completed
- ☒ Retaining wall drainage connected to sump
- ☒ Retaining walls completed as per plans
- ☒ Terminal vents in place 80mm only
- ☒ Branch vents in place AAV must be 100mm
- ☒ Weep holes to bricks and top venting in place
- ☒ Exterior weatherproof
- ☒ Sumps installed as per plans
- ☒ Driveway completed as per plan
- ☒ Secondary flow path for excess stormwater
- ☒ Landscaping completed Yes No
- ☒ Gutter / downpipe sizes 65mm No. _____ 80mm No. _____

NG = Natural ground PA = Paved Area

☒ Not applicable for this consent

☒ Checked and approved

☒ Checked and rejected

☒ Certificates

- ☒ PSCR Received Structural / Retaining walls
- ☒ PSCR Received Effluent field
- ☒ Certificates for exterior cladding
- ☒ Energy works certificate received Gas Electric
- ☒ Drainage as-built received
- ☒ Street frontage / Vehicle crossing okay
- ☒ Amended plans received if required
- ☒ Waterproofing certificate
- ☒ Solar heating installation certificate
- ☒ Butynol certificate

☒ Fire In-built

- ☒ Chamber cavity in good condition
- ☒ Lintel in good condition
- ☒ Hearth correct clearance
- ☒ Mantel clearance correct
- ☒ Chimney height over 4.6m
- ☒ Fire fan connected to socket
- ☒ Seismic restraints fitted
- ☒ Flush-type smoke detectors installed

☒ Fire Free-standing

- ☒ Hearth correct clearance
- ☒ Seismic restraints fitted
- ☒ Manufacturer's tolerance correct
- ☒ Ceiling penetration correct as per plan
- ☒ Chimney height over 4.6m
- ☒ Wetback installed by plumber
- ☒ Flue shield fitted
- ☒ Inner flue secure in place and riveted SS
- ☒ Framing in roof correct
- ☒ Flush-type smoke detectors installed

☒ Okay to issue CCC

Site Inspection Sheet

Application

MR G B Goodall	No.	055583
45 King Edward Street	Issue date	4/07/05
Motueka	Overseer	David Stebbings



Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stage Install Osborn wood burner
Intended Life	Indefinite, but not less than 50 years
Intended Use	Heating
Estimated Value	\$3,900
Location	45 King Edward Street, Motueka
Legal Description	All DP 2364
Valuation No.	1956043800

This inspection list and all the approved plans relating to this building consent are to be kept on site and available to the building and/or plumbing and drainage inspector, or approved building certifier, on request.

Please give at least 24 hours notice for the next required inspection.

Work cannot proceed past each step until that step has been inspected and approved, and this form signed by the relevant inspector or certifier.

	Name	Address	Signature
Plumber	Alan King	For Hays Plumbing	
Builder	Arjan	D&A Builders	
Drainlayer			

This sheet is to be returned to Tasman District Council when applying for your Code Compliance Certificate.

Note: If this form is not completed, the Code Compliance Certificate will not be issued until Council is satisfied that the building complies with the New Zealand Building Code.

When this project is completed this inspection sheet will be attached to the relevant property file held at the Council office.

Please note! The approved plans are to be available on site, on request, at all times.

Main Office

189 Queen Street
Private Bag 4
Richmond 7031
New Zealand
Tel (03) 543-8400
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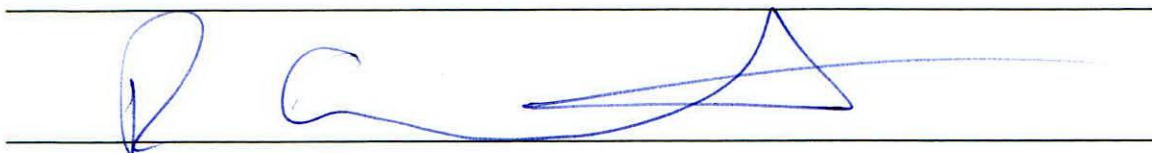
Golden Bay Service Centre

78 Commercial Street
P.O. Box 74
Takaka 7172
Tel (03) 525-0020
Fax (03) 525-9972

Conditions

File Ref:

Heating Unit Installation: Heater unit installation before lighting. Ensure flue ceiling plate is unscrewed and down so that the flue/ceiling penetration is open for inspection



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Summary of Building Consent**Application**

MR G B Goodall	No.	055583
45 King Edward Street	Issue date	4/07/05
Motueka	Overseer	David Stebbings

Project

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Inspection Details:**Main Office**

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Building Consent Check List

FORM NUMBER: BC11
DATE: 4 July 2005

Issued To: MR G B Goodall
Location: 45 King Edward Street,
 Motueka

BC no: 055583
Valuation No: 1956043800

Contents of File	Customer Service Officer		Building Inspector		Records
	Date	Initials	Date	Initials	
Plans (full set)					
Specifications					
Producer Statements					
Drainage Plan					
Building Check Sheet					
Planning Check Sheet					
Certificate of Title					
Consent Notice					
Request for CCC					

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MR G B Goodall
45 King Edward Street
Motueka 7161

GST Number: 51076806
Invoice Date: 4/07/05
Tax Invoice No: 75036
Customer No: BC055583
Order No.

055583 : 45 King Edward Street, Motueka
Install Osborn wood burner

Burner Appliance

130.00 *

(* Incl GST \$14.44)
Cash Received

130.00CR

This is an Invoice - NOT your Building Consent

PLEASE NOTE - your Consent will not be issued until
this Invoice has been paid. Enquiries to Customer
Services - Environment & Planning Department

0.00

Customer Name: MR G B Goodall

Customer Number: BC055583

Main Office Tax Invoice: 75036 **Murchison**
Invoice Date: 4/07/05 **Service Centre**

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Private Bag 4
Richmond 7031
New Zealand
Tel (03) 543-8400
Fax (03) 543-9524

92 Fairfax Street
Murchison 7191
Tel (03) 523-1013
Fax (03) 523-1012

Total Due (Inc GST):

Motueka Service Centre Amount Paid:

7 Hickmott Place
P.O. Box 123
Motueka 7161
Tel (03) 528-2022
Fax (03) 528-9751

Golden Bay Service Centre

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Fax (03) 525-9972

Application for Code Compliance Certificate



Application for Code Compliance Certificate

Section 92, Building Act 2004

The Building Consent

Building Consent No. 055583
Issued by: T.D.C.

OFFICE USE

Date received stamp:

BC No: _____

Date Granted: _____

Valuation No. _____

The Owner

Name of Owner: (insert N/A if the applicant is an individual)

G. B. Goodman

Contact person: _____

Mailing address: 45 KING EDWARD ST MOTUEKA

Street address/registered office: _____

Phone Numbers:

Daytime: _____ Mobile: _____

Facsimile: _____ After Hours: _____

E-mail: _____

Website: _____

Evidence of ownership: (i.e. copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building)

☐ Copy of Certificate of Title (less than three months old) ☐ Agreement for Sale and Purchase ☐ Lease ☐ Other

Agent (only required if application is being made on behalf of the owner)

Name of Agent: (insert N/A if the applicant is an individual) _____

Contact person: _____

Mailing address: _____

Street address/registered office: _____

Phone Numbers:

Daytime: _____ Mobile: _____

Facsimile: _____ After Hours: _____

E-mail: _____

Website: _____

Relationship to owner: _____

First point of contact for communications with the Council/Building Consent Authority:
(state full name, mailing address, phone number(s), facsimile number(s) and e-mail address(es))

Application

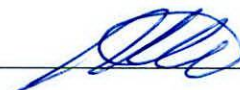
All building work to be carried out under the above building consent was completed on: (date)

The personnel who carried out the building work are as follows: (list names, addresses, phone numbers, and (where relevant) registration numbers)

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent: (list specified systems)

I request that you issue a Code Compliance Certificate for this work under Section 95 of the Building Act 2004. The Code Compliance Certificate should be sent to: (state which address, and whether owner or agent)

Signature of: (owner/agent on behalf of and with the authority of the owner)



Name of person signing: _____

Date:

25.5.09.

Attachments

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work (producer statement from registered trades, etc)
- ☐ Certificates that relate to the energy work (gas and electrical certificates)
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent (alarm, sprinkler, emergency lighting test certificates, etc)

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