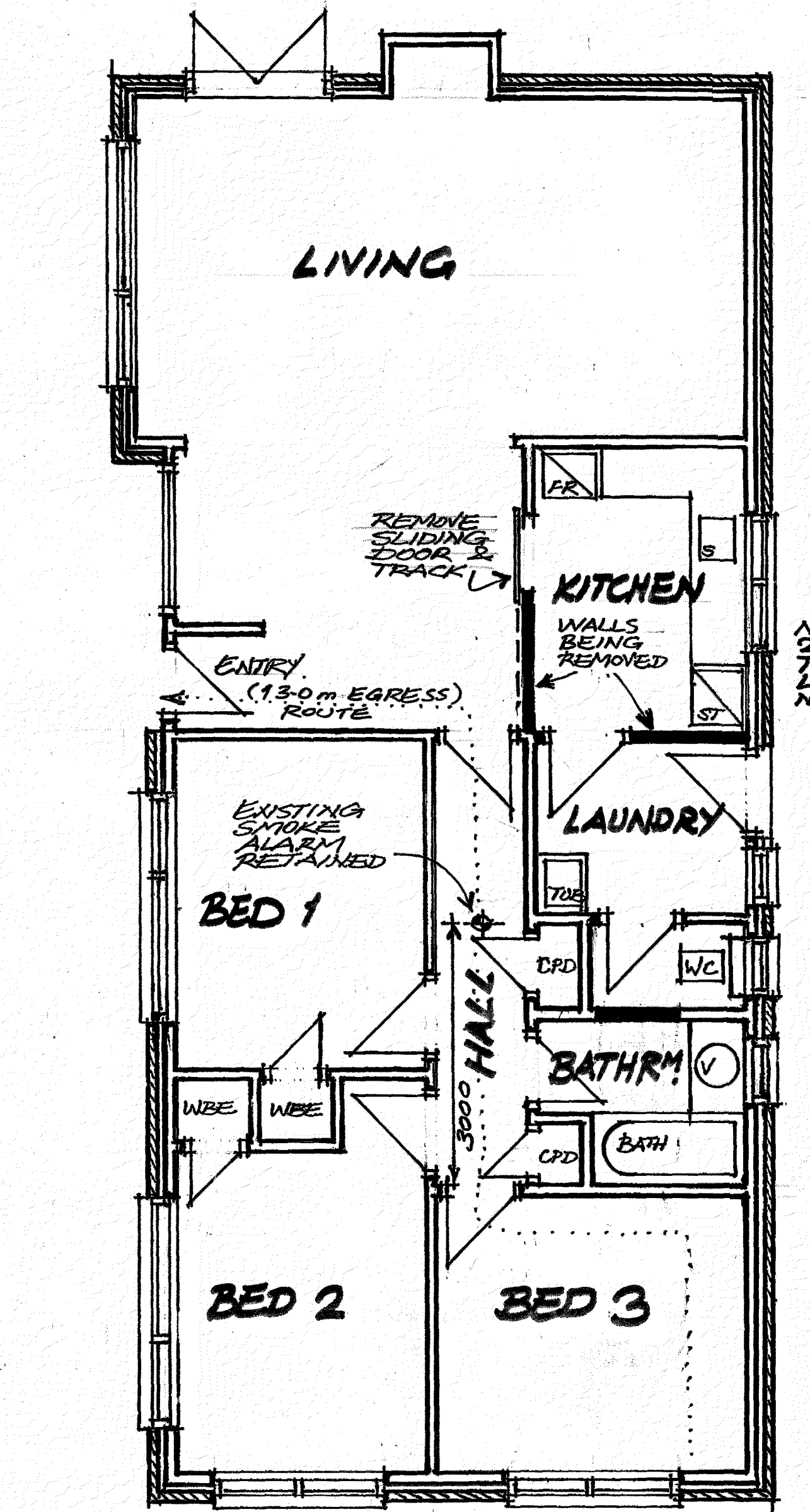
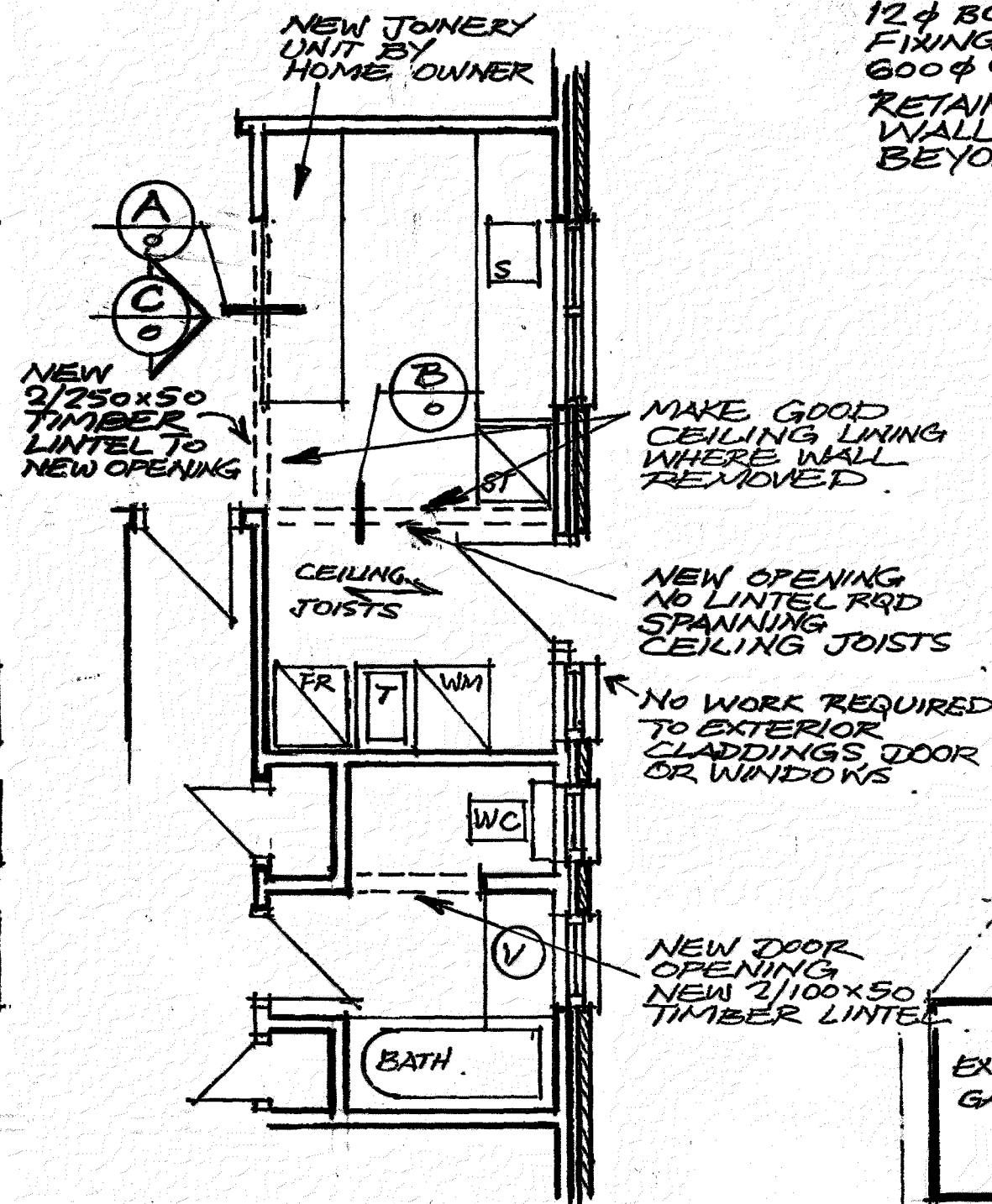


BCN/2017/2158
Exemption from building consent
03/04/2017

Notwithstanding any drawings or specifications accepted herein, all building work must comply with the New Zealand Building Code.

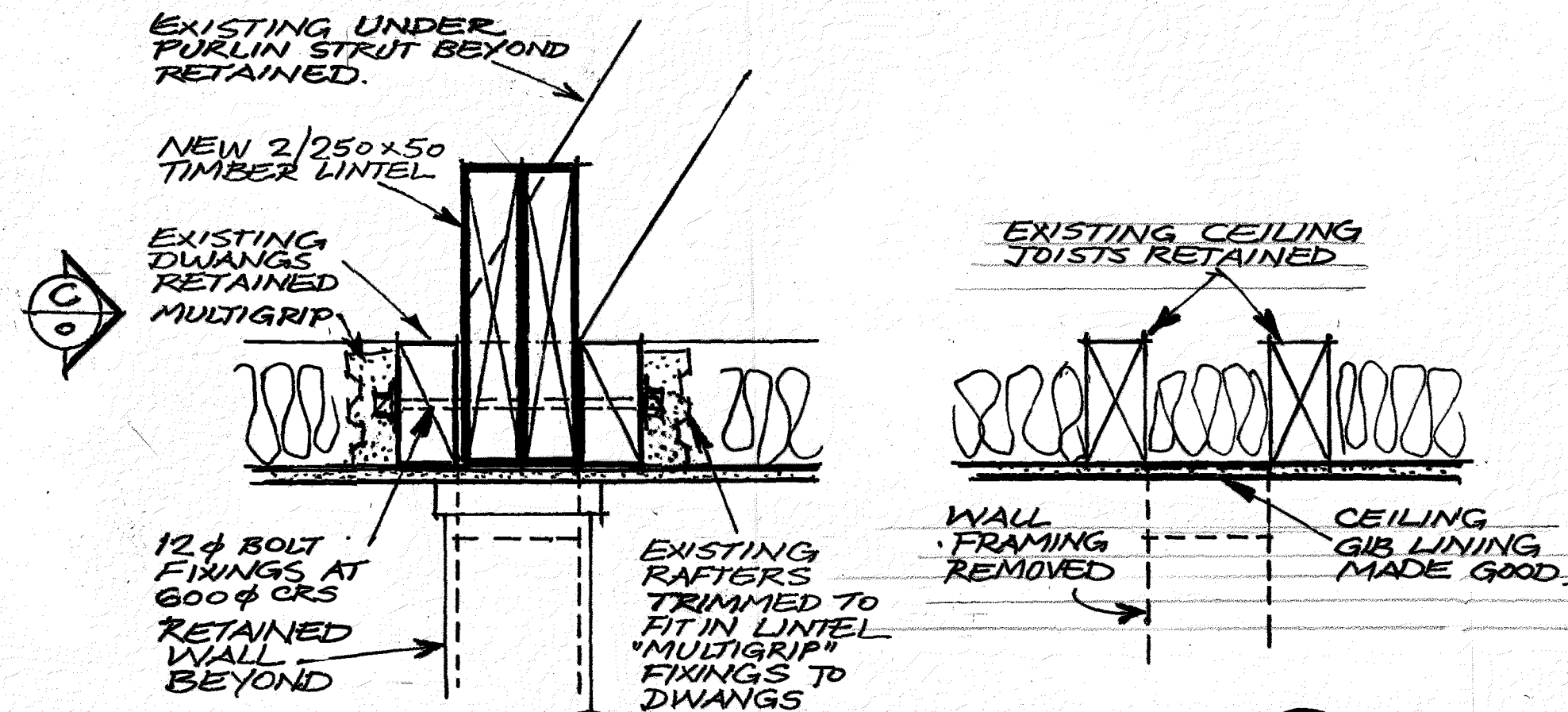


EXISTING FLOOR PLAN (1:50)



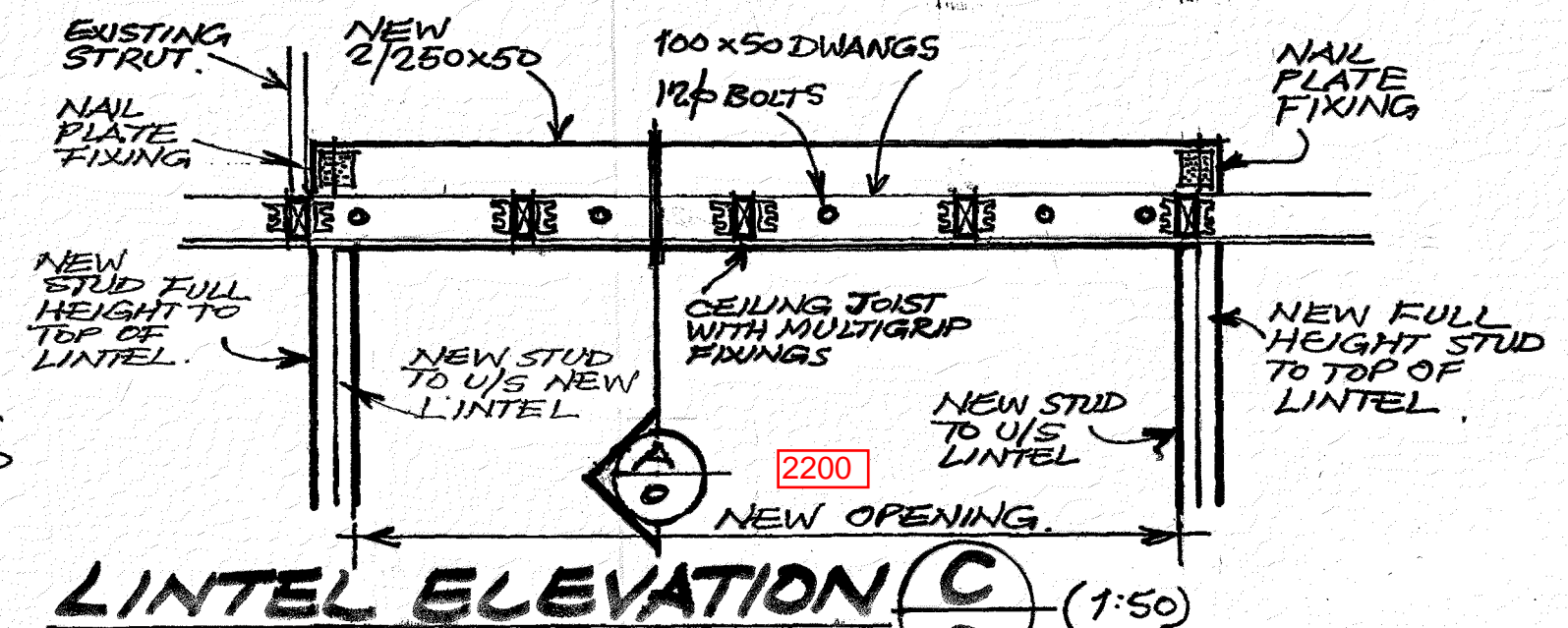
PROPOSED ALTERATIONS (1:50)

SITE PLAN (1:200)

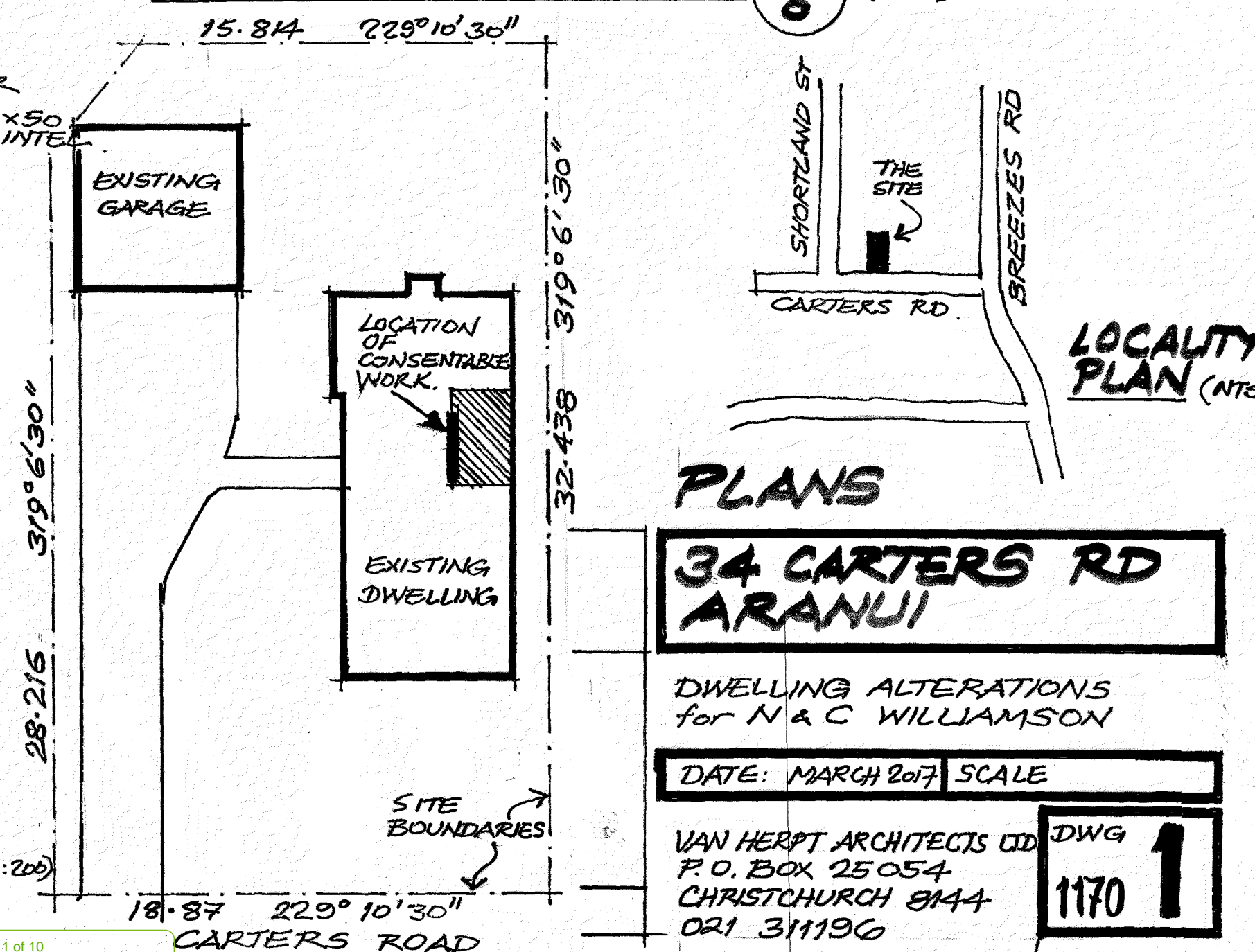


DETAIL A (1:5)

DETAIL B (1:5)



LINTEL ELEVATION C (1:50)



LOCALITY PLAN (NTS)

PLANS

34 CARTERS RD
ARANUI

DWELLING ALTERATIONS
for N & C WILLIAMSON

DATE: MARCH 2017 SCALE

VAN HERPT ARCHITECTS LTD
P.O. BOX 25054
CHRISTCHURCH 8144
021 311196

DWG
1170
1

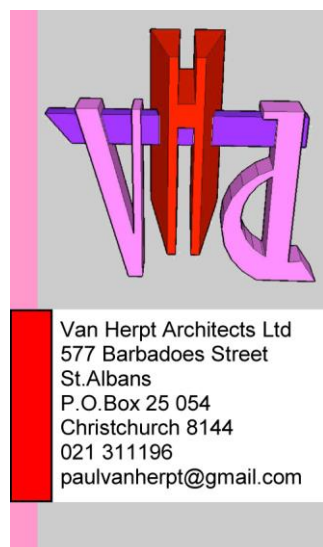
SPECIFICATION

of work to be done and materials to be used in carrying out the works
shown on the accompanying drawings

**FOR THE
INTERNAL ALTERATIONS**

**34 CARTERS ROAD,
ARANUI,
CHRISTCHURCH**

**FOR
N & C WILLIAMSON**



12.0 CARPENTRY

12.1 Extent of Work

The scope of work is generally the provision of and fixing of all timber framing to the existing walls to fit in new lintel and removal of part of the existing wall, all in accordance with the drawings.

12.2 Workmanship and Materials

- a) Use workmanship methods and materials of a standard conforming with NZS 3604 and the NZ Building Code Handbook
- b) Fix with all necessary nails, bolts, straps, screws, ties, etc as required. All timbers shall be sawn square, truly fitted, and well spiked together. Trimmers shall be fitted to all openings, and lintel consist to two timbers fitted together.
- c) All finishing work shall be free from all blemishes or flaws of any kind and left ready for painting. Leave all windows and doors neatly fitted and hung, closing perfectly and fully furnished. Cut for, attend upon and make good after all trades, provide and fit all necessary fixing blocks for other trades.

12.3 Safety

- a) The Contractor shall comply in all respects with the “ Health and Safety in Employment Act 1992” and subsequent amendments.
- b) Operators of power driven tools shall hold certificates of competency granted by the authorising Safety Inspector from the Department of Labour.

12.4 Timber Quality

- a) Timber framing is to be Pinus Radiata, MSG 8, mechanically stress graded to AS/NZS 1748 and to a minimum H1.2 treatment.

Should any of the framing or finishing timber shrink, warp, wind or twist during the construction or maintenance period, such work shall be removed and replaced.

12.5 Timber Seasoning

- a) Delivery of timber failing these requirements should not be accepted on the site;
Internal framing timber 15% average 18% max at 17.5 degC
- For items not specifically noted, table 4 of NZS 3602 shall apply.
- b) Protect all timber from absorbing moisture from the weather or other sources after delivery to site. Moisture content is to be verified on site as required by test with gauge spikes being driven well into depth of timber sections selected for testing.

12.6 Fixings

- a) Fix, frame, truss, brace, nail, screw, bolt and fit all timber together in workmanlike manner in accordance with best trade practice.

- b) Accurately setout, neatly execute, and finish all work. Make good, or replace to the architect's approval, all work developing defects.
- c) Use galvanised mild steel nails, brads, screws, bolts and metalwork where there is any liability from corrosion. Punch galvanised nails. Fix all framing with flat head nails.
- d) Penetrate second or holding framing timber with nails to half their length. Increase nail lengths by 25% where second timber is pinus radiata.
- e) Fix interior finishing timbers, linings, trim, etc, with brads of length three times the thickness of attached material with minimum length 19mm.
- g) Neatly punch all exposed nails below surfaces.

12.7 Protection of Work

Protect all finished or partially finished work from weather or any other damage. Protect finishing timbers from discolouration and surface injury, making good any affected areas to the satisfaction of the architect.

12.10 Wall Framing

- a) Ensure new opening is trimmed with a double stud, one full height including depth of lintel timber, one to underside of lintel timber
- b) Cut existing ceiling joists, currently staggered and bearing on the top plate, to clear the top plate. Prior to cutting fit Lumberlock Multigrip proprietary fixings between joists and nogs and temporarily prop.
- c) Fit in timber lintel over existing top plate and fixing to trimming stud with metal straps, refer to figure 8.12 from NZS 3604. Ensure straps also fitted to floor joists as per the same figure
- d) Fix 12 diameter bolts through the nogs and lintel timbers at maximum 600 mm centres. Use 50 x 50 square galvanised washers under all bolts.
- e) Remove timber all between trimmer studs and lintel.

12.11 Trims

Timber trims to match existing, generally in pinus radiata, clear finished, including skirtings, architraves, and door reveals. Fix with brads, all punched and filled. All joints to be mitred or scribed at corners, joints glued and close butted.

12.12 Linings

Make good all linings using 13 standard gib board sheet inserts as needed and stop to level 4 finish ready for a paint finish.

12.15 Completion

On completion, leave all work in proper condition. All finishing work fit to receive a painted or clear finish coating. Clear away rubbish etc and leave the works area clean

Date 27 March, 2017
Project 34 CARTERS RD, ARANUI

ARCHITECT'S WORKS NOTICE

Purpose

All work must be undertaken in accordance with the Building Act 2004, the New Zealand Building Code and all plans and specifications issued by the Architect. To ensure this can be shown to Council authorities the following Architect's inspections must be undertaken.

The Schedule of Inspections is to be maintained on site at all times.

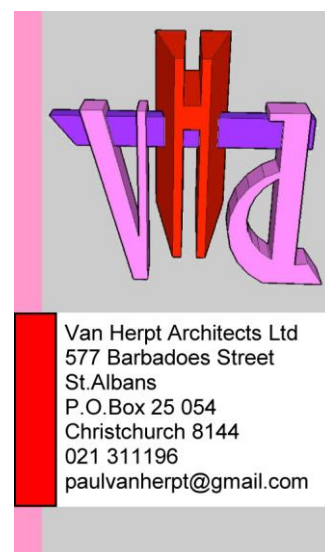
Architects require a minimum of 48 hours' notice to carry out any inspections. The following inspections are required:

Architect's Inspections Schedule

1. Removal of linings in effected area of work
2. Installation of new framing members

Contact:

Consultant: Van Herpt Architects Ltd
Phone: 021 311196
Email: paulvanherpt@gmail.com



Date 5 August, 2015

Project 1/1 DUMFRIES DRIVE, RICCARTON

RECORD OF INSPECTIONS

Purpose

This is a working document to be kept on site and is the responsibility of the Contractor.

The Contractor is to arrange for the consultants inspections, as detailed below, as and when required.

Please allow a minimum of **48 hours** for the completion of any inspection

Architect's Inspections

Please contact the Consultant below regarding:

Consultant: Van Herpt Architects Ltd

Phone: 021 311196

Email: paulvanherpt@gmail.com

Inspection Description	Signed	Date
1. Window Flashings		
2. Prelinings		
3 Completion		



Form 2A

**Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004**

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: 34 Carters Road

Suburb: Aranui

Town/City Christchurch

Postcode: 8062

THE OWNER

Name(s): M & C Williamson

Mailing address: 34 Carters Road

Suburb: Aranui

PO Box/Private Bag:

Town/City: Christchurch

Postcode: 8062

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)

()

sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project

(X)

lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project

()

lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design

()

specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I, Paul van Herpt, carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
<i>Tick (✓) if included Cross (X) if excluded</i>	<i>[If appropriate, provide details of the restricted building work]</i>	<i>[Specify whether you carried out this design work or supervised someone else carrying out this design work]</i>	<i>[If appropriate, specify references]</i>

Primary structure

All RBW Design work relating to B1	()	() Carried out () Supervised	
Foundations and subfloor framing	(X)	() Carried out () Supervised	
Walls	(✓)	(✓) Carried out () Supervised	
Roof	(X)	() Carried out () Supervised	
Columns and beams	(X)	() Carried out () Supervised	
Bracing	(X)	() Carried out () Supervised	
Other	(X)	() Carried out () Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2	(X)	() Carried out () Supervised	
Damp proofing	(X)	() Carried out () Supervised	
Roof cladding or roof cladding system	(X)	() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	(X)	() Carried out () Supervised	
Wall cladding or wall cladding system	(X)	() Carried out () Supervised	

Waterproofing	(X)		() Carried out () Supervised	
Other	(X)		() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	(X)		() Carried out () Supervised	
--	-----	--	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required () Yes ☒ No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

Name: Paul van Herpt		LBP or Registration number: NZRAB 2894	
The practitioner is a:	() Design LBP	(X) Registered architect	() Chartered professional engineer
Design Entity or Company (optional): Van Herpt Architects Ltd			
Mailing address (if different from below): P O Box 25 054, Christchurch 8144			
Street address / Registered office: 577 Barbadoes Street,			
Suburb: Edgware	Town/City: Christchurch		
PO Box/Private Bag:	Postcode: 8013		
Phone number: 03 960 0258	Mobile: 021 311196		
After Hours:	Fax: 03 960 0258		
Email address: paulvanherpt@gmail.com	Website:		

DECLARATION

I Paul van Herpt *[name of practitioner]*, LBP,

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: 

Date: 27/3/17