

36 Carters Rd

SPECIFICATIONS

Of work to be done and materials to be used in the erection of proposed dwelling  
for

PARAMOUNT BUILDERS LTD.

P.O. Box 2585, CHRISTCHURCH

GENERAL: This contract comprises in general the erection of a residence in accordance with this specification and the plans herewith, based on State Advances requirements, and/or any other lending authority, and should comply with same in all respects. The builder will always assume that normal building foundations will apply to each building site. Extra variations to foundations will be quoted for.

INSURANCE: The contractor shall insure the works in an approved Fire Office and such insurance shall cover the full value of the premises when completed. The contractor shall be held responsible for any damage or loss by fire to the works and such things are covered by the "Policy" until the completion of the Contract.

VARIATIONS: Any variations in material or finish from that specified hereunder shall be listed before the Contract is signed, and such list shall be read as part of the signed Contract.

BY-LAW, PERMITS ETC: The contractor shall give all usual notices to the local authority; arrange for inspection and testing of all work, apply for and pay for Building Permits, and comply with the requirements of all local body by-laws; for use of water in connection with the construction of buildings, etc. Provide everything necessary for the proper and efficient execution and completion of the work.

INTERPRETATION: Materials shown but not specified must be of a kind commonly employed for the service it is intended to perform. The contractor will be responsible for the setting out of the works and all figured dimensions will take precedence over scaled dimensions.

The drawings and this specification, together with the Selection List duly completed by the owner will be considered sufficient for the description of the works and each one will be read in conjunction with the others.

EXTRAS: No additional work will be undertaken without a written agreement between employer and builder.

MATERIALS: Materials must be the best of their respective kinds and where a specified material is not procurable at the time it is required a substitute of similar quality may be used in order to avoid any delay in the progress of the works. Any such substituted materials must comply with the requirements of the local authority and/or financial authority.

DOUBTFUL BEARING: The owner will be responsible for the cost of any foundation work additional to that provided for in the drawings and specifications herein described, through encountering ground of doubtful bearing capacity.

ADJUSTMENTS AND VARIATIONS: Any variations in materials or finish from those specified hereunder must be listed and quoted for prior to the Contract being signed, and no variation will be carried out unless it is signed for and accepted by the owner. Variations must be finalised before the loan application is lodged.

The Contract Price is based on current rates of labour and materials, and any authorised alterations to these items will be adjusted accordingly on completion of the works.

MAINTENANCE: The house will be maintained for a period of 31 (thirty-one) days after the owner has taken possession. During this period any complaints should be forwarded to the builder to enable him to rectify these before the retention period has expired.



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## FOUNDATIONS

### FOUNDATION WALLS:

- (a) Continuous concrete foundation walls for Veneer houses will have a 5" outer wall, with piles at 4'6" centres, sitting on the common 12" wide x 9" deep footing, 9" below ground level, such footing to be increased at each pile position to allow a minimum of 5" footing around the pile. Attached piles must have their top surfaces raised above the foundation wall at least 1". Minimum height of foundation wall above ground will be 12" and minimum height to underside of floor joist 18" at any part. Average height should be 20" to underside of floor joists. Allow to set in galvanized wire for fixing 4 x 3 sleepers to piles.
- (b) Continuous concrete foundation walls for Weatherboard houses will have a 6" wall sitting on a 10" wide x 9" deep footing, 9" below ground level, the minimum height above ground to be 16" and the minimum height to underside of floor joists 18" at any part. Average height should be 20" to underside of floor joists. Allow to set in galvanized wire for fixing of 4 x 2 Bed Plate on top of foundation wall.
- (c) In all foundation walls, allow to form vent holes to take 12" x 6" concrete air vents (supplied by Plasterer) spaced at 3 ft. from corners and angles and not more than 6 ft. apart.
- (d) **REINFORCING:** Minimum three  $\frac{1}{2}$ " diam: rods in all foundations.

## CARPENTER - JOINER - HARDWARE

### SCHEDULE OF TIMBERS:

<u>Designation</u>	<u>Size</u>	<u>Quality</u>	
Sleeper Plate	4 x 3	B.A.H.Rimu	) <u>The Builder may</u>
Floor Joists	4 x 2	B.A.H.Rimu	) <u>alternatively use</u>
Wall Plates	4 x 2	B.A.Rimu	)
Opening Studs	4 x 3	B.A. "	)
Studs	4 x 2	B.A. "	) A. Treated Pinus
Ceiling Joists	4 x 2	B.A. "	) Radiata.
Rafters	4 x 2	B.A. "	) B. Treated White
Ridges, Valleys etc.	8 x 1	B.A. "	) Pine
Purlins	3 x 2	B.A. "	)
Sarking	4", 6" or 8" x $\frac{1}{2}$ "	B.A. "	)



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TREATED TIMBERS:

Treated timbers will comply in all respects with the requirements of the local body by-laws and State Advances Corporation, and/or other financial institution, and the contractor may use any such treated timber as approved by these authorities. Any objection by the client must be noted and an agreement made before the Contract is signed.

DAMP COURSE: Fix 3 ply damp course between concrete and all woodwork.

FRAMING: Frame floors with 4 x 3 sleepers set on edge at not more than 4'6" centres, and secured to foundations with Galvanized wire.

Floor joists to be set at 18" centres.

Frame walls with plates scarfed at intersections, studs at 18" centres checked into plates, with diagonal bracing, and three rows of dwangs.

Frame ceilings with joists at 18" centres and 8 x 1 runners.

Frame tile roofs with rafters at 18" centres and 2 x 1 tile battens, 8 x 1 hip and valleys up to 10 ft. and 8 x 2 over 10 ft.

Frame corrugated iron roofs with rafters at 3'0" centres, purlins at 2'6" centres and cover with  $\frac{1}{2}$ " sarking. Rafters shall project past top plate to allow for 24" soffit in iron roofs, 16" for tile roofs.

Fascia boards shall be dressed 6 x 1 D.A.R.P. (grooved to take Durock Flat Sheets) securely nailed to ends of rafters with 3 x  $1\frac{1}{2}$ " cut between fascia and studs to form eave. Carry row of dwangs and soffits at brick or Summerhill Stone line. Line under with polite 24" or 16" wide respectively and finish with suitable mould in angle and jointing battens evenly spaced and primed before fixing.

WEATHERBOARDS: Cover all exterior walls with 6 x  $\frac{7}{8}$ " bevel back D.A.H. Rimu or other approved treated timber with butt joints staggered.

FLOORING: Lay 4" x  $\frac{7}{8}$ " T & G, D.A.H. Rimu or other approved treated timber, close cramped, double nailed and machine sanded at completion. Where directed, provide a 24" x 18" access panel of matching flooring to the sub-floor.

WINDOWS: Provide and fix windows as shown on plan with D.A.H. Rimu frames and sashes out of 2" Cedar. 3" butts to be used for hinged sashes.

DOORS: Casement front doors 6'6" x 2'10" x  $1\frac{3}{4}$ " and rear doors 6'6" x 2'8" x  $1\frac{3}{4}$ " out of 2" cedar, glazed in obscure glass and hung with one and a half pairs of 4" butts, in 2" solid rebated D.A.H. Rimu frame. Each internal door shall be stock flush hollow core, hung with one and a half pairs of  $3\frac{1}{2}$ " B.S. Butts in  $1\frac{1}{2}$ " jambs. Main internal doors shall be 6'6" x 2'8" flush panel. Toilet doors to be 6'6" x 2'2" flush panel. Bathroom doors 6'6" x 2'6" flush panel.

KITCHEN FITTINGS: To be constructed where shown on plan and as per details. All Carcasses and shelving to be ex 1" material; all cupboard doors shall be either 1" hollow core with  $\frac{1}{8}$ " Hardboard sheathing each side, or, alternatively,  $\frac{7}{8}$ " Paint panel. Bottom Dresser unit to be 3 ft. high with timber top ex  $1\frac{1}{4}$ " D.A.Rimu.

WARDROBES: Will be constructed as shown on plan - (a) as a wardrobe front, or (b) with 6'6" x 2'2" door and jambs. In each case a shelf and hanging rail will be provided.

INTERIOR FINISHINGS: Fix 3" x  $\frac{7}{8}$ " architraves and skirting to all rooms. Fix  $\frac{7}{8}$ " full length sill-boards to all windows.

MANHOLES: Form manholes in Laundry ceiling and Wardrobe floor.



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HARDWARE:

- |                                     |   |
|-------------------------------------|---|
| 1. Front entrance door              | - Night latch with C.P. rose & C.P. handle    |
| 2. Back entrance door               | - Mortice lock set                            |
| 3. Laundry door                     | - Mortice latch set                           |
| 4. Toilet door                      | - Mortice latch set                           |
| 5. Interior doors                   | - Mortice latch set                           |
| 6. Cupboard & Shaving Cabinet doors | - 3" C.P. "Dee" handles & rubber roller catch |
| 7. Drawers                          | - C.P. Drawer pull                            |
| 8. Wardrobe doors                   | - 4" C.P. "Dee" handle & roller bolt          |
| 9. Cylinder cupboard doors          | - Handle and gripper catch                    |
| 10. Side hung sashes                | - C.P. Casement Stays                         |
| 11. Top hung sashes                 | - C.P. Fan Stays                              |
| 12. Whitco sashes                   | - C.P. Fastener & handle.                     |

ASHPAN: A chrome plated ashpan will be supplied by the Contractor.

CHIMNEYS: May be built in second grade brick or precast concrete.

FIRE SURROUNDS: All fire surrounds to be supplied by the builder.

P.C. SUMS ALLOWED:

Fire Surround including Hearth, L Grate and any wood mantel or trim	£25.10. 0
Electric Range	£48. 2. 6
Water pump and electric motors (where required)	£30. 0. 0
Well	£30. 0. 0
Sink Bench Top, "STARLINE", including faucets	£26. 7. 6
Sink Bench Top, "POPULAR", not including faucets or taps	£18. 7. 6
Wallpaper	per roll 11. 0

ROOFER

GENERAL: Fix roofs as shown on plan. All roofs shall be fixed by approved specialist roofing contractors. Procure Tile Roofing contractors' two year guarantee.

Pitch of roof shall be indicated, with minimum of 30° for Tiles and 20° for corrugated iron roofs.

TILE ROOFS: Fix tile roofs with main slope set out in complete courses, with not less than 2½" end lap, and in straight lines. All concrete tile shall be in accordance with N.Z.S.S. No.795 in colours selected by owner.

Fix 2 x 1 B.A.H.Rimu tile battens with 2½" nails. Adjacent tiles shall interlock with irregular cavities between them. All verge tiles (or alternative verge tiles with bonded tiles) shall be full tiles. No cut tiles shall be less than half tile and all tiles at valleys shall be cut to alignment and bedded in compo. Wire each alternate tile in every course with hard drawn 18 S.W.G. wire. Fix scribes at verges and secure all end ridge tiles and all verge tiles with galvanised spring head nails and felt washers dipped in bitumen. All hip and ridge tiles shall be bedded with two to one cement and lime mortar, and pointed to match tile colour.



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GALVANIZED IRON ROOFS: Fix 26 gauge G.C. iron roofing complete with 26 gauge ridges and hips, 24 gauge valleys. Iron to have 6" end laps and one and a half corrugations side laps. Paint all laps before securing roof with lead headed nails. Galvanized Iron Roofs will not be painted.

#### BRICKLAYER

BRICK VENEER JOBS: To be built as indicated on the plans with bonds not more than  $\frac{3}{8}$ " thick, and well filled with mortar. All walls to have wire ties built in and secured to studs with staples. Clean down all exposed brickwork during construction and at completion wash down with weak solution of acid. Rake out and point all joints. Form sills with bullnosed bricks. Where brick chimneys are built in weatherboard houses, the portion above the roof shall be of first grade bricks, pointed. Build in fire backs, L-grates, wet-backs, Space Heaters etc., as required according to plan.

#### BLOCKLAYER

BLOCKWORK: Concrete Block to be 4" veneer set in mortar with wire ties as for brickwork and sills to be formed with concrete sill blocks. All Summerhill Stone veneer work to be treated with a waterproof compound approved by State Advances Corporation and sills to be formed with Summerhill Stone paving tiles. Stalks to chimneys of Summerhill Stone veneers above roof line to be left grey cement rendered. **All jointing to blockwork will be struck as the work proceeds.**

#### PLUMBER

GENERAL: All work shall be carried out in accordance with the drawings and specifications, local authority and public health regulations. All materials shall be of the best of their respective kinds. Approved N.Z. manufactured materials are to be used wherever possible. Water pipes and tubes shall be set out in straight runs of even gradients, avoiding all places where airlocks are likely to occur. All materials relevant to the plumbing trade shall be deemed to be supplied and fixed by the sub-contractor, unless otherwise stated.

FLASHINGS: Provide and fix all flashings where required, accurately fitted with all joints well lapped. Provide and fix 4lb lead caps at each apex of galvanized iron roofs. Flash all vents, chimneys and other upstands through roof with 4lb lead. Line all valleys with 24 gauge galvanized iron. Valleys shall not be less than 15" wide with turned edges 6" end laps finished well down into spouting.

SPOUTING AND DOWNPIPES: Provide and fix 5" x 24 gauge quarter-round galvanized iron spouting to drain to outlets, with 4" lapped soldered joints, and all necessary stop ends, mitred returns and outlet. Support spouting on 1" x 18 galvanized double-clip brackets at not less than 3 ft. centres fixed with 1" x



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SPOUTING AND DOWNPIPES (Continued).

8 gauge galvanized screws. Provide and fix downpipes where required. Downpipes shall be 2 $\frac{1}{2}$ " diameter 24 gauge galvanized iron seamed and weltd with slipped end joints and angles, strapped to walls with 24 gauge galvanized iron strap, fixed with galvanized screws.

WASTES: Provide and fix all wastes where required. All wastes shall be either screwed galvanized iron or lead pipes 1 $\frac{1}{2}$ " diameter with 6 lb lead traps and cleaning eyes. All basins, bath, sink and tubs to be complete with cap and liners.

COLD WATER SUPPLY: Allow to lay cold water supply from supply point in  $\frac{1}{2}$ " diam. galvanized pipe, buried not less than 18" with screwed joints. (Alkathene piping may be used in compliance with the local authority requirements.) Fix  $\frac{1}{2}$ " galvanized service pipes inside house to bath, basin, sink, supply tank, wash tubs, toilet and to two exterior hose taps at front and rear of house. Where future sewer connections will be available allow to fix and plug off  $\frac{1}{2}$ " water connection to toilet cistern.

In areas not served by local H.P. system, a well will be driven and a pump supplied by the contractors, these to be connected to a 100 gall. galvanized iron supply tank under roof. Cold supply to all service will need to be in  $\frac{3}{4}$ " diam. galvanized pipe. See P.C. Sum for Well, Electric Motor and Pump. These items to be regarded as an extra above H.P. supply.

HOT WATER SUPPLY: Provide and fix a 30 gallon lagged electric hot water cylinder with necessary expansion pipe. This cylinder will be connected to (a) a "Victor" or similar type pressure reducing valve, or (b) a 15 gall. concrete supply tank in roof with galvanized Iron Tray, cover, overflow and ball stopcock. A  $\frac{1}{2}$ " diam. sludge pipe is required from cylinder through external wall. Hot water service will be carried to Bath in  $\frac{3}{4}$ " G.I. pipe and to basin, sink, one tub and washing machine with  $\frac{1}{2}$ " G.I. pipe.

OPEN FIRE BOILER: Allow to supply and connect same only when specified.

INCINERATOR: Allow to connect only, if and when specified. When required, builder will supply Incinerator.

TAPS: Supply and fix all taps which are to be C.P. brass streamline pattern marked "HOT" and "COLD" with  $\frac{3}{4}$ " extended bibs to Bath,  $\frac{1}{2}$ " pillar cocks to basin,  $\frac{1}{2}$ " N P bibcocks to tub and washing machine position,  $\frac{1}{2}$ " stopcock to toilet and  $\frac{1}{2}$ " brass hose taps.

Faucets to "Starline" pattern sink bench are supplied by builder. 3" extended C.P. Sink taps for "Popular" pattern sink bench are to be supplied by the Plumber.

SANITARY FITTINGS: Supply and fix a 5'6" cast iron white porcelain enamelled standard, square type bath. Supply and fix 22" x 16" white porcelain basin complete with cast iron cantilever brackets. Allow to fix only, (a) Single Stainless Steel Tub with cupboard under, both supplied by builder. (b) Sink Bench and faucets both supplied by builder. If and when concrete tubs are specified they are to be supplied and fixed by plumber, complete with concrete stands. Supply and fit all plugs, C.P. chains and gratings to all fittings. Supply and fix white glazed earthen Toilet pan and flushing cistern if in a sewer or Septic Tank area. Toilet seat to be white standard "Dolphin" plastic. Supply and install a C.P. shower rose over bath complete with C.P. shower-cocks marked "HOT" and "COLD". (If a shower cabinet is detailed on the drawings it will be constructed suitable for a 36" x 30" x 4" copper or aluminium base and lined with hardboard throughout. Unless specifically detailed, a shower cabinet will be constructed without a door.)



--sheet seven -

ELECTRICIAN

GENERAL: All installations shall be made in accordance with the wiring regulations 1935, and to the satisfaction of the Local Authorities. All switches and plugs shall be flush type.

SWITCHBOARD: Fix switchboard where directed inside the house all complete with main fuses, etc.

METERBOARD: Meterboard to be encased in a galvanized meter box where directed by the Local Authority.

LIGHTS: Provide light points complete with lamps and shades as shown on plans and provide 100 watt lamp in living room and 60 watt lamps to all other points. All lights to have 6" pendants.

POWER POINTS: Provide power points, as shown on plan, 4 ft. above floor in kitchen, 12" above floor elsewhere. Provide earth and aerial plate as shown.

HOT WATER: Provide and connect element and thermostat to hot water cylinder.

ELECTRIC RANGE: Allow to connect electric range supplied by Builder.

WATER PUMP AND ELECTRIC MOTOR: Allow to connect power supply to water pump and electric motor where required in areas not served by local H.P. system. Pump and motor to be supplied by Builder. A float switch is not installed unless specified.

LININGS

Line walls and ceilings throughout with Gibraltar Board  $\frac{3}{8}$ " thick. All Gibraltar Board to be stopped and left ready to receive paper.

SOLID PLASTERER

Plaster precast chimneys and blockwork in the following manner:

- (a) Slush coat to be applied and left to dry before  $\frac{1}{2}$ " 3:1 cement compo coat is applied.
- (b) The pattern is then applied, followed by 2 coats of "Snowcem" or other approved colouring. Colour to be selected by owner. (Colouring of chimney stalk does not apply to Summerhill Stone veneers, refer Blocklayer.)

All steps, front porches, foundations and incinerator hearths to be cement rendered. Vents to be supplied and fixed.



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DRAINLAYER

GENERAL: Provide all materials, labour and plant necessary to complete the work in accordance with the drawings and specifications, Health Department or any other, or Local Body regulations appertaining thereto. Give all notices, pay all fees and arrange for the inspection of work and materials.

STORMWATER DRAINAGE: Provide, excavate and lay in accordance with the local authority's regulations, instructions and by-laws a complete stormwater disposal drainage system.

SANITARY DRAINAGE: Provide, excavate and lay in accordance with the local authority's regulations, instructions and by-laws a complete sanitary drainage system to connect to the local authority's disposal main. In non-sewered areas and where permissible excavate and provide either:-

- (a) A single Septic Tank system in accordance with local Authorities requirements. (Including a maximum of 100 ft. of effluent.)
- (b) A double Septic Tank system in accordance with local Authorities requirements. (Including a maximum of 100 ft. of effluent to each tank.)
- (c) A sullage tank (or grease trap) in accordance with local Authorities requirements. (Including a maximum of 100 ft. of effluent.)
- (d) An outside Toilet complete with galvanized sanitary pan, all supplied by Builder.
- (e) Where permitted by local Authorities, a chemical unit supplied by Builder could be installed inside the dwelling.

PAINTER & PAPERHANGER

GENERAL: All material shall be the best of its kind, and all work shall be performed by tradesmen. Protect all work against damage, and adjacent surfaces.

Suitable cover must be given to Baths, Basins, Sink Bench Tops and plastic bench tops, electric ranges, etc. during the progress of the work.

All floors must be protected against stains resulting from paint and oil tins etc. which are placed directly on the floor boards.

EXTERIOR WORK: Builder will prime all exterior woodwork with red lead primer. Painter will then stop all nail holes and surface cracks etc. with first quality putty and supply one undercoat and one finishing coat of Linseed oil house paint. All exterior woodwork, including vertical boarding, sashes and doors will be painted, according to the abovementioned specification. Paint flashings and vent pipes with one coat of ready mixed oxide paint to soffit height in the case of Galvanized Iron roofs, and also above the soffit in the case of tiled roofs.

INTERIOR WORK: Properly prepare all surfaces to be papered. Paste shall be of approved manufacture used fresh. All size and paste shall have incorporated  $3\frac{1}{4}$  oz. of "Santabrite" per gallon. Kitchen, Toilet, Bathroom, Laundry and back porch to have lining paper and three coats including gloss enamel finish. All other rooms to have papers selected by the owner to the value of 11/- per roll.

MACHINE TRIM: Both edges of paper, hang plumb and true with edges neatly butted and all patterns registering, all in accordance with the best trade



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MACHINE TRIM (Continued)

practice. At completion leave all surfaces flush, uniform in colour and texture and free from all wrinkles, blisters, lump tears, stains or other imperfections.

INTERIOR WOODWORK: All woodwork including doors to Bedrooms, Lounge, Sunroom, Hall and passage to be varnished.

GLAZING

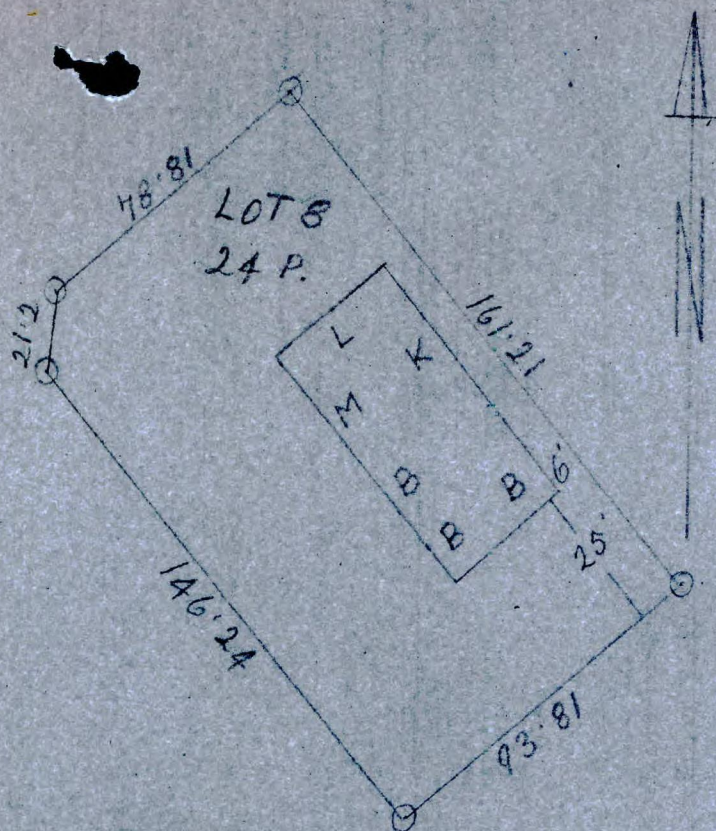
GLAZE SASHES AS FOLLOWS:

Up to $3\frac{1}{2}$ square feet	-	18 oz. glazing quality
$3\frac{1}{2}$ to 12 " "	-	24 oz. " "
12 square feet to 20	-	32 oz. " "
Bathroom & Toilet louvre	-	Obscure.

Glaze front and back doors with obscure glass. Other exterior doors will be glazed with clear glass unless requested otherwise.

Fix 18" x 10" sheet mirror to shaving cabinet.

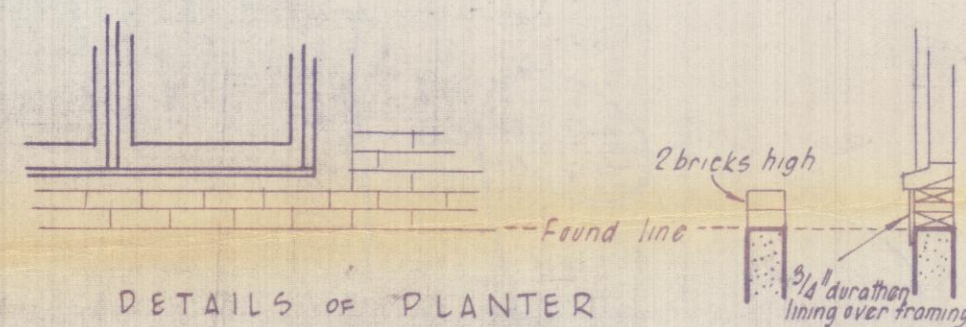
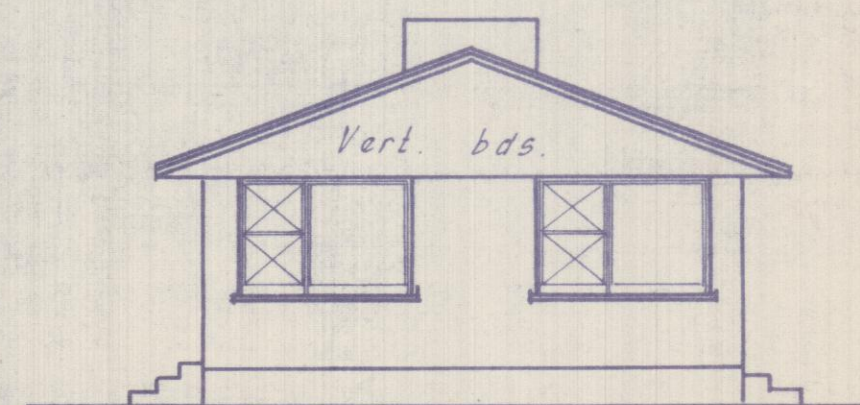








PARAMOUNT BUILDERS LTD  
 LOT 8 CARTERS RD.  
 CHRISTCHURCH CITY COUNCIL

D.P. 22733 + PT. RS. 4634  
 PT. CT3A/1341 + CT390/50  
 SCALE 50 MRS. 1 INCH.





1033 O.P.		DETAILS OF PLANTER		1/4" draught lining over framing		
PARAMOUNT BUILDERS LTD			LEGEND			
MR. BOATWOOD		PLAN NO. 128 C	<input checked="" type="checkbox"/>	WHITE HUNG		LIGHT POINT
LOT 8	CARTERS SUBDN		<input type="checkbox"/>	TOP "		POWER POINT
.. S/STONE VENEER IRON.			<input type="checkbox"/>	SIDE "		EARTH/AERIAL
		AREA 1090 S.F.		ADJ LOUVRE		

