

RECORD OF DECISION ON RESOURCE CONSENT APPLICATIONS

Participants:

PJK

AJH



RCPAD

Decision Date: 04 September 2002

Granted Date: 5/09/02

Issued Date: 6/9/02

RMA Number : 2030102

RFS Type : LUC

Val Number / Property ID : 81 – 5528 / 3338794

Applicant : J W RULE

Start Date : 13 – 8 - 02

Location : Tokerau Beach Road, Tokerau Beach

Hearing Date :

Activity (TDP/PDP) : C10

Outcome : Approved (del)

No. of lots :

Types of lots :

Zone (TDP/PDP) : M13 / RES

Area of Site : 0.1232

Proposal : Construct a dwelling in CHZ2

Issues : Engineers report provided addressing CHZ – conditions imposed to provide minimum floor level and future relocation
Consent notice registered on title specifies similar requirements as well as 15 metres setback from seaward boundary.

Property File	Sewerage (BES)	Roading (GCI)	Com Fac (SMH)	Finance (AJB)	Transit NZ	DoC	Projects (LMN)
✓							
Monitoring (CAS)	Env Health (GB/JG)	Liq License (LAL)	Legal (YAS)	NZHPT	NRC	Building (HAH)	Comm. Brd
✓							

f.
g.

FAR NORTH DISTRICT COUNCIL

FAR NORTH OPERATIVE DISTRICT PLAN [MANGONUI SECTION]

AND

FAR NORTH PROPOSED DISTRICT PLAN

IN THE MATTER OF

The Resource Management Act 1991

AND

IN THE MATTER OF

an application for Resource Consent
under the aforesaid Act by

J W Rule

FILE NUMBER RC 2030102

DECISION

That pursuant to Sections 105 (1)(a) and 108 of the Resource Management Act 1991, the Council grants its consent to J W Rule to construct a dwelling within a Coastal Hazard 2 zone at Tokerau Beach Road, Tokerau Beach, being more particularly described as Lot 3 DP 190340 contained in CT120B/545 (North Auckland Registry) subject to the following conditions:

1. The development shall be carried out in accordance with the approved plans prepared by Architectural Design Limited, referenced Job No. 206 Sheets 01- 05, dated 28 - 5 - 02, and attached to this consent with the Council's "Approved Plan" stamp affixed to it
2. The conditions stated in the Coastal Hazard Assessment Report prepared by R I R Catterall dated 24th July 2002, being requirements for a minimum floor level of 500mm above general ground level and the dwelling being of such a construction so as to allow relocation in the future, are to be adhered to by the consent holder.

In consideration of the application under Section 104 of the Act, the following reasons are given for this decision:

1. Written approval from adjoining owners and interested parties to the proposed activity has not been sought, as the Council is of the opinion that no one will be adversely affected by the grant of consent to the proposal.
2. There are no apparent conflicts with the purpose of the Act, nor with the matters or principles noted in Sections 6, 7 and 8 of the Act, nor with the objectives and policies of the two relevant District Plans.
3. The imposed conditions will ensure compliance with the relevant rules of the District Plans, and will adequately avoid, or mitigate to a minor impact level, the expected effects on the environment.

STATUTORY INFORMATION

The following matters are noted as being relevant to the land, and possibly requiring additional action for statutory or code compliance. The applicant and any prospective purchasers should be aware of these matters; and hence the information will be placed on the property file and will be cited in any related Project or Land Information Memorandum that may be issued by the Council.

- (1) The consent holder is required to abide by the conditions set out in the consent notice document attached to the Certificate of Title.

DECISION PREPARED BY: Alister Hartstone, Section Planner

CONSENT GRANTED UNDER DELEGATED AUTHORITY:

P. J. Killalee RESOURCE CONSENTS MANAGER

5th September 2002 DATE
RC 2030102

APPROVED PLAN
PLANNER *[Signature]*
RC 2030102 Date **9/9/02**

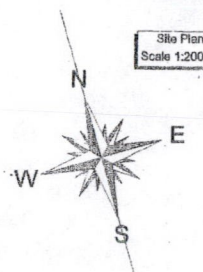
TOKERAU BEACH ROAD

Legal Description:
 Lot 1
 DP 152546
 Area 1232 m.sq.
 Floor Area (inc. Garage) = 120 m.sq.
 Therefore site coverage = 10%

WASTE & SOIL PIPE SIZES:
 WHB = 40mm dia.
 BATH = 40mm dia.
 SHR = 40mm dia.
 TUB = 40mm dia.
 SINK = 65mm dia.
 D/W = 40mm dia.
 WC = 80mm dia.
 FWG = 65mm dia.

PLUMBING NOTES:
 1. All plumbing works must be inspected BEFORE the work is covered.
 2. Seismic restraint & temperature control valve to be fitted to HWC.

DRAINAGE NOTES:
 1. Upon completion of the drainage system,
 2. Drainlayer to provide an AS-BUILT drainage plan.



Site Plan
 Scale 1:200

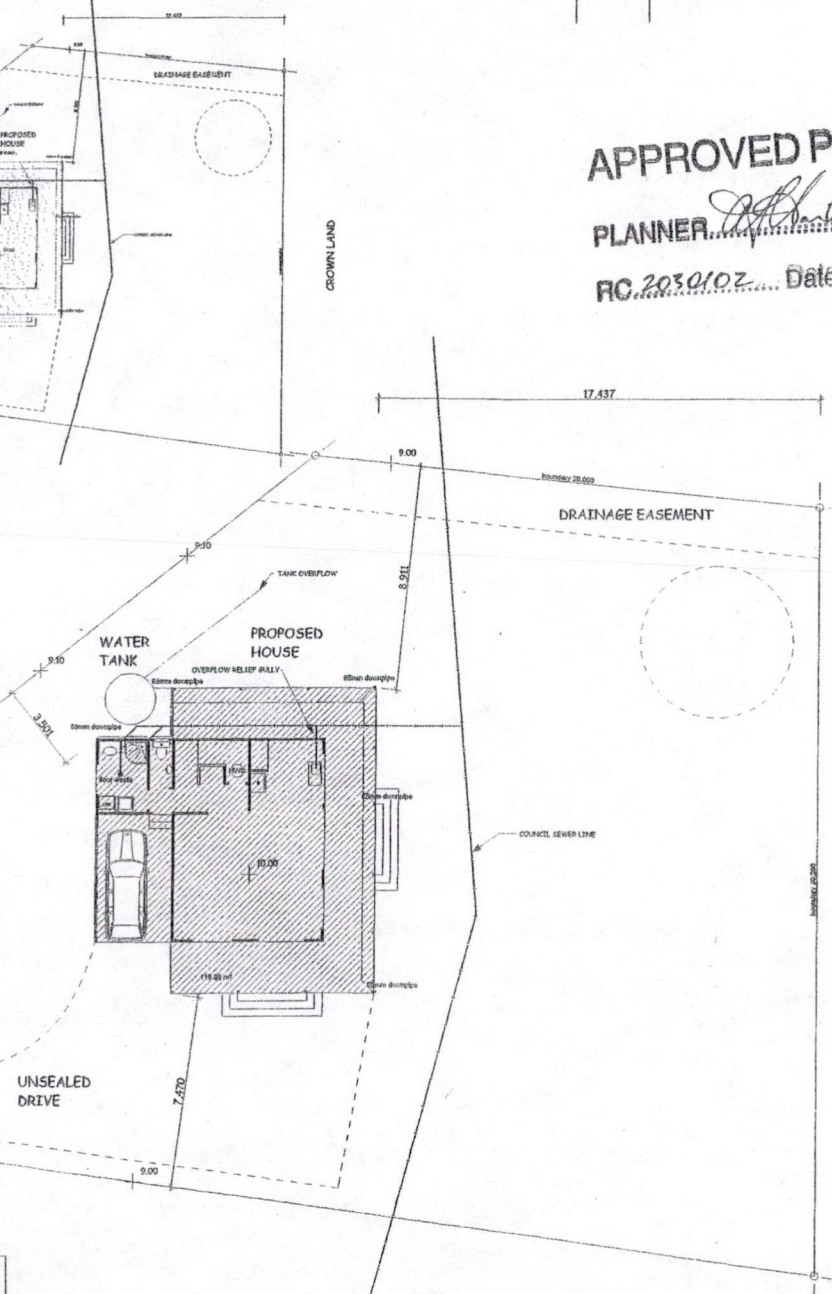
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DRAINAGE NOTES:
 1. Upon completion of the drainage system,
 2. Drainlayer to provide an AS-BUILT drainage plan.

Site Plan
 Scale 1:100



NOTE 1 Contractor to verify all dimensions, ground levels on site before starting work and shall notify Architectural Design Ltd of any discrepancies.
NOTE 2 These plans are to be read together with all relevant engineering details.
NOTE 3 For more specific details.

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CLIENT:
 MR & MRS J. RULE

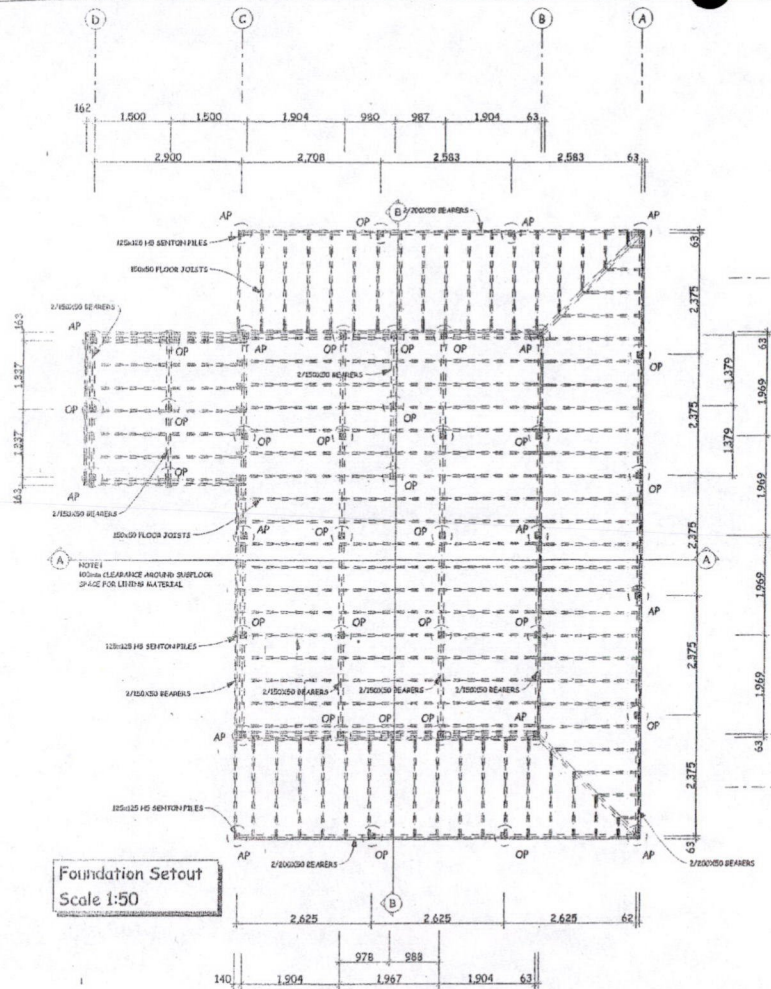
PROJECT:
 PROPOSED BEACH HOUSE
 AT 120B TOKERAU BEACH ROAD

DRAWING: SITE PLAN			
DESIGN	RP	DATE	28/5/02
EX-PLAN	RP	SCALE	1:100

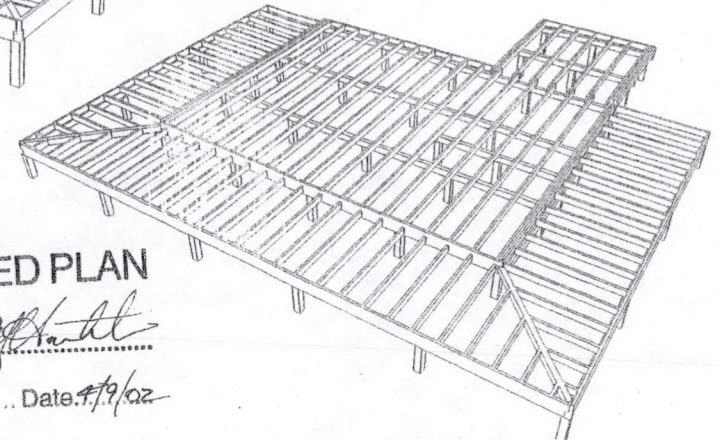
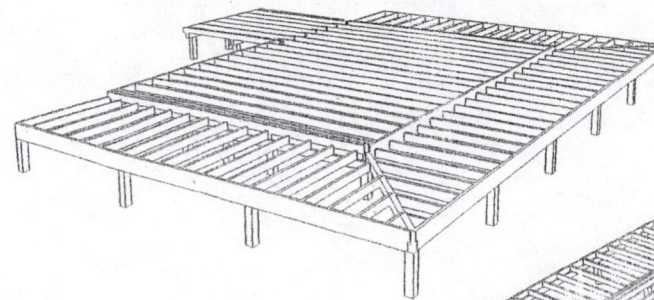


**ARCHITECTURAL
 DESIGN LIMITED**
 PHONE/FAX 017 6154 MOBILE 025 355-177

SHEET
01
 JOB NO 206

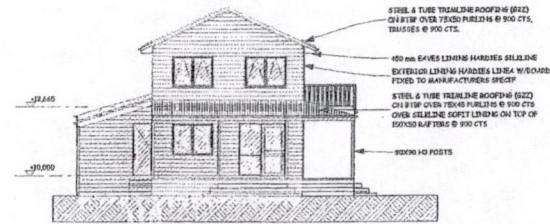


Foundation Setout
Scale 1:50

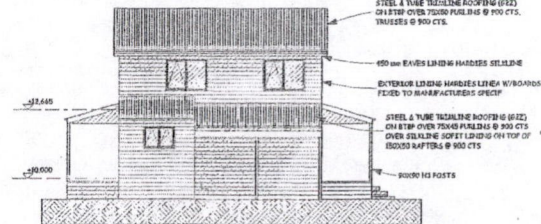


LEGEND
AP=ANCHOR PILE, 900 DEEP X 400 DIA
OP=ORDINARY PILE, 450 DEEP X 400 DIA

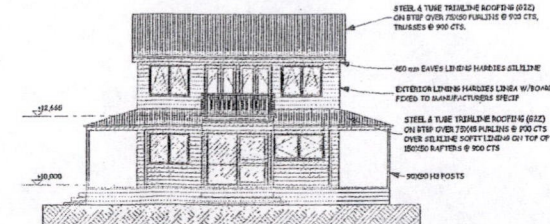
APPROVED PLAN
PLANNER...
RC...2030102... Date 4/9/02



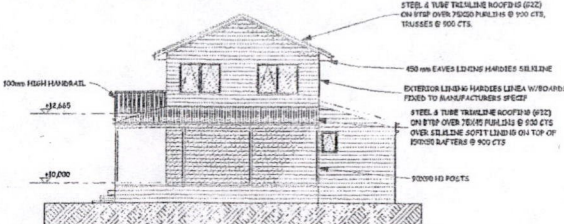
South Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



North Elevation
Scale 1:100

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2: These plans are to be used together with all relevant engineering details.

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CLIENT: MR & MRS J. RULE

PROJECT: PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

DRAWING: FOUNDATION PLAN, ELEVATIONS
REVISION: BP DATE: 28/5/02

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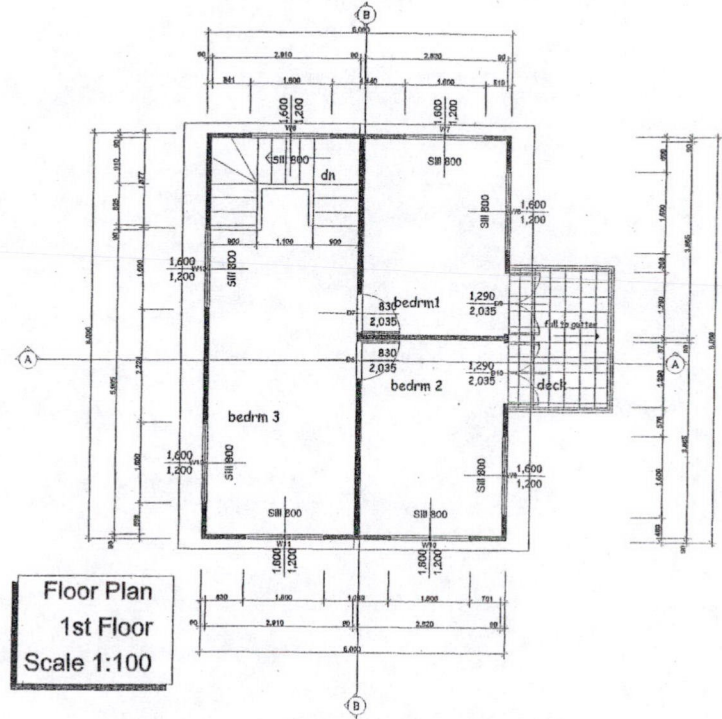
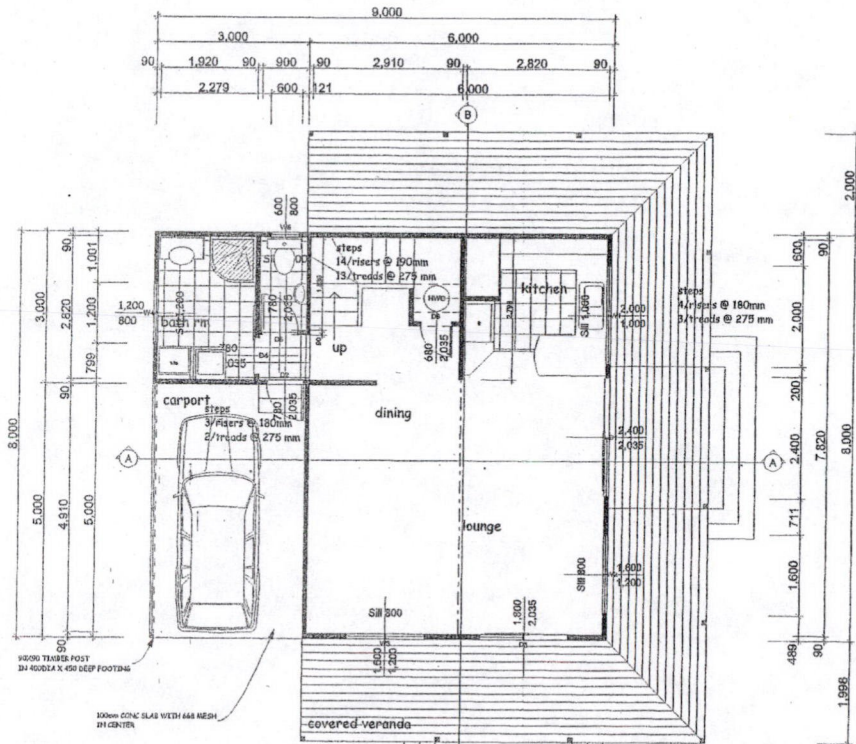
SHEET 02

APPROVED PLAN

PLANNER: *ALH*

RC. 2050102 Date: 4/9/02

REV	REMARKS	DATE
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CLIENT: MR & MRS J. RULE

PROJECT: PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

DRAWING: FLOOR PLANS
DESIGN: BP DATE: 28/5/02



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SHEET 03

04

