

Enhancing the quality of the environment



ENVIRONMENTAL SERVICES

WANGANUI DISTRICT COUNCIL

APPLICATION for P.I.M/Building Consent

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
- Building Consent
- Alteration to Approved Plan

BC # 15873

(A) Owner
 Name: Jenny Tanner 63716
 Mailing Address: 28 Carlton Ave
 Phone: 3454344 Fax:

(B) Designer
 Name: Owner
 Mailing Address: as above
 Phone: Fax:

(C) Builder
 Name: Eric Head
 Mailing Address: 130 Koromiko Rd.
 Phone: 3445473 Fax:

(D) Craftsman Plumber

(E) Registered Drainlayer

CONTACT PERSON i.e. A B C D E (Circle one)

Project
 Description of PROJECT and USE: Remove ext. walls, create deck

Project Location
 Street Address/Rural No: 28 Carlton Ave

Durable Life of Project (i.e. 5, 15, 50+ years)
50+ years

Value of Project Work
 (include all labour & materials)
 \$ 500.00 (Incl. GST)

Consent Fees to be paid by? Owner

Code Compliance Certificate to be sent to? owner

FLOOR AREA OF PROJECT
 New Residential Dwellings or
 New Commercial Only m²

LEGAL DESCRIPTION
 WDC Property No. 6569
 Valuation Roll No. 13150 254 00
 Lot(s) 6 DP 34322
 Section Block
 Survey District

Signed by (on behalf of) the applicant
 Signature: [Signature]
 Owner, builder, plumber, designer, agent
 (circle one)

Date: 12/02/01

FEES APPLICABLE (office use only)	
Building Consent Application	\$ 100.00
Building Consent Issue	\$
P.I.M	\$
Non-notified Appl. Fee	\$
Prepaid Crossing	\$
Prepaid Sewer Connection	\$
Prepaid Water Connection	\$
Stormwater Connection	\$
BIA Levy	\$
Additional Charges	\$
Total Fees (Incl. G.S.T)	\$

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

Project Details

The project involves the following:

(tick each applicable box, if any, and attach two(2) copies of any relevant information)


- (1) Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- (2) New provisions to be made for vehicular access and on-site parking, ie. a new crossing
- (3) Provisions to be made in building over or adjacent to any road or public place, ie. hoardings, signs
- (4) New provisions to be made for disposing of stormwater and wastewater
- (5) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- (6) New connections to public utilities, ie. new drainage or water connections
- (7) Provisions to be made for any demolition work ie. the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

- Plans and specifications
- (22) Producer Statements (ie. truss design, design review) - specify:
- (23) Other Documents - specify:

Inspections

- (26) By Wanganui District Council
- (27) Other - specify (ie. Design Engineer):

For office use only							
Unit	Checks				Inspections No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	MS	12/2/01					
Planning						PK	23/2/01
Building	GW	12/2			2=60	PL	12/2/01
Drainage							
Water							
Structural							
Plumbing/Drainage						PK	23/2/01
Roading							
Health							
Dangerous Goods							
Approved for issue of PIM/Building Consent							
District Building Controller: 				Date: 26 FEB 2001			

Application for Building Consent

To create a deck out of existing kitchen/laundry area.

- Roof structure and floor structure to remain as is.
- Remove existing walls.
- Replace with 200x100 beams on 100x100 posts at each corner. Posts to be H5
- Posts to go into ground 600mm.
- Footing for posts to be 500x300 x 700 deep.
concrete.
- 6mm bowmac plates of required length. 2 bolts through into beams, 2 bolts through into posts.

APPROVED

15873

Consent No.

13 FEB 01



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

MRS J R TANNER
28 CARLTON AVE
WANGANUI
5001

Dear Sir or Madam

RE : 28 CARLTON AVE
Remove walls and convert to covered deck.

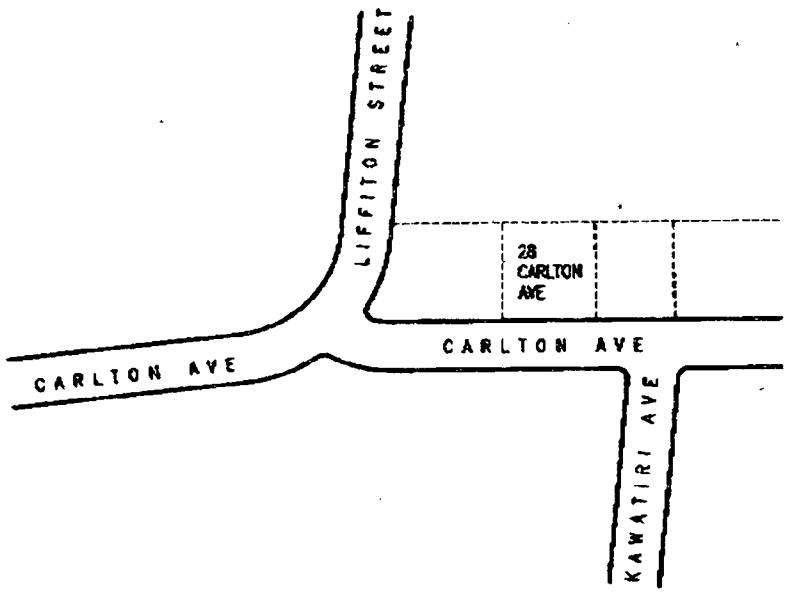
I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

- These plans are not of an acceptable standard for processing for a Building Consent. It is unclear what the extent of work is to be carried out. ie. is the existing kitchen floor suitable for an unenclosed area?, what is the ceiling etc.? I suggest you engage a professional draftsman to prepare the required drawings for compliance with the Building Code. (GW)

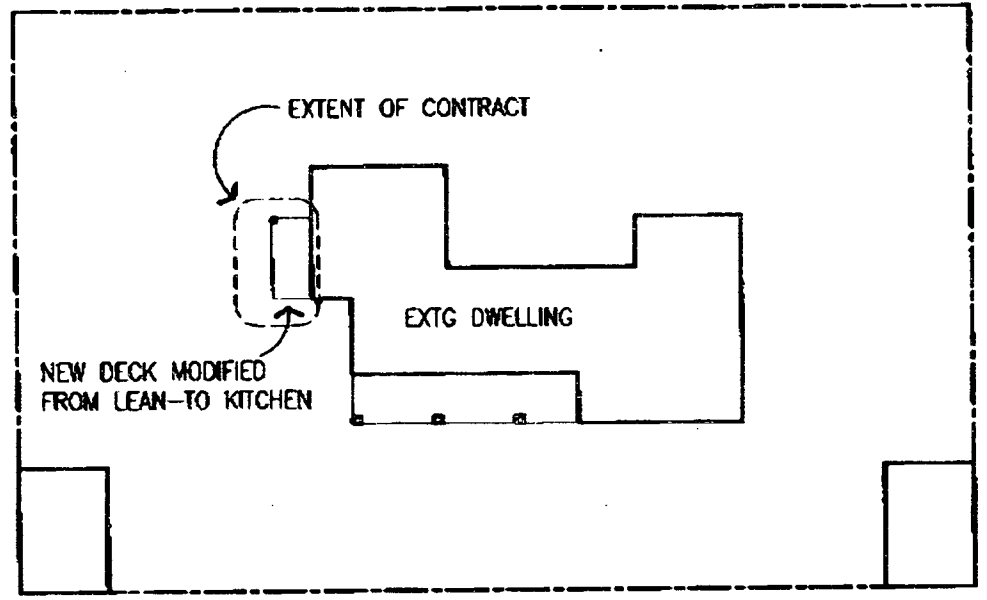
Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 15873.

Yours faithfully

GRAHAM WAIT - Building Control Officer



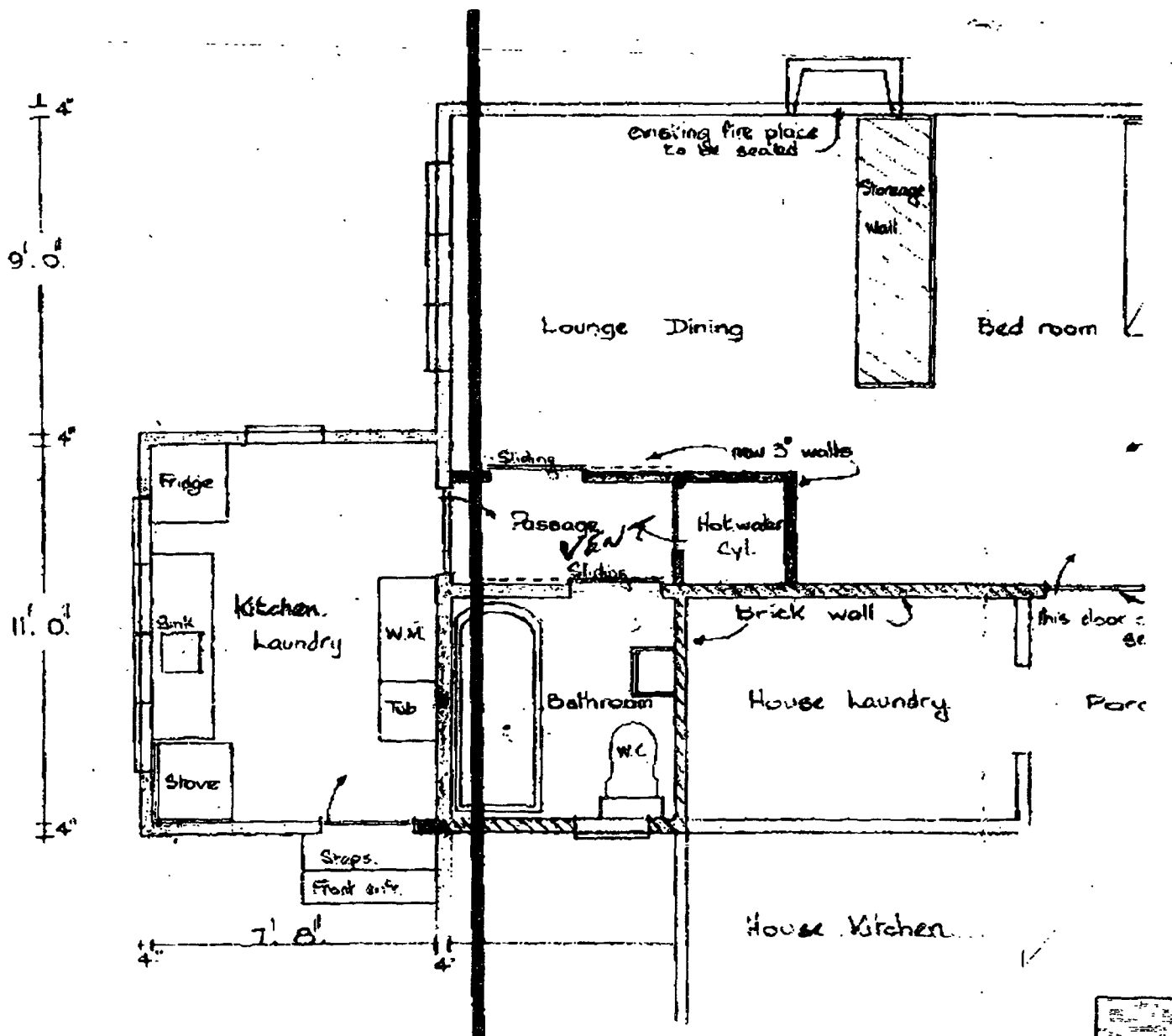
01 LOCATION PLAN **N.T.S.**
 - 28 CARLTON AVE



02 SITE PLAN **N.T.S.**
 - 28 CARLTON AVE

APPROVED
15873
 Consent No.

	DECK ALTERATIONS FOR:
	TANNER
	28 CARLTON AVE
	WANGANUI



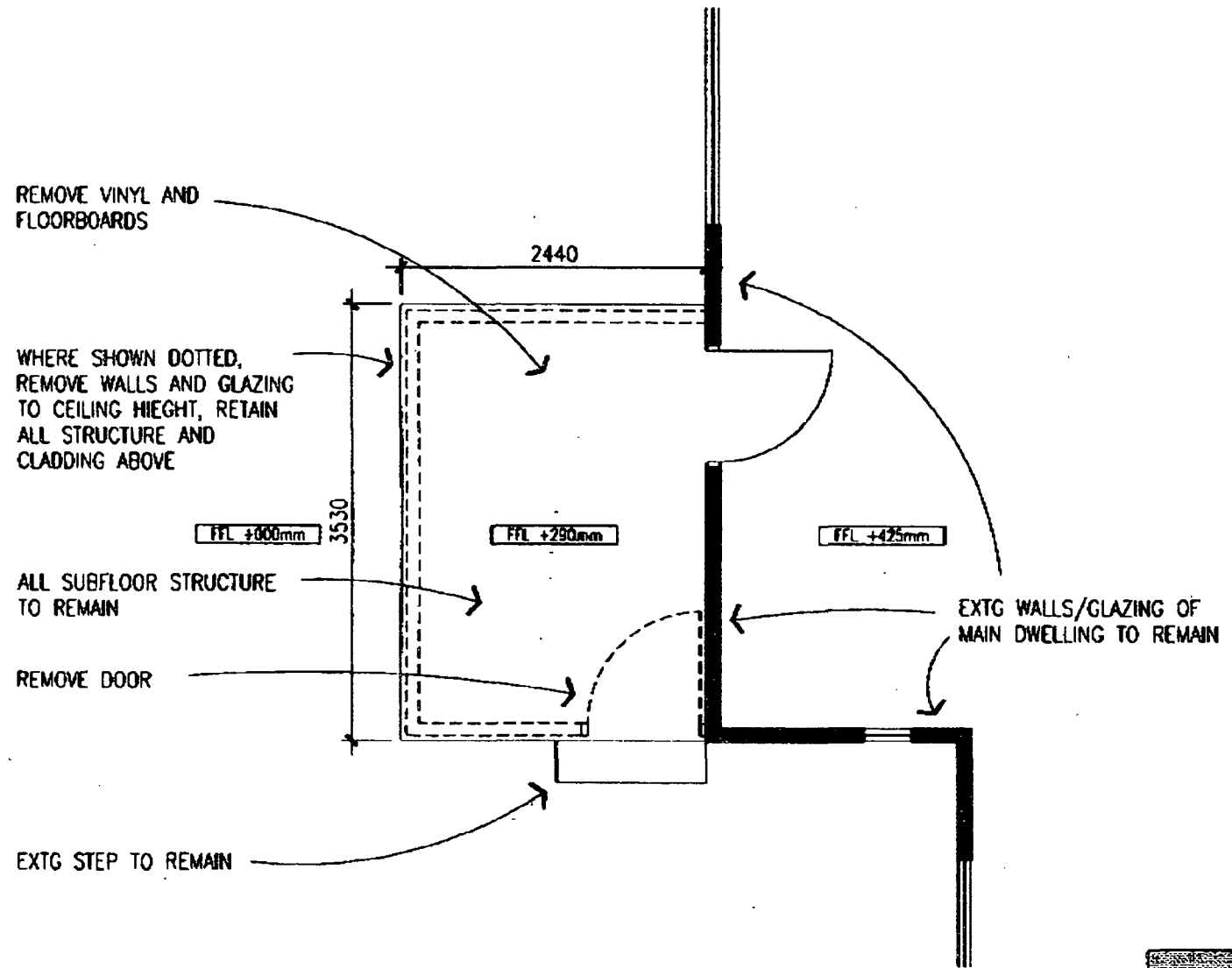
01 EXISTING PLAN (PART) SCALE 1:50
 - 28 CARLTON AVE

DECK ALTERATIONS FOR:
 TANNER
 28 CARLTON AVE
 WANGANUI

APPROVED

15873

Consent No.



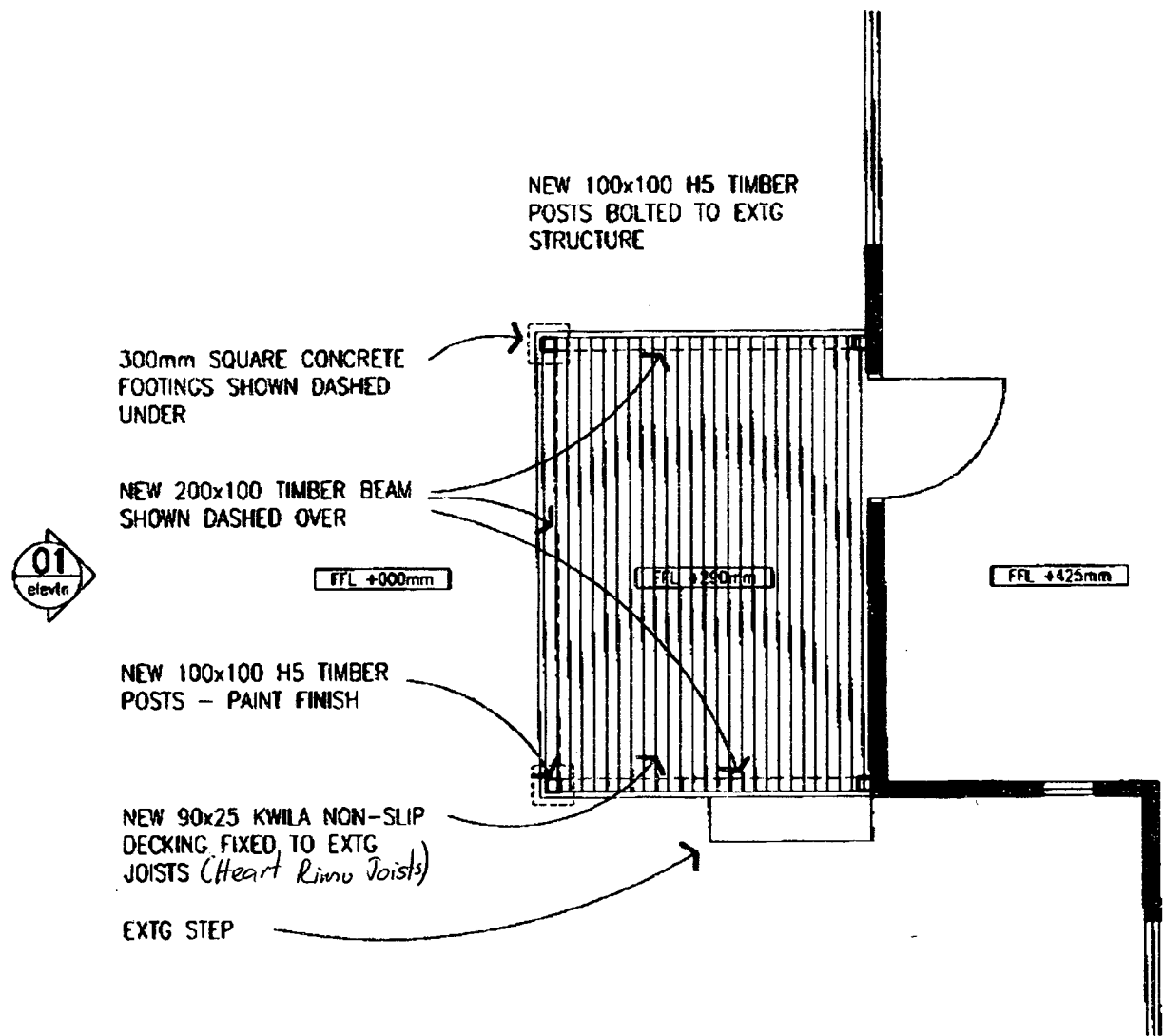
01 DEMOLITION PLAN SCALE 1:50
 - 28 CARLTON AVE

DECK ALTERATIONS FOR:
 TANNER
 28 CARLTON AVE
 WANGANUI

APPROVED

15873

Consent No.



01 PROPOSED PLAN SCALE 1:50
 - 28 CARLTON AVE

DECK ALTERATIONS FOR:
 TANNER
 28 CARLTON AVE
 WANGANUI

APPROVED

15873

Consent No.

EXTG WEATHERBOARDING TO REMAIN

EXTG BARGEBOARD, GUTTERING TO REMAIN

NEW EX200x100 TIMBER BEAM - PAINT FINISH

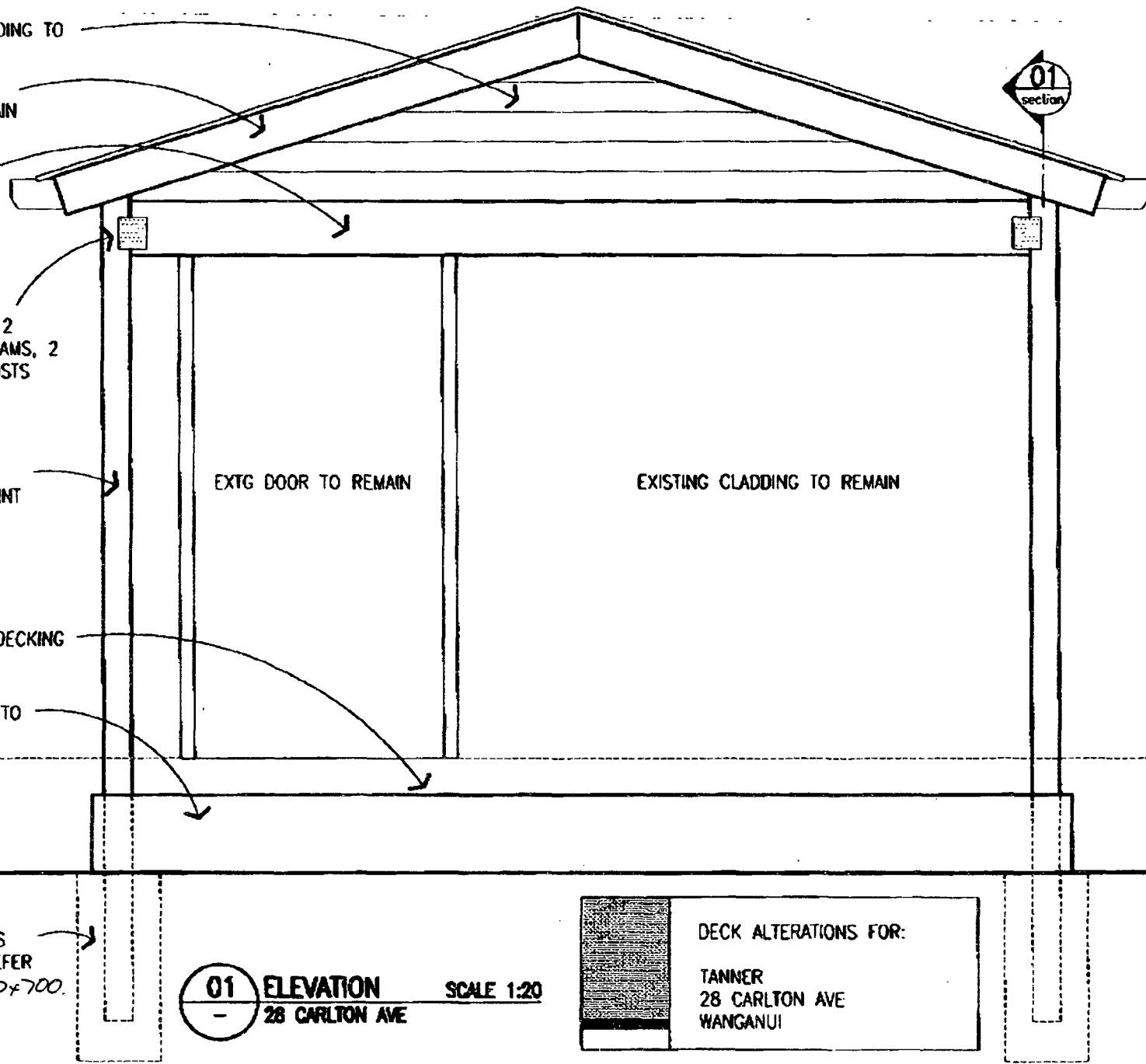
BOWMAC PLATES - 2 BOLTS THROUGH BEAMS, 2 BOLTS THROUGH POSTS

NEW EX100x100 H5 TIMBER POST - PAINT FINISH

NEW 90x25 KWILA DECKING

EXISTING CLADDING TO REMAIN

CONCRETE FOOTINGS SHOWN DASHED, REFER SECTION 300x300x700.



01 section

EXTG DOOR TO REMAIN

EXISTING CLADDING TO REMAIN

APPROVED
15873

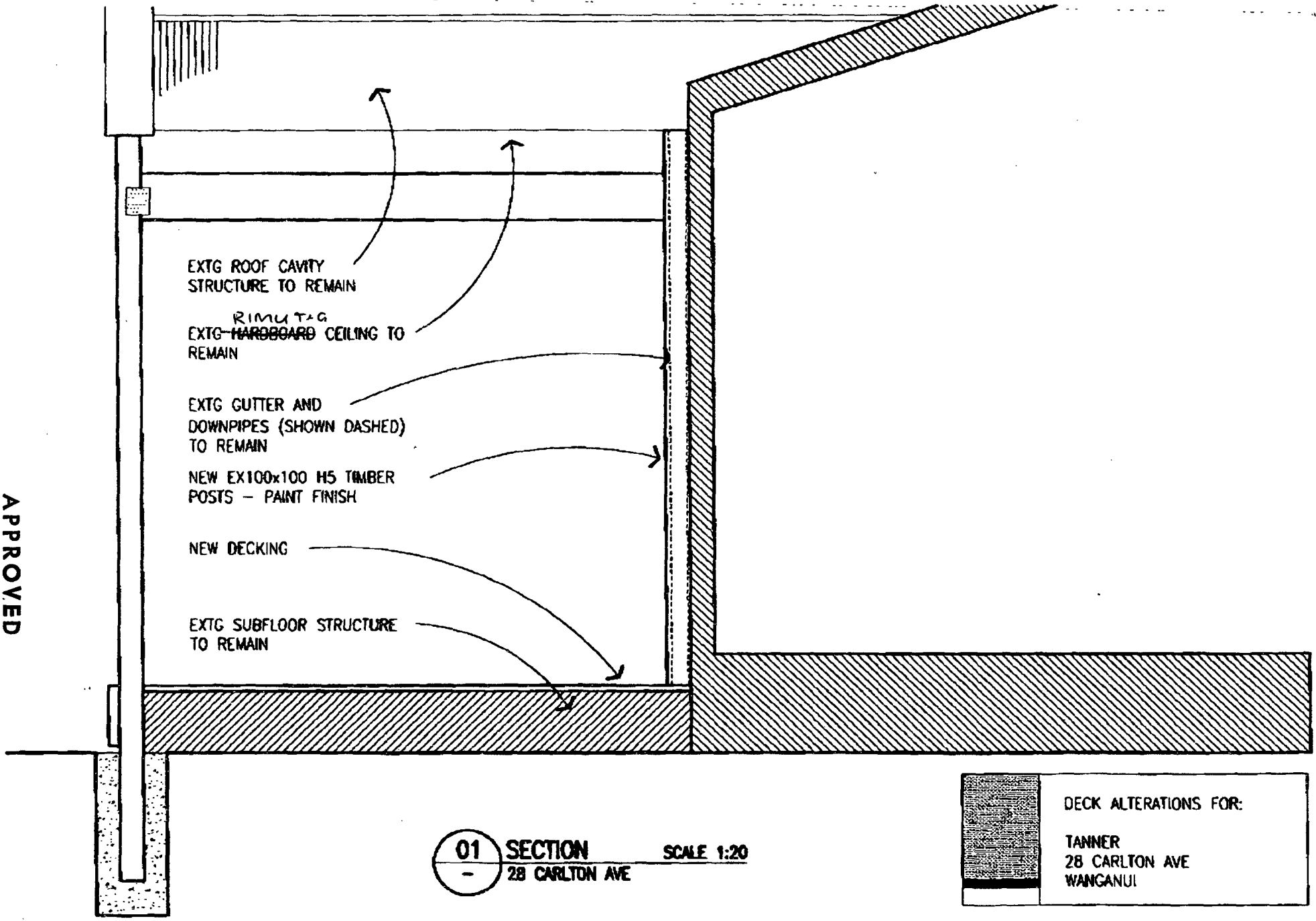
Consent No.

INTERNAL FLOOR FINISH LEVEL

GROUND LINE

01 ELEVATION SCALE 1:20
- 28 CARLTON AVE

	DECK ALTERATIONS FOR:
	TANNER
	28 CARLTON AVE WANGANUI



EXTG ROOF CAVITY
STRUCTURE TO REMAIN

RIMU T+G
EXTG HARDBOARD CEILING TO
REMAIN

EXTG GUTTER AND
DOWNPIPES (SHOWN DASHED)
TO REMAIN

NEW EX100x100 H5 TIMBER
POSTS - PAINT FINISH

NEW DECKING

EXTG SUBFLOOR STRUCTURE
TO REMAIN

01 SECTION SCALE 1:20
- 28 CARLTON AVE

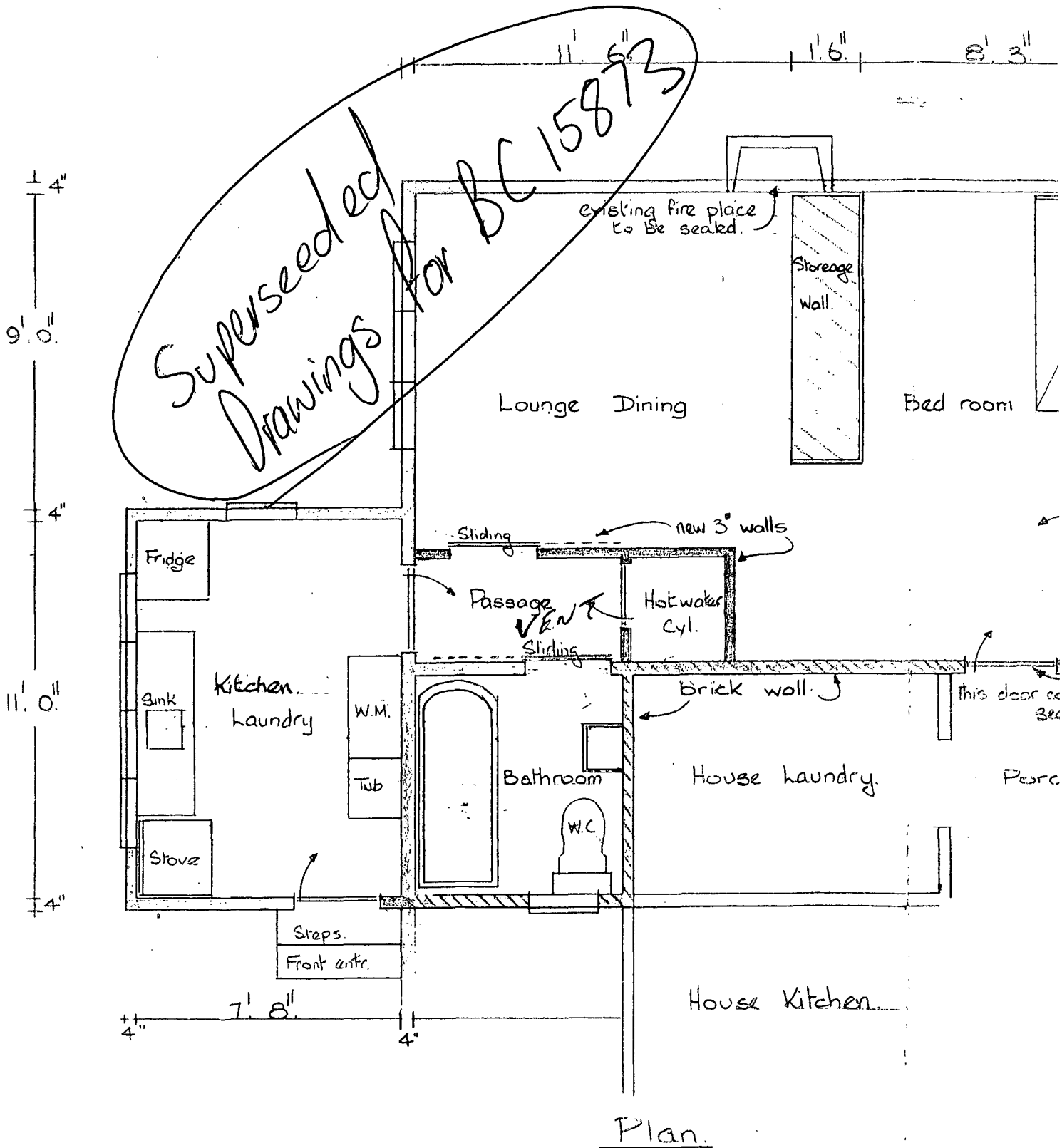
DECK ALTERATIONS FOR:
TANNER
28 CARLTON AVE
WANGANUI

APPROVED

15873

Consent No.

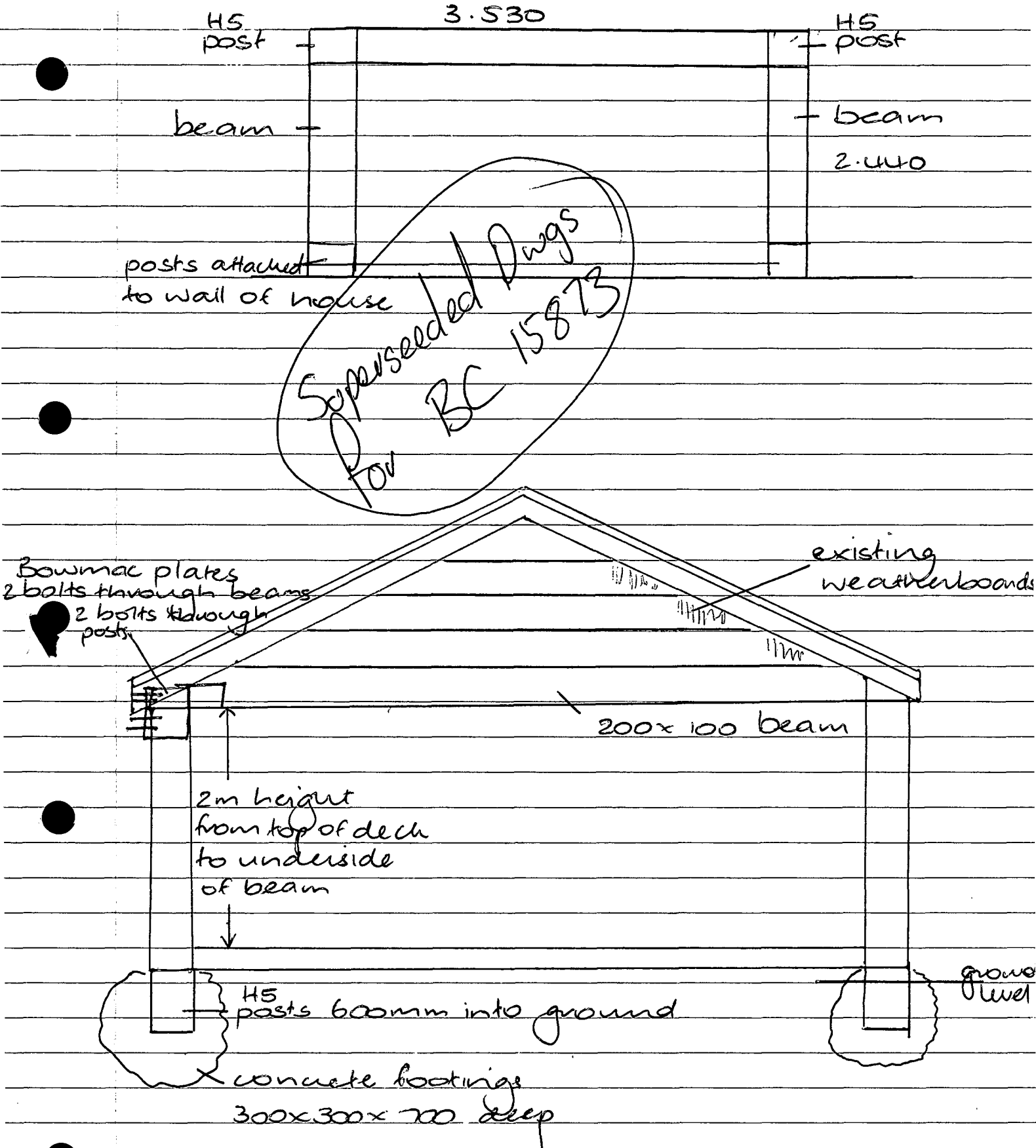
Floor plan.



■ THAT SHOWN IN RED. INDICATES NEW WALLS.

PROPOSED RENOVATIONS TO EXISTING FLAT AT 28.
FOR MR. & MRS. A. L. INKPEN.

Proposed deck 28 Canton Ave



Not drawn to scale.