

45 KING EDWARD ST
MOTUEKA.

SCALE 1cm = 1m.

Planned garage
295m²
entry 200m²
✓

DRIVEWAY.

6.1m

TOWN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT
THESE ARE THE PLANS, SPECIFICATIONS
REFERRED TO IN BUILDING CONSENT No. 011289.

- THIS DOCUMENT IS TO REMAIN ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspectors may inspect any:
concrete, masonry, framing, placement, lining, cladding,
roof fixing, structure, roof closure, trim fixing, lining stopping,
plumbing, drainlaying, covering
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a
result of this work being carried out.
- Date: 28/3/01 Building Consent No. 011289.

SIGNED: [Signature]

11.2m

EXISTING
DWELLING.

130m²

↑
2m
↓

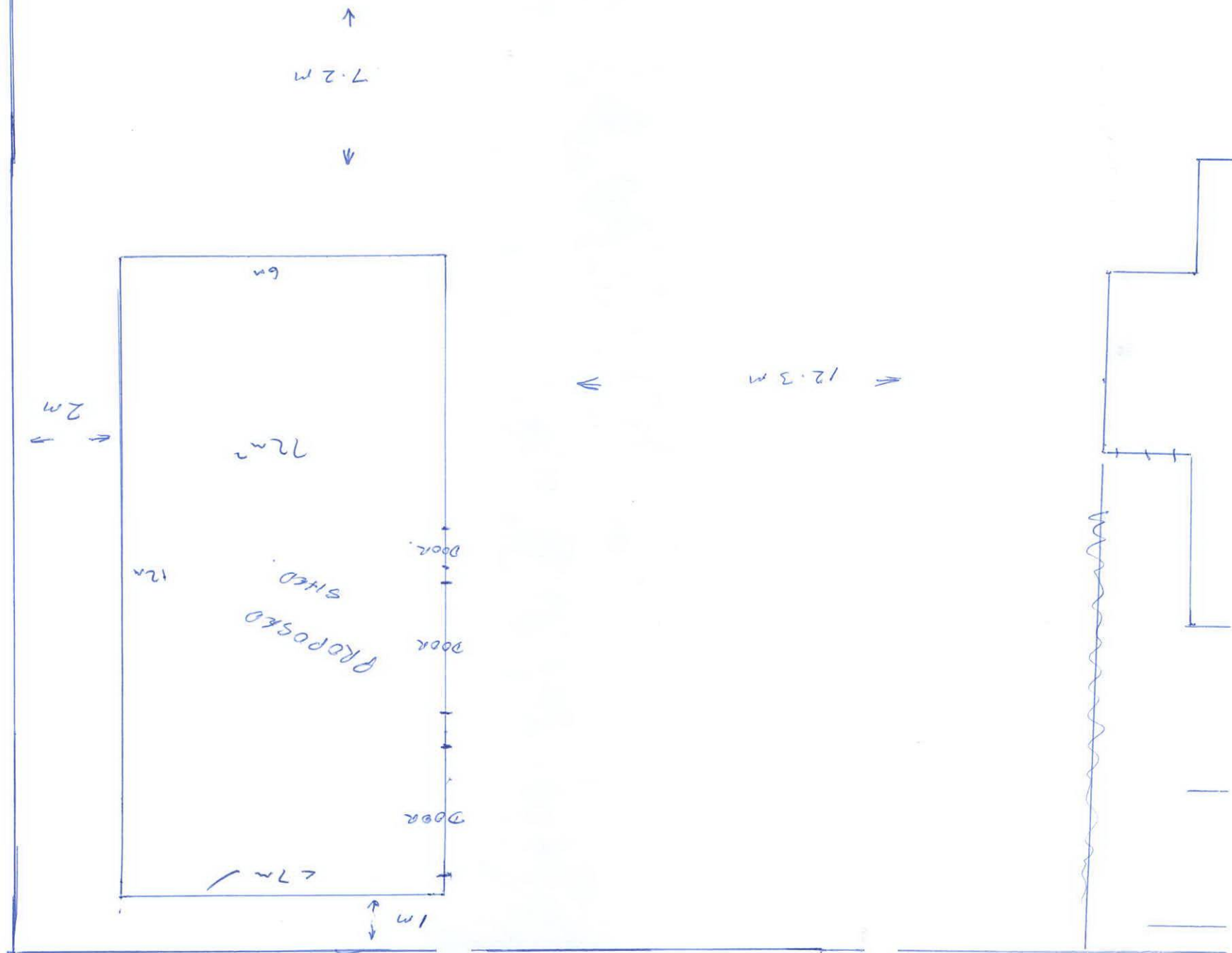


11-1-11

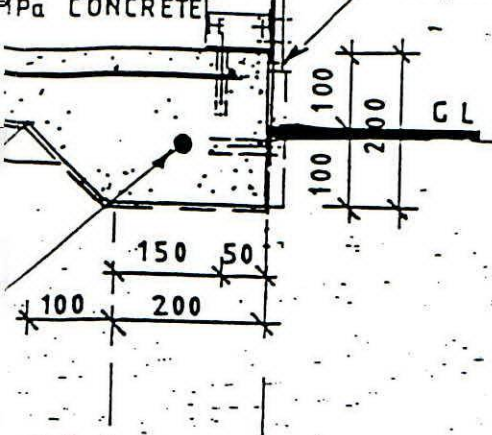
One

11-1-11





EEL POSTS
WALL CLADDING
20x20 VERMIN REBATE
- ADD EXTRA CONCRETE
(optional)
MPa CONCRETE

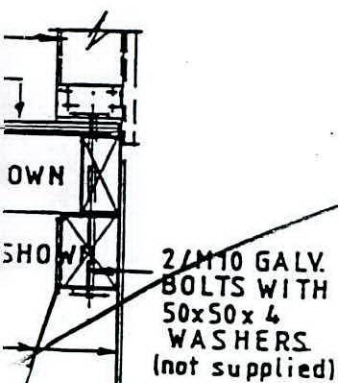


SLAB AND FOUNDATION SCHEDULE

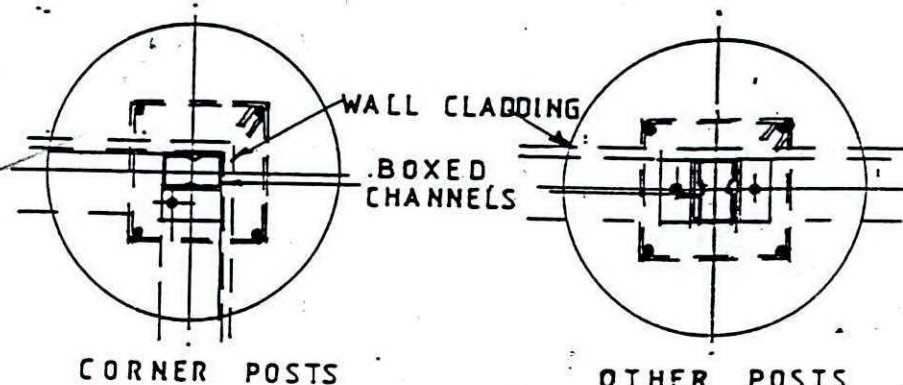
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NOT APPLICABLE•*

SIDE & REAR WALLS

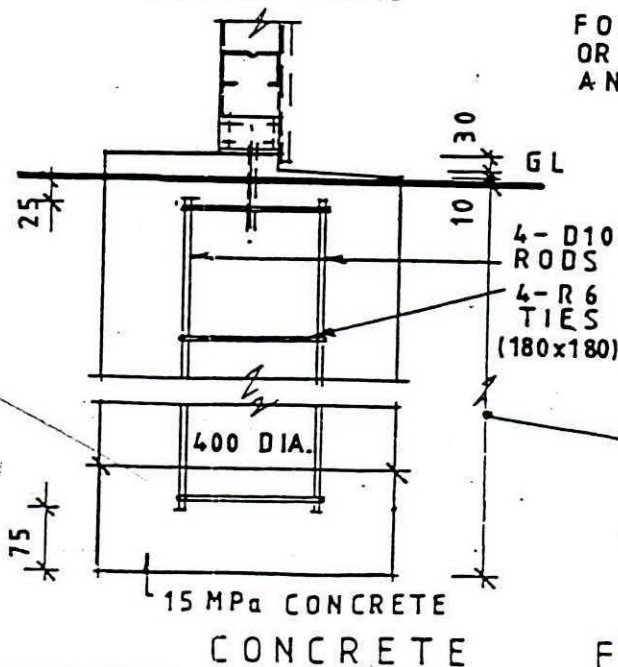
TE SLAB



CONCRETE



OTHER POSTS
FOR SIDE FIT GARAGES MOVE
OR ELONGATE FOOTINGS FOR
ANCHOR BOLTS AT DOOR JAMBS



REFER TO STEP 1 IN
ERECTION MANUAL
FOR 'FOOTING DEPTH
SCHEDULE'

FOOTINGS

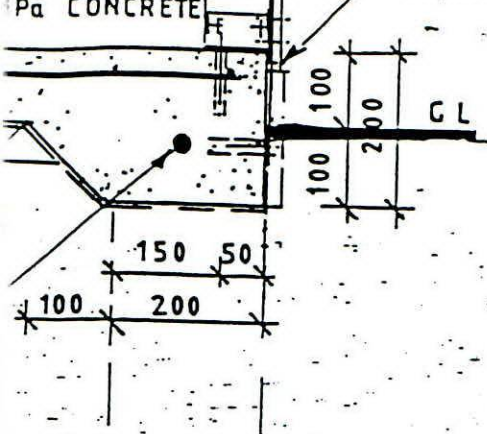
BUDGET GARAGES LTD

SHEET 4

STEEL FRAMED GARAGES

CONCRETE FLOOR SLAB - FOOTINGS OR TIMBER PILES

EEL POSTS
WALL CLADDING
20x20 VERMIN REBATE
- ADD EXTRA CONCRETE
(optional)
Pa CONCRETE

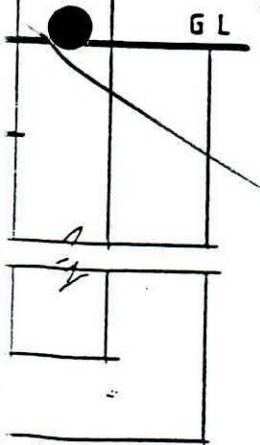


SLAB AND FOUNDATION SCHEDULE

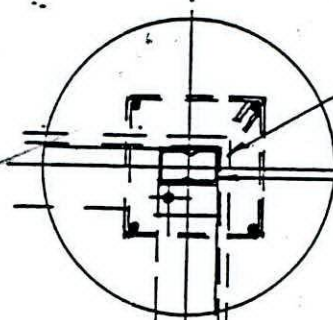
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NOT APPLICABLE•*

SIDE & REAR WALLS

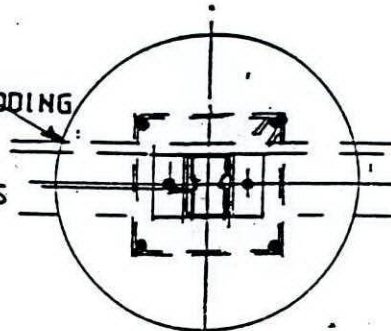
TF SLAB



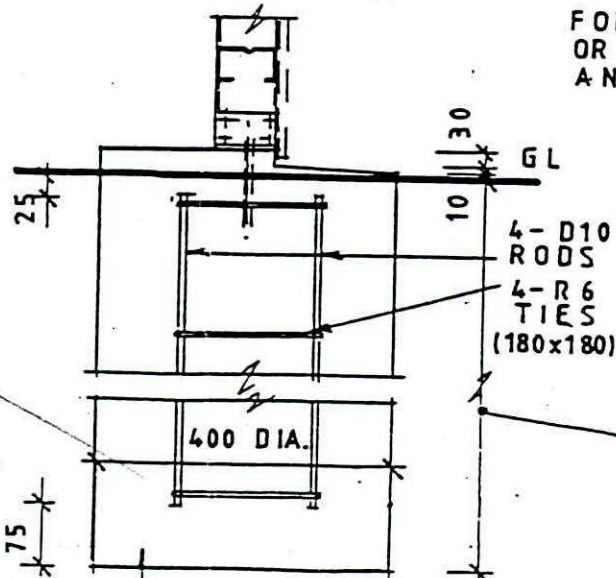
CONCRETE



CORNER POSTS



OTHER POSTS
FOR SIDE FIT GARAGES MOVE
OR ELONGATE FOOTINGS FOR
ANCHOR BOLTS AT DOOR JAMBS



CONCRETE

FOOTINGS

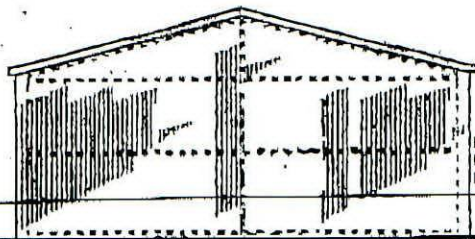
REFER TO STEP 1 IN
ERECTION MANUAL
FOR 'FOOTING DEPTH
SCHEDULE'

BUDGET GARAGES LTD

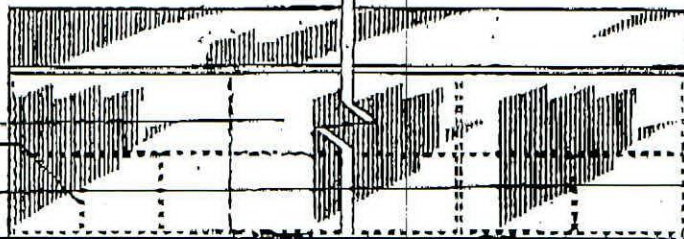
SHEET 4

STEEL FRAMED GARAGES

CONCRETE FLOOR SLAB - FOOTINGS OR TIMBER PILES



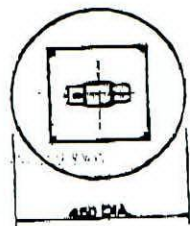
END WALL ELEVATION - 1:100



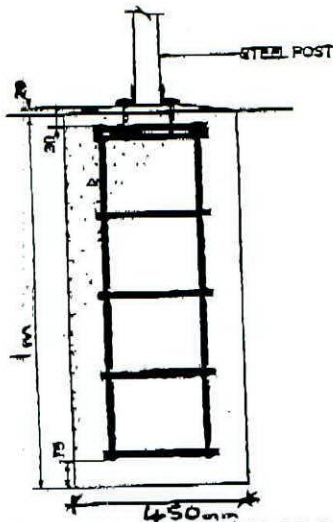
TYP. SIDE WALL ELEVATION 1:100

DEMOTES SINGLE B1
FOR 2m HIGH BUILDING

DOUBLE BRIDGING
FOR 7m LONG
BUILDINGS ONLY



4 - D12 RODS
- R6 TIES AT 200
(DOUBLE TOP)

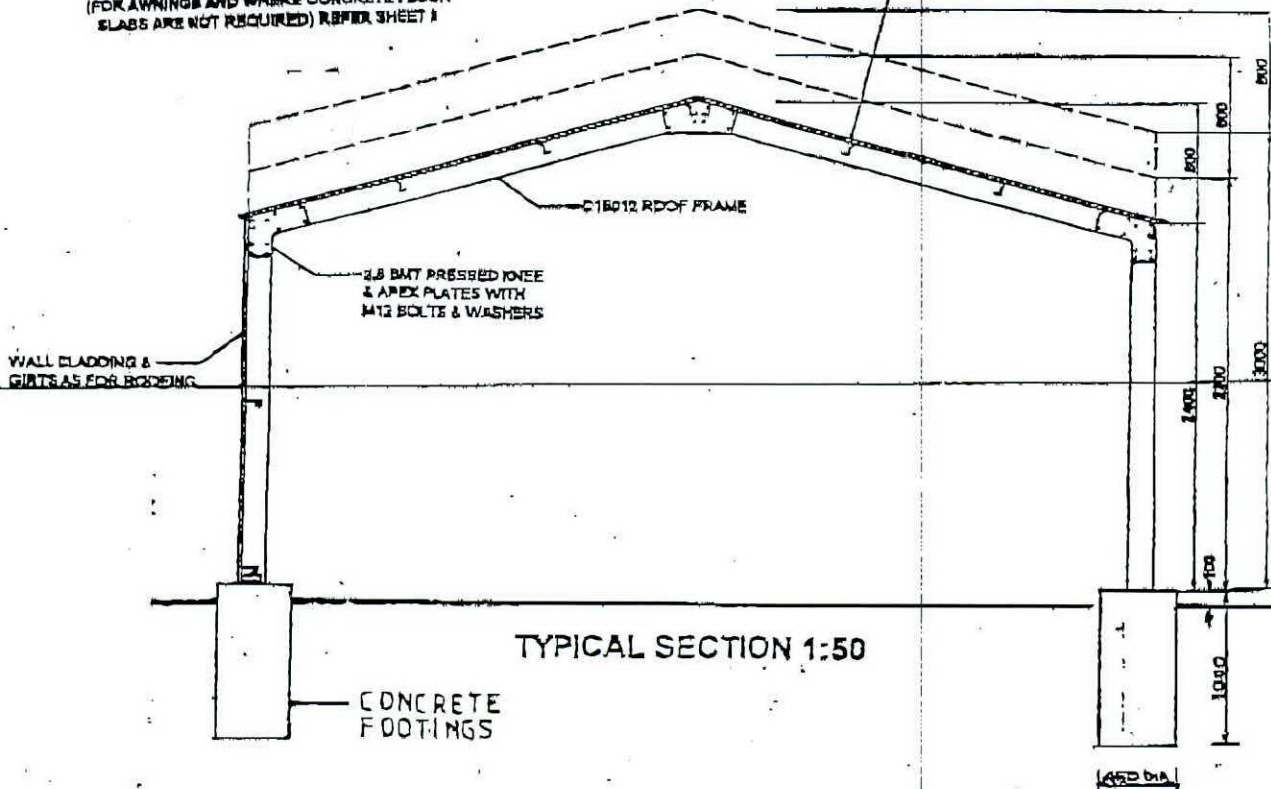


CONCRETE FOOTINGS
(FOR AWNINGS AND WHERE CONCRETE FLOOR
SLABS ARE NOT REQUIRED) REFER SHEET 1

NOTE: DELETE NON APPLICABLE ELEVATIONS

GIRT BRIDGING
GIRT BRIDGING SHALL CONSIST OF 80x40x8
LIPPED CRIMPED CHANNEL SECTION

0.35 BMT PROFILED SHEET CLADDING
- 80x40x8 LIPPED CRIMPED
COLD FORM CHANNEL PURLINS



TYPICAL SECTION 1:50

© COLMARK (AUSTRALIA) PTY. LTD.

STEEL FRAMED (FARM) SHEDS
S45 (HIGH)

BASIC WIND SPEED
V = 45 m/s T.C.2

6.0m SPAN PORTALS
6, 7, 9, 12 & 15m LONG
2.4, 2.7 & 3.0m HIGH
(NOMINAL DIMENSIONS)

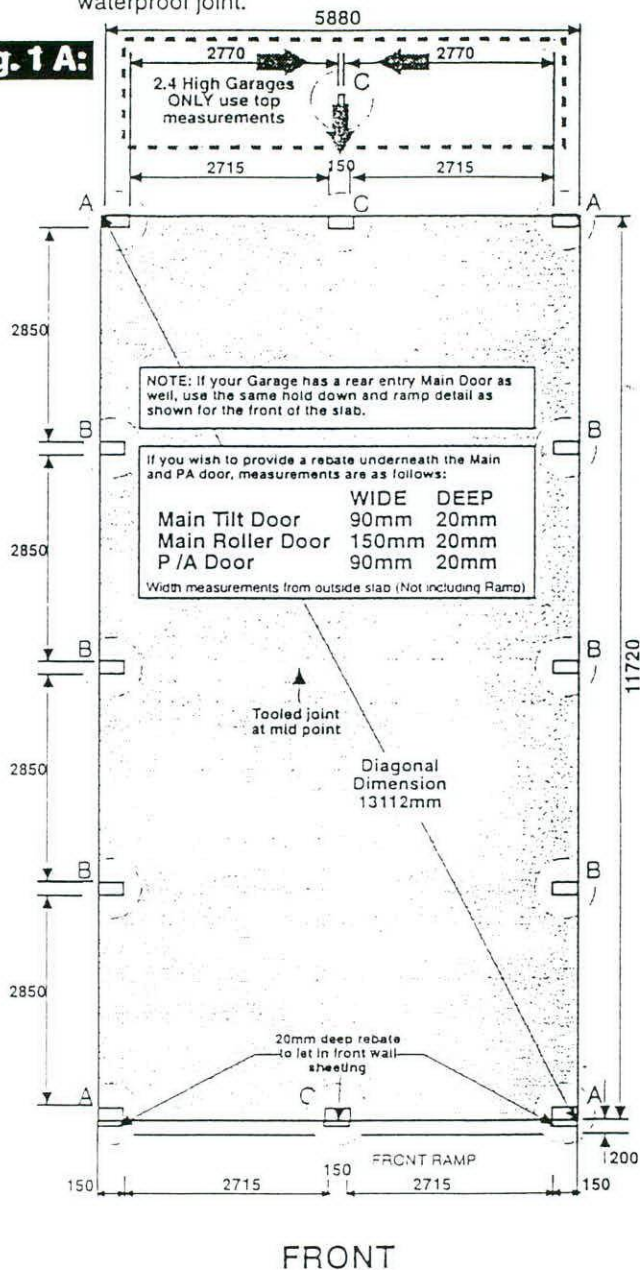
JOB No 97057

DRAWING No
60/S45
REVISION SUFFIX

6M X 12M, W35 FRONT DOOR FITMENT

Pour a perfectly level concrete slab to the dimensions shown in Figure 1A. This is to be 100mm thick, reinforced with F62 Mesh, with a concrete pad to be provided beneath all columns and mullions to the detail shown in Figure 1B and a ramp at the front (Figure 1C). Concrete strength is to be 20MPa at 28 days.

The Garage has been designed so the slab size and the external frame size are the same. The wall sheeting then overlaps the top of the slab by 20mm to form a waterproof joint.

Fig. 1 A:

If you would rather erect your Garage on footings, the locations are shown as dotted lines (●) in Figure 1A, a side view of the footing and a size schedule are shown in Figure 1D.

ANCHORS TO BE USED FOR EACH LEG

2 X M10X100mm SCREWBOLTS
for each leg shown on plan opposite

+ 2 for each PA Door

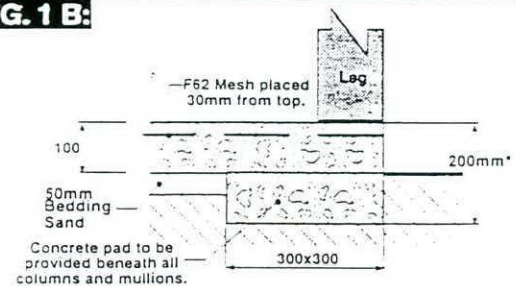
+ any additional Anchors shown in the chart headed "SCREWBOLTS HORIZONTALLY INTO BACK OF SLAB" shown in Step 3

NEW ZEALAND ONLY

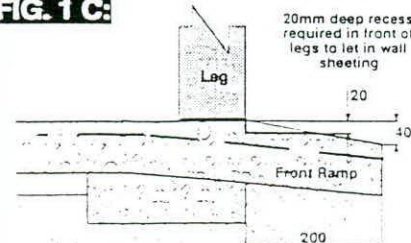
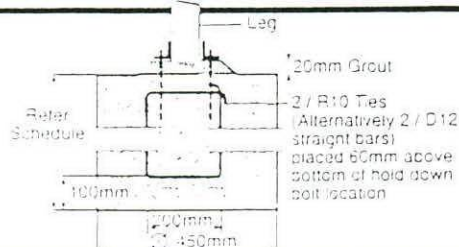
Fig 1b, c & d are NOT to be used in New Zealand conditions refer to SLAB AND FOUNDATION SCHEDULE attached to plans, for detailed drawings.

PA DOOR PLACEMENT

The PA Door can be placed at various positions around the garage. Refer to Step4 (for PA door in Gable End), or Step11 (for PA door in Side Wall). If footings are being used, 600mm deep footings will need to be placed at door jamb locations.

FIG. 1 B:

*NOTE: Victoria Only: Depth to suit Local Soil Conditions (Refer By-Laws)

FIG. 1 C:**FIG. 1 D:**

FOOTING DEPTH SCHEDULE (mm)

Wall Height	A		B		C	
	20 kpa	10kpa	20 kpa	10kpa	20 kpa	10kpa
2.4H.	1000	1200	900	1100	1100	1350
2.7H.	1150	1450	850	1050	1250	1500
3.0H.	1150	1450	850	1050	1250	1500

NOTE: Most soils meet 20kpa requirements. For soft soil use 10kpa value. For shaft adhesion value in your area consult your local soils engineer.

STEEL FRAMED BUDGET GARAGES DWELLINGS FARMSHEDS & CARPORTS

STATEMENT OF DURABILITY

NEW ZEALAND BUILDING CODE

The DURABILITY requirement, of the Building Regulations 1992, requires the structure of the building, without reconstruction or major renovation, to have a life of at least 50 years (clause B2.3 (a)) whereas building elements which do have a moderate ease of access (clause B2.3 (c)) shall have a life of at least 15 years and components such as linings, doors and windows shall have a life of at least 5 years (clause B2.3 (d)), with only normal maintenance, unless the building is given a *specified intended life*.

NORMAL CONDITIONS

In areas of normal conditions (500m from breaking surf, in the immediate vicinity of calm salt water such as estuaries and harbour foreshores, more than 500 metres from industrial emissions and subject to little or no fallout from them and away from geothermal areas) provided the building is located, where possible, with the openings away from prevailing inclement weather and the building is given 'normal maintenance', as specified below, then the life of the building will be 50 years.

CORROSIVE CONDITIONS

In areas of corrosive conditions (within 500m of breaking surf, heavy salt deposits, constant smell of salt spray, the continuous presence of a smell of industrial chemicals, such as sulphur or acids, close to industrial emissions and/or geothermal areas and subject to light fallout from them) because all of the components of the building can be replaced 'with moderate ease' without 'reconstruction or major renovation' the specified intended life of the building is nominated as 20 years. After this period the local authority may request an inspection and assessment of the future life of the building.

For the life of the building to be at least 20 years - framing that is to be boxed or lapped with other framing members shall prior to assembly be degreased, etched with a primer suitable for galvanised iron and zincalume and given a heavy coat of anti-corrosive zinc-rich paint, or equivalent protective paint system, as supplied by a reputable paint supplier and the zinc plated Rawlplug screwbolts, securing the building to the foundations, shall be liberally coated with Selleys Roof and Gutter Sealant, as shall the angle fixing brackets.

NORMAL MAINTENANCE

'Normal maintenance', as required by the Building Code, shall consist of annual washing of areas, unwashed by rain, for buildings in moderate corrosion environments, twice annually washing down, in areas of severe corrosion and a complete protective painting system, for buildings in very severe atmospheres.

(amended : 02.07.97)

BUDGET GARAGES
5A Ryan Place, PO Box 76-318, Manukau City, Auckland
Free Phone 0800 103 545 Facsimile 09 262 2798

1614
2 July 1997

The Manager

Local Territorial Authority

Attention:

Senior Building Controller

Dear Sir

1614

2 July 1997

THIS DOCUMENT IS A BLANKET PRODUCER STATEMENT

THESE ARE THE SPECIFICATIONS REFERRED TO IN THE BUILDING CONSENT NO. 011289.

THIS DOCUMENT IS VALID FOR THE WORK UNTIL COMPLETION

• GIVE 24 HOURS NOTICE BEFORE ANY WORK IS COVERED UP

• Council must be notified of any replacement, lining, cladding, roof fixing, plumbing, drainage, etc.

• Deviations from these specifications require further approval

• Consent holder is responsible and liable for any damage result

STEEL FRAMED BUDGET BUILDINGS

DWELLINGS - GARAGES - FARMSHEDS - HAYBARN - CARPORTS

Date: 28/7/97 Building Consent No. 011289.

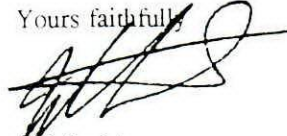
As the New Zealand representative, of the Australian designer of the above range of Spic-N-Span cold formed steel framed buildings, I have been requested, by some Local Authorities, to issue a blanket Producer Statement for these specific designed structures.

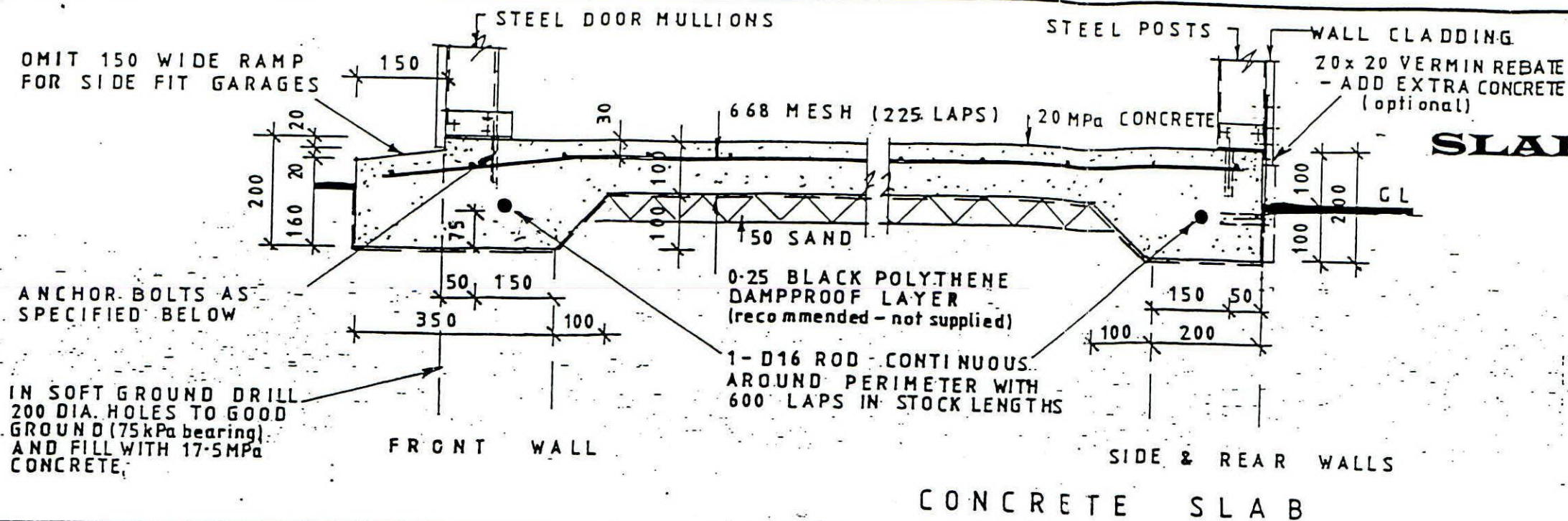
I consider the Producer Statement to be a legal document, that is unique to a particular building on one site, but I can issue the following statement:

1. The buildings are constructed from high tensile steel with high tensile steel cladding in which no timber is used except for dwellings when timber studding may be used to support interior wall linings.
2. The buildings are fabricated from zincalume protected steelwork, all members are fixed with zinc plated Tek screws and any member, 'with moderate ease' can be removed and treated for corrosion at any time, 'without reconstruction or major renovation'.
3. The buildings are light and, even including the concrete floor slab, the required ground bearing pressure is less than 75kPa.
4. The maximum uplift, in any post, is 12.5 KN and the building will be stable provided the support system will resist these forces. Zincplated Rawlplug Excalibur screwbolts are used to fix the structure to the concrete floor slab or concrete footings and these fasteners can be removed for inspection and treatment or replacement, at any time.
5. The W37 and W42 buildings will withstand basic non-directional wind speeds (NZS 4203:1992 clause 5.4.2) of 45 and 50 metres per second respectively.
6. The buildings will withstand snow loads of 0.7Kpa and loadings of up to 1.2kPa can be resisted by strengthening the roof trusses and adding extra purlins.

Please contact me for further information.

Yours faithfully,


F R Smith



SLAB AND FOUNDATION SCHEDULE

•*DELETE OPTIONS
NOT APPLICABLE•*

ANCHOR BOLTS TO CONCRETE SHALL BE RAWLPLUG M10x75 ZINC PLATED HEX HEADED EXCALIBUR SCREWBOLTS
ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW ZEALAND BUILDING CODE

Designer: Des Newport, Consulting Engineer
Brisbane, Australia
Regd. Eng: FREDERICK R SMITH
CONSULTING ENGINEER
23 Glamorgan Drive, Torbay
Auckland Ph/Fx 09 473 1262

Manufacturer: Spic - N- Span, Brisbane, Australia

25.7.96 amended
28.8.96

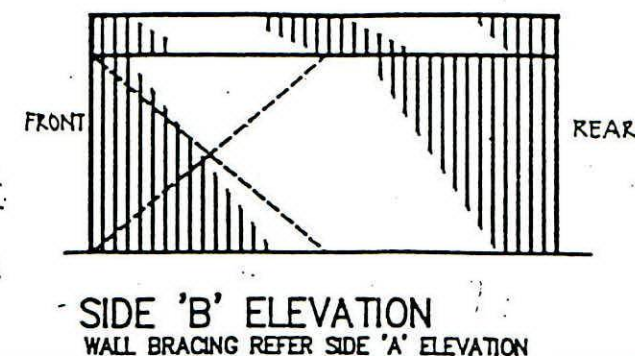
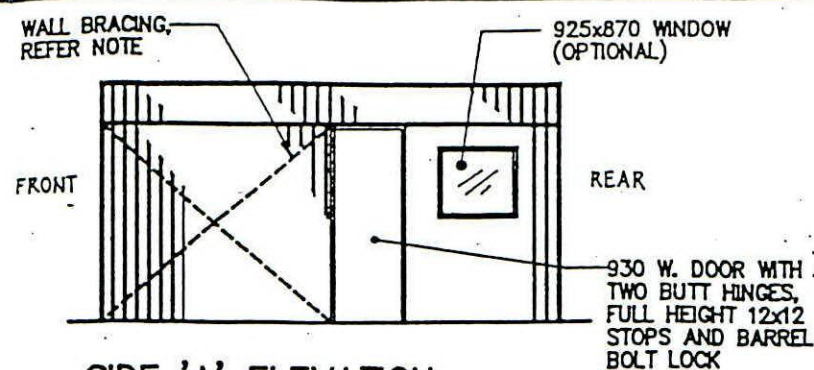
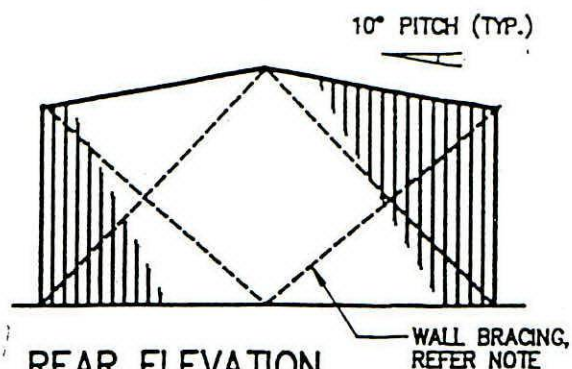
BUDGET GARAGES LTD

SHEET 4

STEEL FRAMED GARAGES

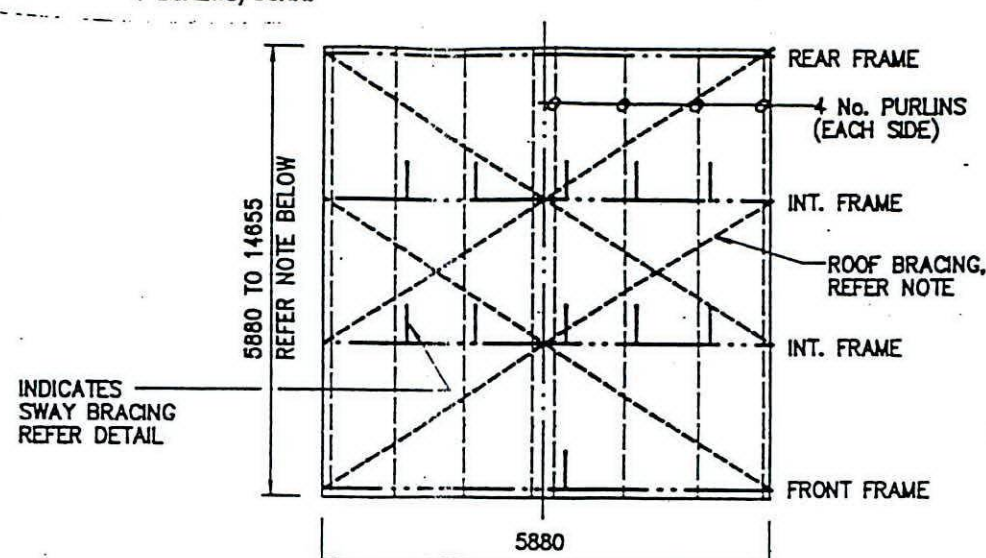
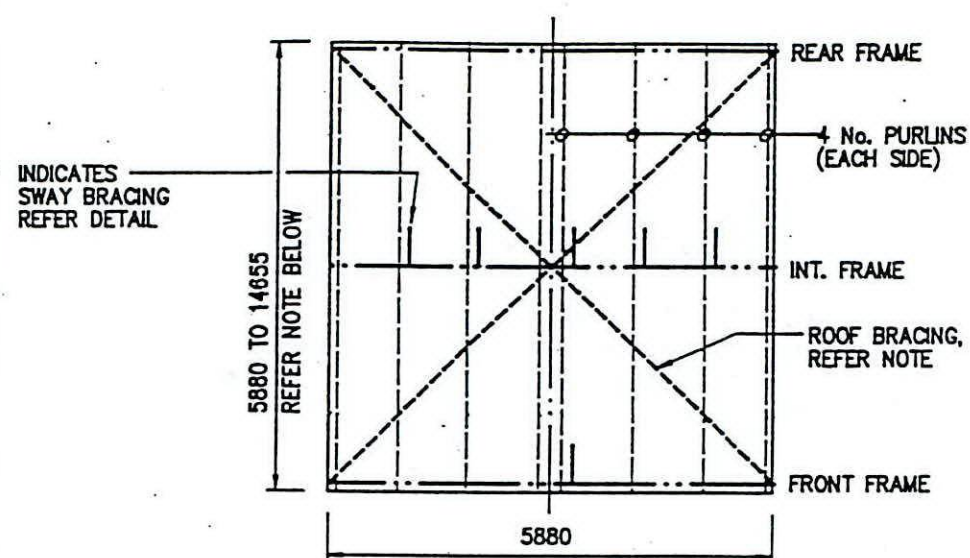
CONCRETE FLOOR SLAB - FOOTINGS OR TIMBER PILES

Distributors: BUDGET GARAGES LIMITED 5A Ryan Place P.O. Box 76318, Manukau City Auckland 1510 Ph 09 262 3800 Fax 09 262 3709



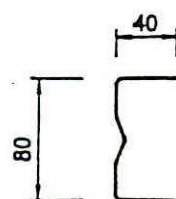
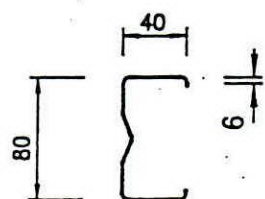
- 1 PERSONELL DOOR MAY BE INSTALLED IN THIS WALL PROVIDED THE NUMBER OF BRACING SETS IS MAINTAINED AS SCHEDULED
- 2 WALL BRACING (2 BAYS) EX G550 STRAPS:-
- | | | | | | |
|-----|---|-----------------|---|----------------|--|
| S42 | - | 6-12m L GARAGE | - | 21x0.8 STRAPS | |
| | | | | 3 SCREWS/CONN. | |
| | | 15m L GARAGE | - | 50x0.8 STRAPS | |
| | | | | 4 SCREWS/CONN. | |
| S50 | - | 6-9m L GARAGE | - | 50x0.8 STRAPS | |
| | | | | 3 SCREWS/CONN. | |
| | | 12-15m L GARAGE | - | 50x0.8 STRAPS | |
| | | | | 4 SCREWS/CONN. | |

- SIDE 'A' ELEVATION**
- WALL BRACING EX. G550 STRAPS:-
- S42 - 6-9m L GARAGE - 1 BAY OF 21x0.8 STRAPS
3 SCREWS/CONN.
- 12-15m L GARAGE - 2 BAYS OF 21x0.8 STRAPS
2 SCREWS/CONN.
- S50 - 6m L GARAGE - 1 BAY OF 50x0.8 STRAPS
5 SCREWS/CONN.
- 9-12m L GARAGE - 2 BAYS OF 21x0.8 STRAPS
3 SCREWS/CONN.
- 15m L GARAGE - 3 BAYS OF 21x0.8 STRAPS
3 SCREWS/CONN.



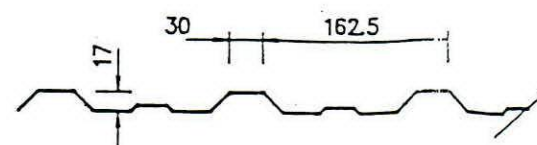
- 1 S42, 6m WIDE GARAGES MAY BE EXTENDED TO
MAXIMUM 15m LONG BY INSERTING INTERNAL
FRAMES AT 3000 CTS. MAXIMUM.
BRACING LAYOUT SIMILAR.
- 2 ROOF BRACING EX. C550 STRAPS:-
6-12m L GARAGE - 21x0.8 STRAPS (3 SCREWS/CONN.)
15m L GARAGE - 50x0.8 STRAPS (3 SCREWS/CONN.)

- 1 S50, 6m-WIDE GARAGE MAY BE EXTENDED TO MAXIMUM 15m LONG BY INSERTING INTERNAL FRAMES AT 2000 CTS. MAXIMUM. BRACING LAYOUT SIMILAR.
- 2 ROOF BRACING EX. G550 STRAPS:-
- | | | |
|------------------|-----------------|----------------|
| 6-9m L. GARAGE | - 50x0.8 STRAPS | 4 SCREWS/CONN. |
| 12-15m L. GARAGE | - 50x0.8 STRAPS | 5 SCREWS/CONN. |

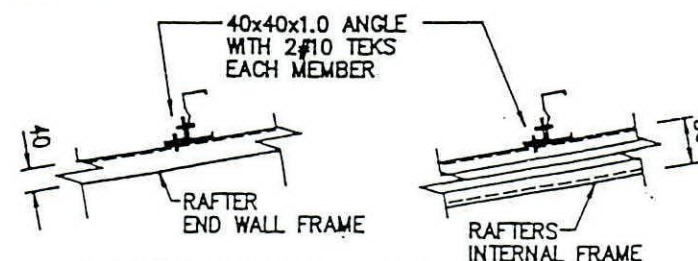


TYPICAL SECTION
INT. & REAR FRAMES

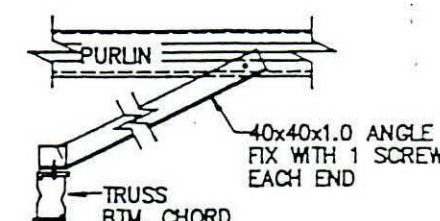
TYPICAL SECTION
FRONT FRAME ONLY



SHEETING PROFILE 0.35 T.C.T.



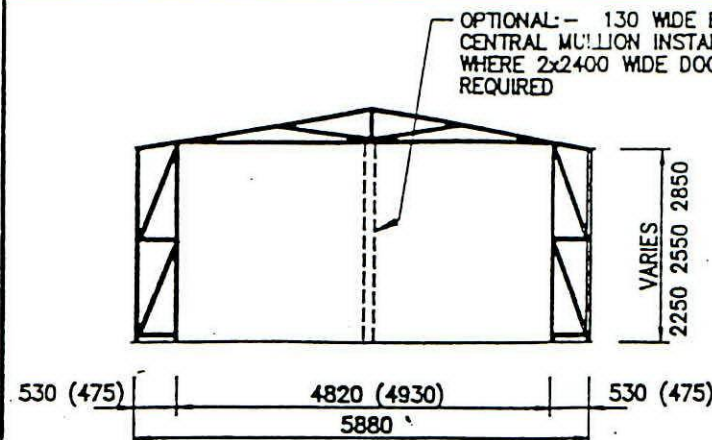
FOR PURLIN SPACING REFER FRAMING PLANS
PURLIN FIXING



TYPICAL SWAY BRACING DETAIL

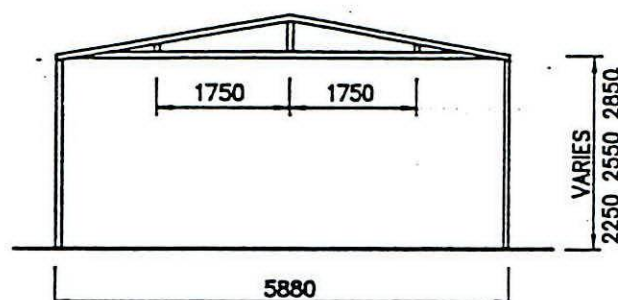
© spic-n-span 1995

			DES NEWPORT CONSULTING ENGINEERS Pty. Ltd. PO Box 76318, MANUKAU CITY, AUCKLAND 208 CONSTANCE STREET, FORTITUDE VALLEY BRISBANE QLD. 4006 AUSTRALIA Phone +61 7 3252 9822 Fax +61 7 3252 9844		BUDGET GARAGES Ltd. 5a RYAN PLACE, MANUKAU CITY, AUCKLAND Phone (09) 262 2803 Fax (09) 262 2798 Freephone 0800 10 35 45		PROJECT 2.4m, 2.7m Height RANGE OF GARAGES 6m WIDE FRONT ENTRY SITE WIND SPEED 42m/s AND 50m/s		SUBJECT ELEVATIONS, FRAMING PLANS, CONNECTION DETAILS		JOB No. 91099NZ DWG No. 1 REVISION SUFFIX A	
A	RELEASED FOR BUILDING APPROVAL		JULY 1996									
SUFF	REVISION		DATE									



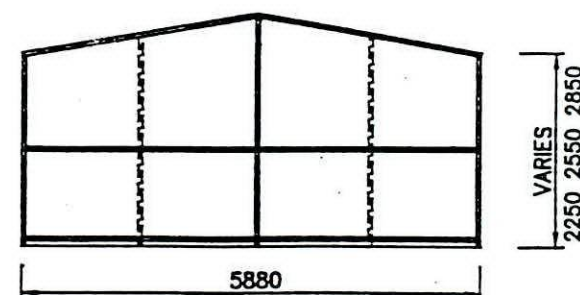
FRONT FRAME

- 1 ALL MEMBERS TO BE EX. 80x40 CHANNELS, 0.8 B.M.T.
- 2 DOOR HEAD AND DOOR MULLIONS TO BE BOXED CHANNELS



INTERNAL FRAME

- 1 ALL MEMBERS TO BE BOXED 80x40 CHANNELS (RAFTERS TO BE 2 / 50x40 CHANNELS)



REAR FRAME

- 1 REFER "REAR FRAME NOTES" FOR MEMBER SIZES AND SPACINGS

NOTE:- M10 "AVDEL TEXTRON SCREWBOLTS" MAY BE USED IN LIEU OF CHEMSETS FOR HOLD DOWN OF ALL FRAMES (SEE NOTES)

SIDE WALL GIRT NOTE

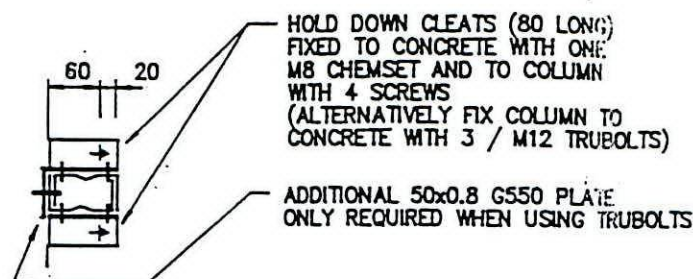
- 1 ALL SIDE WALL GRTS TO BE SINGLE 80x40 CHANNELS, 0.8 B.M.T.
- 2 SPACING OF SIDE WALL GRTS AS PER REAR WALL ELEVATION.

FRONT FRAME - HOLD DOWN SCHEDULE

FIX EACH COLUMN OF FRONT FRAME WITH HOLD DOWN CLEAT/S FIXED TO CONCRETE WITH CHEMSETS AND TO COLUMN WITH SCREWS:-

2.4m HIGH GARAGE	2.7m AND 3.0m HIGH GARAGE
6m LONG; S42 - 2/CH8 (4 SCREWS) S50 - 2/CH10 (5 SCREWS)	6m LONG; S42 - 2/CH10 (6 SCREWS) S50 - 2/CH12 (8 SCREWS)
9m LONG; S42 - 2/CH10 (5 SCREWS) S50 - 2/CH12 (7 SCREWS)	9m LONG; S42 - 2/CH12 (8 SCREWS) S50 - 4/CH10 (10 SCREWS)
12m LONG; S42 - 2/CH10 (6 SCREWS) S50 - 2/CH12 (9 SCREWS)	12m LONG; S42 - 4/CH10 (10 SCREWS) S50 - 4/CH12 (14 SCREWS)
15m LONG; S42 - 2/CH12 (6 SCREWS) S50 - 4/CH10 (12 SCREWS)	15m LONG; S42 - 4/CH12 (14 SCREWS) S50 - 4/CH12 (16 SCREWS)

NOTE:- NUMBER OF SCREWS INDICATED IS THE TOTAL NUMBER PER COLUMN (DIVIDE EQUALLY BETWEEN THE NUMBER OF CLEATS REQUIRED)



INTERNAL FRAME - HOLD DOWN

- 1 HOLD DOWN CLEATS TO BE EX. 40x40x2.0 ANGLE
- 2 BOLTS DESIGNATED CH8 TO CH12 REFERS TO M8 TO M12 CHEMSETS INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- 3 M8 TO M12 CAST-IN BOLTS MAY BE USED IN LIEU OF CHEMSETS
- 4 M10 "AVDEL TEXTRON SCREWBOLTS", 75mm EMBEDMENT INTO CONCRETE, MAY BE USED IN LIEU OF CHEMSETS

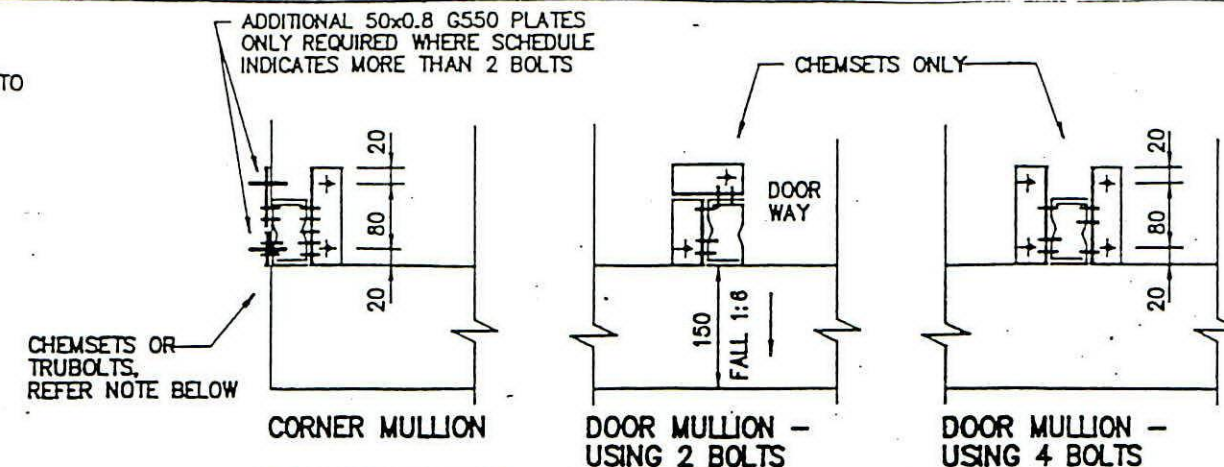
REAR FRAME NOTES

- 1 ALL MEMBERS EX. 80x40 CHANNELS, 0.8 B.M.T. (BOXED MULLIONS TO BE FLANGE CONNECTED WITH SCREWS AT 600 CTS.)
- 2 GRT LAYOUT TO BE AS SHOWN. ALL GRTS IN END WALL EX. SINGLE CHANNELS. (SIDE WALL GRT LAYOUT SIMILAR).
- 3 CORNER MULLIONS TO BE TYPE A, ALL D.W.V., ALL HEIGHTS
- 4 NUMBER OF "INTERNAL" MULLIONS AS PER FOLLOWING:-

2400 H. GARAGE	1 TYPE B - S42 1 TYPE B - S50
2700 H. GARAGE	1 TYPE B - S42 3 TYPE B - S50
3000 H. GARAGE	1 TYPE B - S42 3 TYPE B - S50

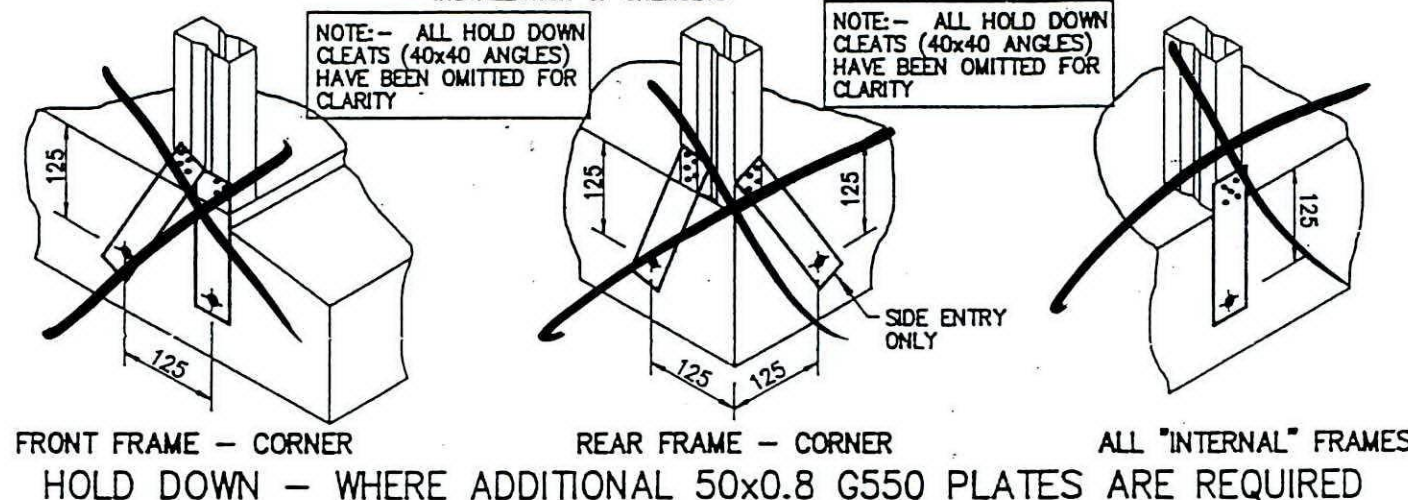
TYPE A

TYPE B



FRONT FRAME - HOLD DOWN

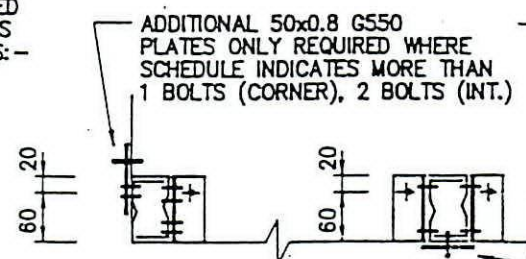
- 1 M12 TRUBOLTS MAY BE USED IN LIEU OF CHEMSETS FOR HOLD DOWN OF FRONT FRAME CORNER MULLION IN FOLLOWING CASES ONLY:-
- 2.4m HIGH GARAGE; S42, 6-15m L GARAGE; USE 3 TRUBOLTS
S50, 6-9m L GARAGE; USE 3 TRUBOLTS
12-15m L GARAGE; USE 4 TRUBOLTS
- 2.7-3.0m H. GARAGE; S42, 6m L GARAGE; USE 3 TRUBOLTS
9-12m L GARAGE; USE 4 TRUBOLTS
S50, 6-9m L GARAGE; USE 4 TRUBOLTS
- 2 REFER "INTERNAL FRAME - HOLD DOWN" FOR NOTES REGARDING:
- SCREWBOLTS AND CAST-IN BOLTS USED IN LIEU OF CHEMSETS
- INSTALLATION OF CHEMSETS



REAR FRAME CORNER - HOLD DOWN SCHEDULE

HOLD DOWN CLEAT/PLATE FIXED TO CONCRETE WITH CHEMSET/S AND TO COLUMN WITH SCREWS:-

6m LONG GARAGE; S42 - 1/CH10 (2 SCREWS) S50 - 1/CH10 (2 SCREWS)	
9m LONG GARAGE; S42 - 1/CH10 (3 SCREWS) S50 - 2/CH8 (3 SCREWS)	
12m LONG GARAGE; S42 - 2/CH8 (3 SCREWS) S50 - 2/CH10 (3 SCREWS)	
15m LONG GARAGE; S42 - 2/CH10 (4 SCREWS) S50 - 2/CH10 (4 SCREWS)	



REAR FRAME - HOLD DOWN

- 1 M12 TRUBOLTS MAY BE USED IN LIEU OF CHEMSETS FOR HOLD DOWN REFER FOLLOWING; -CORNER MULLIONS; USE 2 TRUBOLTS
- "INTERNAL" MULLIONS; USE 3 TRUBOLTS
- 2 REFER "INTERNAL FRAME - HOLD DOWN" FOR NOTES REGARDING:
- SCREWBOLTS AND CAST-IN BOLTS USED IN LIEU OF CHEMSETS
- INSTALLATION OF CHEMSETS

REAR FRAME "INTERNAL" - HOLD DOWN SCHEDULE

TWO HOLD DOWN CLEATS, EACH FIXED TO CONCRETE WITH ONE CHEMSETS AND TO COLUMN WITH SCREWS:-

6-12m LONG GARAGE; S42 - CH8 BOLT, 3 SCREWS S50 - CH8 BOLT, 3 SCREWS
15m LONG GARAGE; S42 - CH10 BOLT, 3 SCREWS S50 - CH10 BOLT, 3 SCREWS

DES NEWPORT CONSULTING ENGINEERS Pty. Ltd. PO Box 76318, MANUKAU CITY, AUCKLAND 208 CONSTANCE STREET, FORTITUDE VALLEY BRISBANE QLD. 4006 AUSTRALIA Phone +61 7 3252 9822 Fax +61 7 3252 9844		CLIENT BUDGET GARAGES Ltd. 5a RYAN PLACE, MANUKAU CITY, AUCKLAND Phone (09) 262 2803 Fax (09) 262 2798 Freephone 0800 10 35 45	PROJECT 2.4m, 2.7m, 3.0m Height RANGE OF GARAGES 6m WIDE FRONT ENTRY SITE WIND SPEED 42m/s AND 50m/s	SUBJECT DETAILS OF FRAMES, HOLD DOWN DETAILS	JOB No. 91099NZ DWG No. 2 REVISION SUFFIX A
A	RELEASED FOR BUILDING APPROVAL	JULY 1995			
SUFF	REVISION	DATE			

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