

RECORD OF DECISION ON RESOURCE CONSENT APPLICATIONS

Participants:

PJK
AJH



Decision Date: 04 September 2002

Granted Date: 5/09/02

Issued Date: 6/9/02

RMA Number : 2030102

RFS Type : LUC

Val Number / Property ID : 81 – 5528 / 3338794

Applicant : J W RULE

Start Date : 13 – 8 - 02

Location : Tokerau Beach Road, Tokerau Beach

Hearing Date :

Activity (TDP/PDP) : C10

Outcome : Approved (del)

No. of lots :

Types of lots :

Zone (TDP/PDP) : M13 / RES

Area of Site : 0.1232

Proposal : Construct a dwelling in CHZ2

Issues : Engineers report provided addressing CHZ – conditions imposed to provide minimum floor level and future relocation
Consent notice registered on title specifies similar requirements as well as 15 metres setback from seaward boundary.

Property File	Sewerage (BES)	Roading (GCI)	Com Fac (SMH)	Finance (AJB)	Transit NZ	DoC	Projects (LMN)
✓							
Monitoring (CAS)	Env Health (GB/JG)	Liq License (LAL)	Legal (YAS)	NZHPT	NRC	Building (HAH)	Comm. Brd
✓							

f:
g

FAR NORTH DISTRICT COUNCIL

FAR NORTH OPERATIVE DISTRICT PLAN [MANGONUI SECTION]

AND

FAR NORTH PROPOSED DISTRICT PLAN

IN THE MATTER OF

The Resource Management Act 1991

AND

IN THE MATTER OF

an application for Resource Consent
under the aforesaid Act by

J W Rule

FILE NUMBER RC 2030102

DECISION

That pursuant to Sections 105 (1)(a) and 108 of the Resource Management Act 1991, the Council grants its consent to J W Rule to construct a dwelling within a Coastal Hazard 2 zone at Tokerau Beach Road, Tokerau Beach, being more particularly described as Lot 3 DP 190340 contained in CT120B/545 (North Auckland Registry) subject to the following conditions:

1. The development shall be carried out in accordance with the approved plans prepared by Architectural Design Limited, referenced Job No. 206 Sheets 01- 05, dated 28 – 5 - 02, and attached to this consent with the Council's "Approved Plan" stamp affixed to it
2. The conditions stated in the Coastal Hazard Assessment Report prepared by R I R Catterall dated 24th July 2002, being requirements for a minimum floor level of 500mm above general ground level and the dwelling being of such a construction so as to allow relocation in the future, are to be adhered to by the consent holder.

In consideration of the application under Section 104 of the Act, the following reasons are given for this decision:

1. Written approval from adjoining owners and interested parties to the proposed activity has not been sought, as the Council is of the opinion that no one will be adversely affected by the grant of consent to the proposal.
2. There are no apparent conflicts with the purpose of the Act, nor with the matters or principles noted in Sections 6, 7 and 8 of the Act, nor with the objectives and policies of the two relevant District Plans.
3. The imposed conditions will ensure compliance with the relevant rules of the District Plans, and will adequately avoid, or mitigate to a minor impact level, the expected effects on the environment.

STATUTORY INFORMATION

The following matters are noted as being relevant to the land, and possibly requiring additional action for statutory or code compliance. The applicant and any prospective purchasers should be aware of these matters; and hence the information will be placed on the property file and will be cited in any related Project or Land Information Memorandum that may be issued by the Council.

- (1) The consent holder is required to abide by the conditions set out in the consent notice document attached to the Certificate of Title.

DECISION PREPARED BY: Alister Hartstone, Section Planner

CONSENT GRANTED UNDER DELEGATED AUTHORITY:

P. J. Killalea RESOURCE CONSENTS MANAGER

5th September 2002 DATE
RC 2030102

APPROVED PLAN
 PLANNER *[Signature]*
 RC 2030102 Date 9/9/02

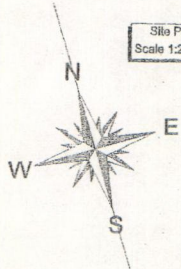
TOKERAU BEACH ROAD

Legal Description:
 Lot 1
 DP 152546
 Area 1232 m.sq.
 Floor Area (inc. Garage) = 120 m.sq.
 Therefore site coverage = 10%

WASTE & SOIL PIPE SIZES:
 WHB = 40mm dia.
 BATH = 40mm dia.
 SHR = 40mm dia.
 TUB = 40mm dia.
 SINK = 65mm dia.
 D/W = 40mm dia.
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 FWG = 65mm dia.

PLUMBING NOTES:
 1. All plumbing works must be inspected BEFORE the work is covered.
 2. Seismic restraint & temperature control valve to be fitted to HWC.

DRAINAGE NOTES:
 1. Upon completion of the drainage system,
 2. Drainlayer to provide an AS-BUILT drainage plan.



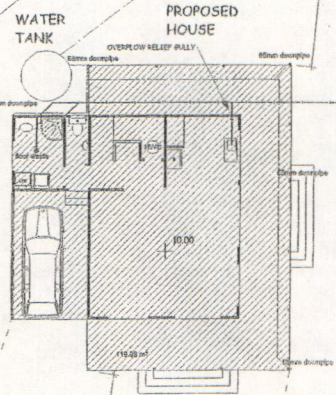
Site Plan
Scale 1:200

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Site Plan
Scale 1:100

NOTE 1 Contractor to verify all dimensions, ground levels on site before starting work and shall notify Architectural Design Ltd of any discrepancies.
NOTE 2 These plans are to be read together with all relevant engineering details.
NOTE 3 For not scale not shown

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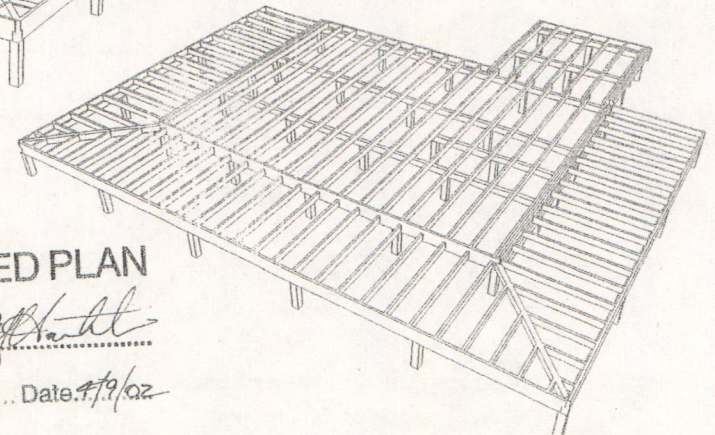
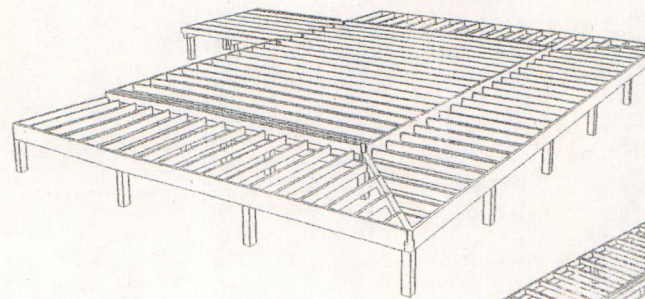
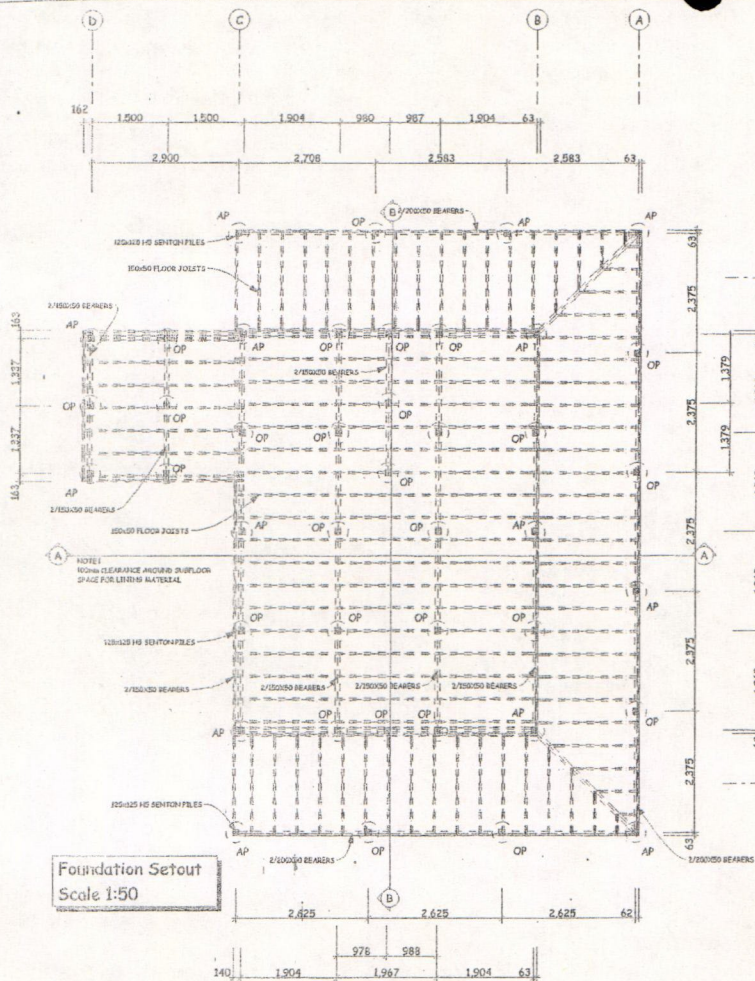
CLIENT:
 MR & MRS J. RULE

PROJECT:
 PROPOSED BEACH HOUSE
 AT 120B TOKERAU BEACH ROAD

DRAWING 1			
SITE PLAN			
DESIGN	BP	DATE	18/5/02
DRAWN	BP	SCALE	1/100



**ARCHITECTURAL
 DESIGN LIMITED**
 PHONE/FAX 017 8154 MOBILE 025 953-177

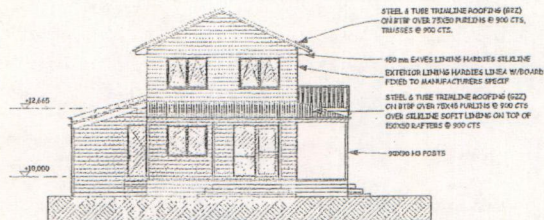


LEGEND
AP=ANCHOR PILE, 900 DEEP X 400 DIA
OP=ORDINARY PILE, 450 DEEP X 400 DIA

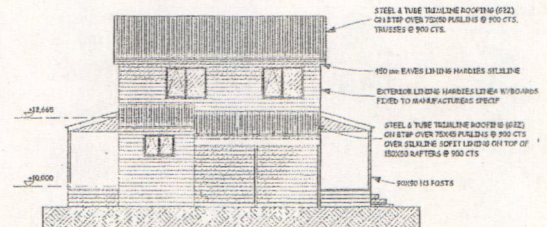
APPROVED PLAN

PLANNER *[Signature]*

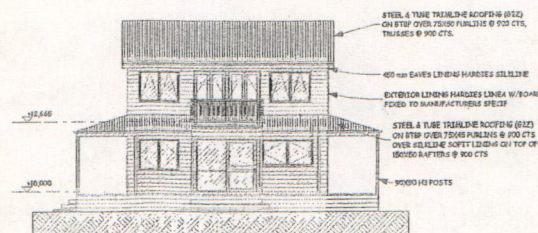
RC 2030102 Date 7/9/02



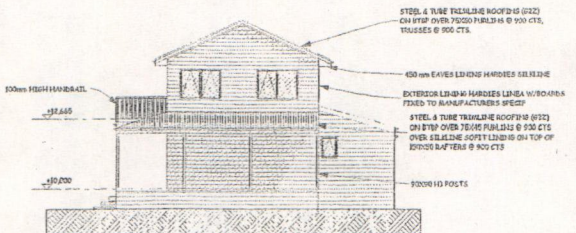
South Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



North Elevation
Scale 1:100

NOTE 1 Contractor to verify all dimensions, ground levels on day before starting work and shall notify Architectural Design Ltd of any discrepancies.
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CLIENT:

MR & MRS J. RULE

PROJECT:

PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

DRAWING: FOUNDATION PLAN, ELEVATIONS

DESIGN: BP DATE: 28/5/02



ARCHITECTURAL
DESIGN LIMITED
PHONE/FAX 01715151 MOBILE 025 353-377

SHEET

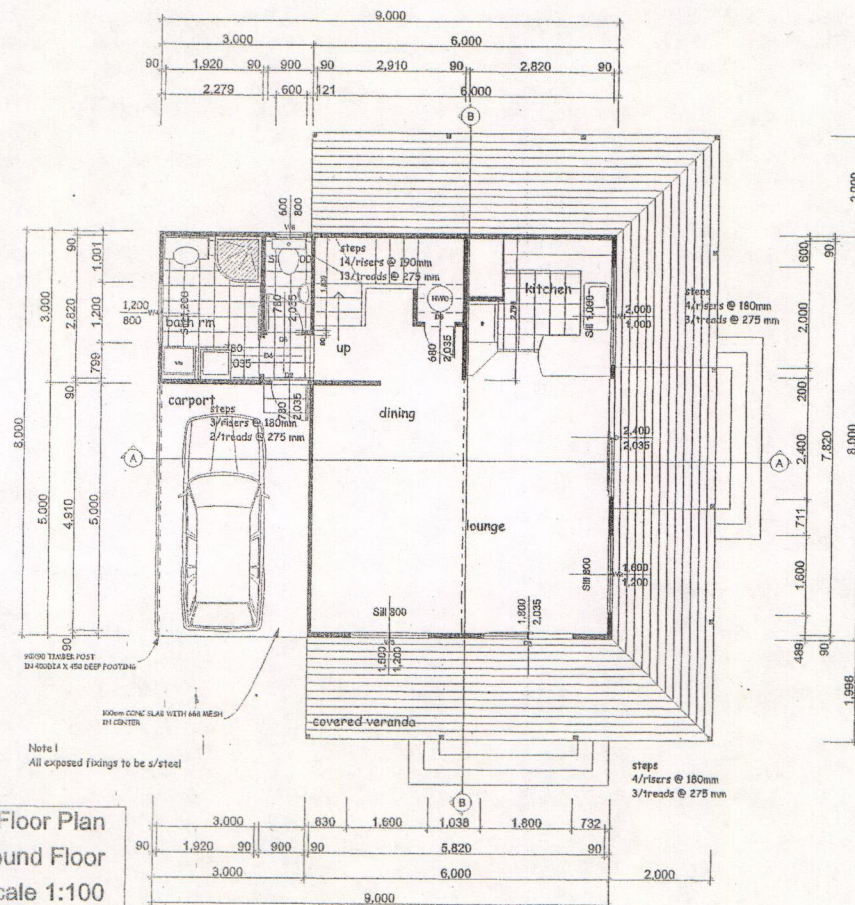
02

SHEET NO 204

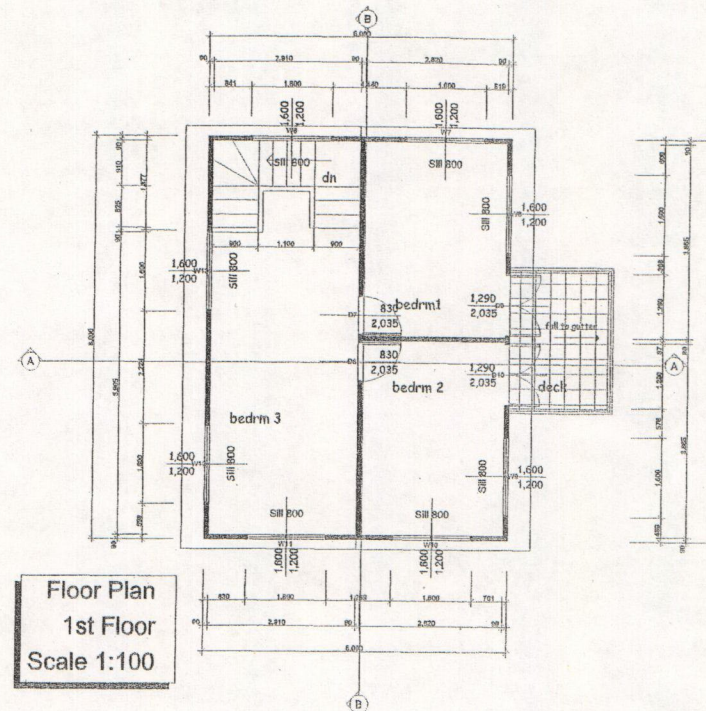
APPROVED PLAN

PLANNER. *W. H. L.*

RC..2030102 Date..4/9/02



Floor Plan
Ground Floor
Scale 1:100



Floor Plan
1st Floor
Scale 1:100

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CLIENT :

MR & MRS J.RULE

PROJECT :

PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

	DRAWING
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FLOOR PLANS

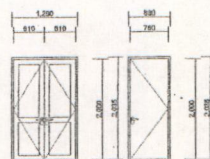
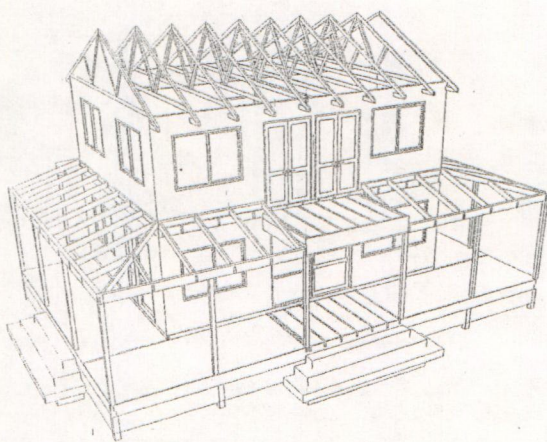
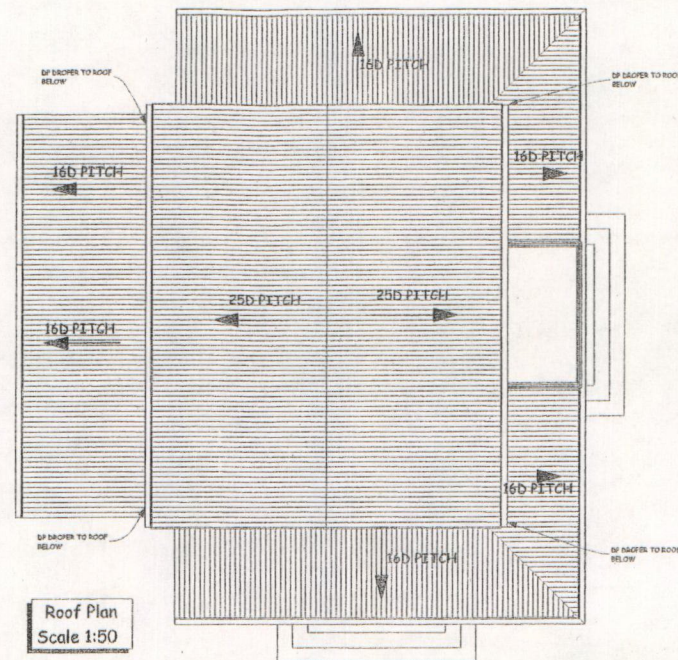
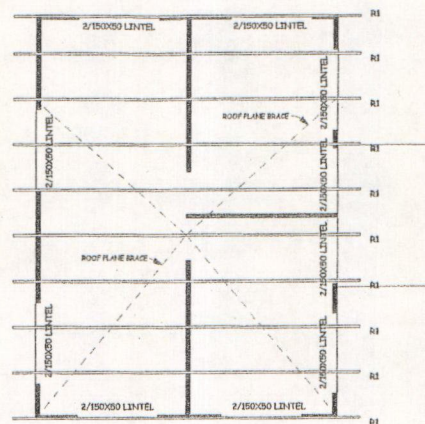
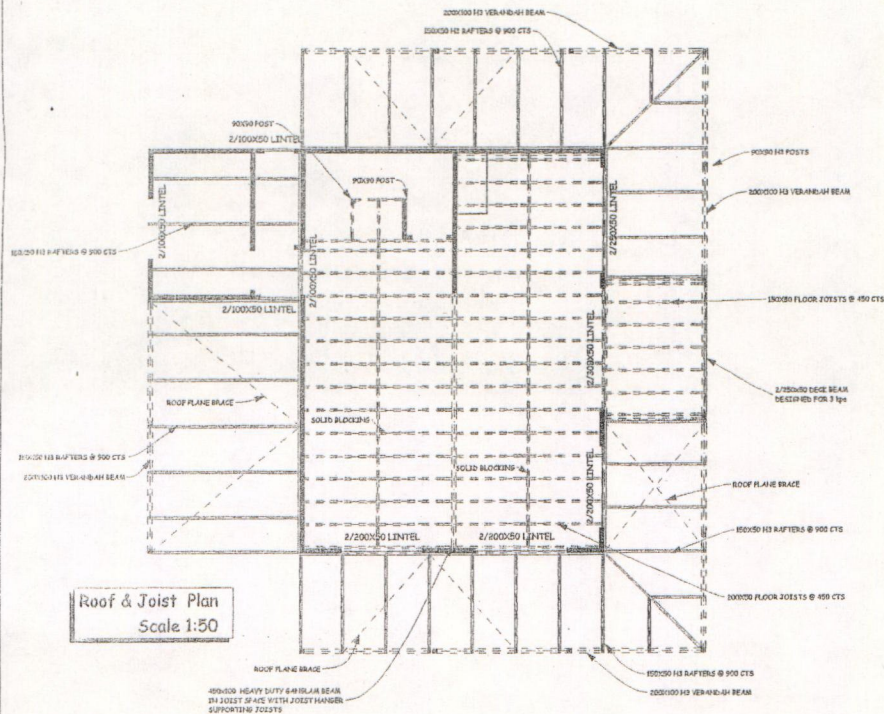
DESIGN	RP	DATE	28/5/01
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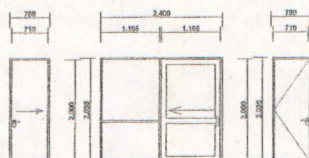
ARCHITECTURAL
DESIGN LIMITED

SHEET

03



2 Exterior Doors: D10, D9
2 Interior Doors: D7, D8
D7 as shown; D8 handed



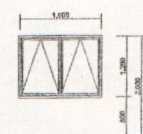
1 Interior Door: D4
1 Interior Door: D3
2 Interior Doors: D2, D5

DOOR SCHEDULES 1:50

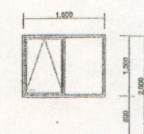
APPROVED PLAN

PLANNER *[Signature]*

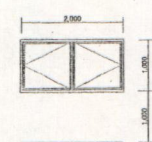
RC...2050102 Date 4/9/02



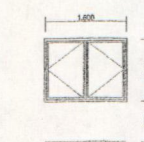
7 Aluminum Windows: W10, W12, W13, W7 as shown; W11, W8, W9 handed



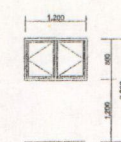
1 Aluminum Window: W8



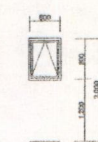
1 Aluminum Window: W1



2 Aluminum Windows: W3 as shown; W2 handed



1 Aluminum Window: W4



1 Aluminum Window: W5

WINDOW SCHEDULE 1:50

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CLIENT: MR & MRS J. RULE

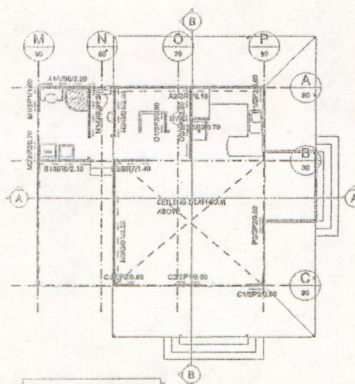
PROJECT: PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

DRAWING: 1 ROOF PLANS & SCHEDULES				
DESIGN	SP	DATE	14/5/02	SHEET
DRAWN	SP	SCALE	SHEET	

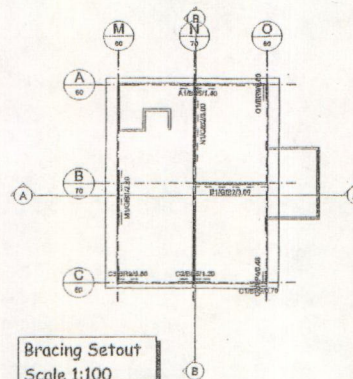


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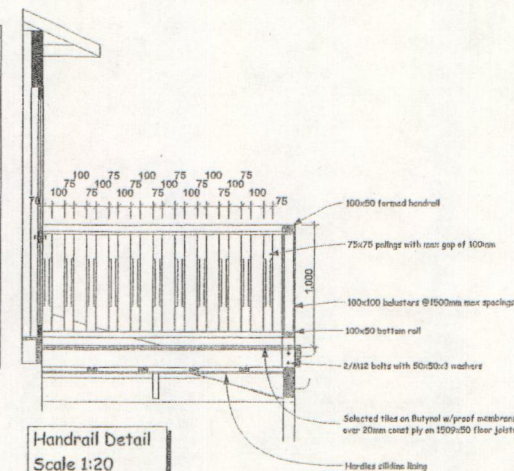
SHEET 04
206



Bracing Setout
Level 1
Scale 1:100

[illegible]

Bracing Setout
Scale 1:100

[illegible]

Handrail Detail
Scale 1:20

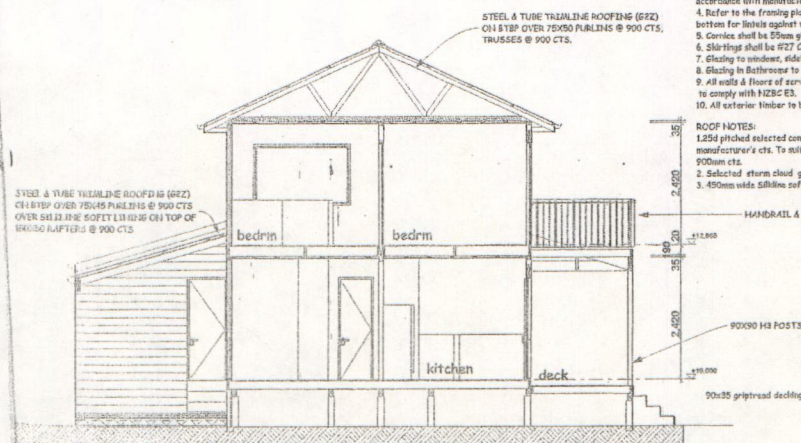
APPROVED PLAN

PLANNER *[Signature]*

RC 2030102 Date 4/9/02

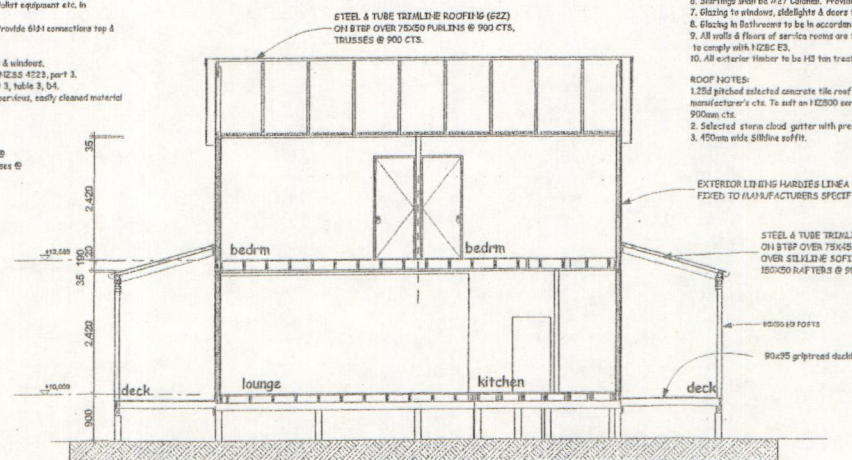
- GENERAL NOTES:**
1. Read this drawing together with the bracing plan & details.
 2. All wall framing shall be 90 x 45mm studs @ 600mm c/c. Except in Bathrooms & Closets where studs are to be 40mm c/c. Where Watertight Acoustic is to be fitted, check stippling shall be 30 x 45mm battens @ 400mm c/c.
 3. Fit all bracing, batten, ceiling, flooring, joinery, fittings & specialist equipment etc. in accordance with manufacturers instructions.
 4. For floor framing, provide 12mm or 16mm 4-bar-batten & lateral sizes. Provide 60/40 connections top & bottom for bolts/screws applied to studs.
 5. Cornice shall be 35mm c/g stud.
 6. Skirtings shall be 17/25 Cornice. Provide skirting to doors & windows.
 7. Glazing to windows shall be in accordance with NZS 4223, part 3.
 8. Glazing in Bathrooms to be in accordance with NZS 4223, part 1, table 3.4.1.
 9. All walls & doors of service rooms are to be finished with an Imperious, easily cleaned material in compliance with NZS 681.
 10. All exterior timber to be H3 treated.

- ROOF NOTES:
1. 25d pitched selected concrete tile roof on 50 x 50 tile-battens @ manufacturer's cts. To suit on HZ500 series Gungahlin HZ Ltd trusses @ 900mm cts.
2. Selected eform cloud gutter with pre-pointed timber fascia.
3. 450mm wide solidline soffit.



Section A-A
Scale 1:50

SUBFLOOR FRAMING
125x125 ganton piles refer sheet 2 foundation plan



Section B-B
Scale 1:50

NOTES:
Pitched selected concrete tile roof on 50 x 50 tile-battens @
Manufacturer's cts. To suit an IZ500 series Gagnoll NZ Ltd trusses @
Manufacturer's cts.
Pitched storm cloud gutter with pre-painted timber fascia.
100mm wide Sillidine soffit.

EXTERIOR LINING HARDIES LINEA W/BOARDS
FIXED TO MANUFACTURERS SPECIF

STEEL & TUBE TRIMLINE ROOFING (GZZ)
ON BTBP OVER 75X45 PURLINS @ 900 CTS
OVER SILKLINE SOFIT LINING ON TOP O
150X50 RAFTERS @ 900 CTS

90x35 1/2" POSTS

90x35 grip tread decks

SUBFLOOR FRAMING
125x125 santon piles refer sheet 2 foundation plan

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DECISION PREPARED BY: Alister Hartstone, Section Planner

CONSENT GRANTED UNDER DELEGATED AUTHORITY:

P. J. Killalee RESOURCE CONSENTS MANAGER

5th September 2002 DATE
RC 2030102

REV	DESCRIPTION	DATE

APPROVED PLAN
PLANNER *[Signature]*
RC 2030102 Date: **9/9/02**

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Site Plan
 Scale 1:200

Site Plan
 Scale 1:100

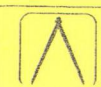
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CLIENT :
MR & MRS J. RULE

PROJECT :
PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

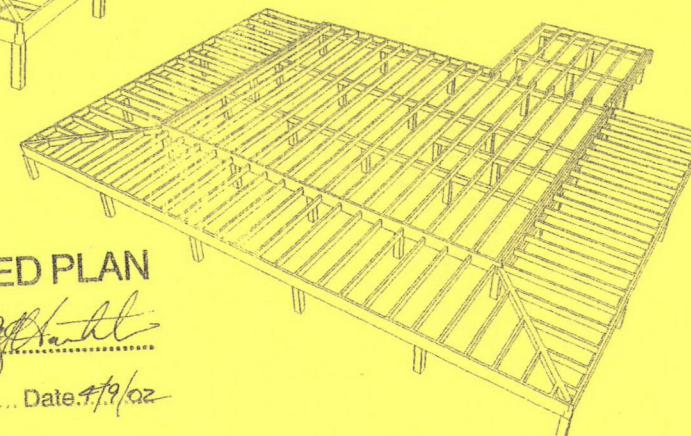
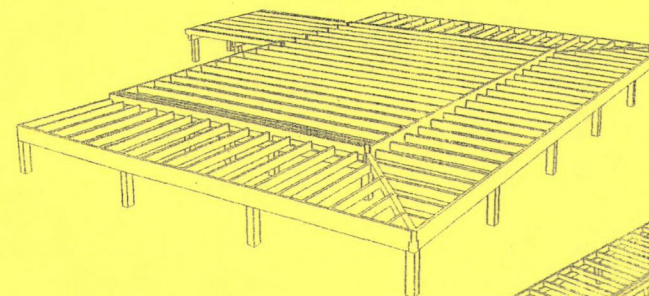
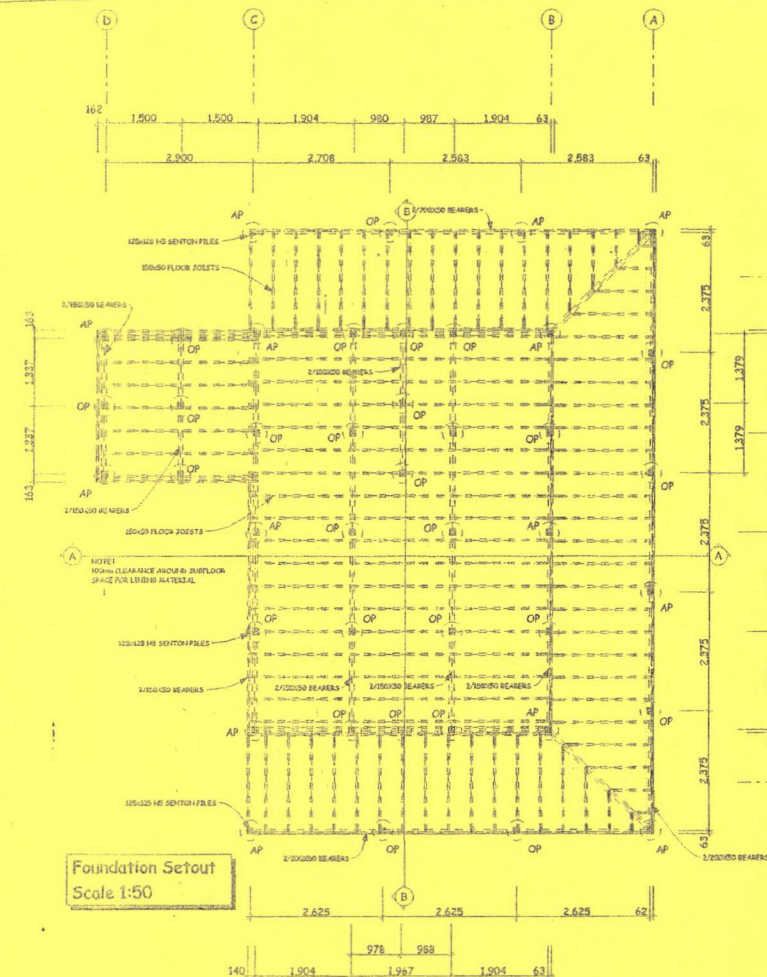
DESIGN	BP	DATE	28/7/02
DRAWN	BP	SCALE	as per



ARCHITECTURAL DESIGN LIMITED
 PHONE/FAX 017 8254 MOBILE 025 555-177

SHEET
01
 300 mm 2006

REV	REVISION	DATE

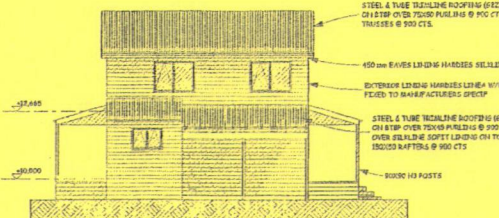


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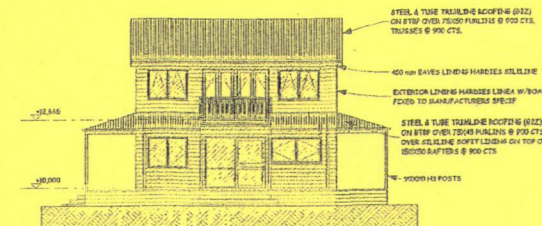
APPROVED PLAN
PLANNER... *[Signature]*
RC 2030102 Date 1/9/02



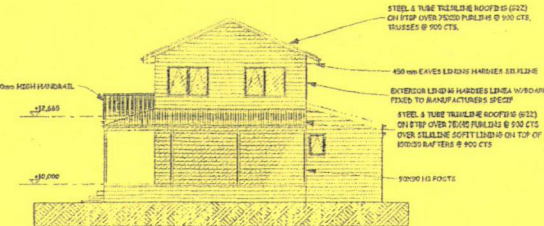
South Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



North Elevation
Scale 1:100

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CLIENT :
MR & MRS J. RULE

PROJECT :
PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

DESIGN	BY	DATE
		28/5/02



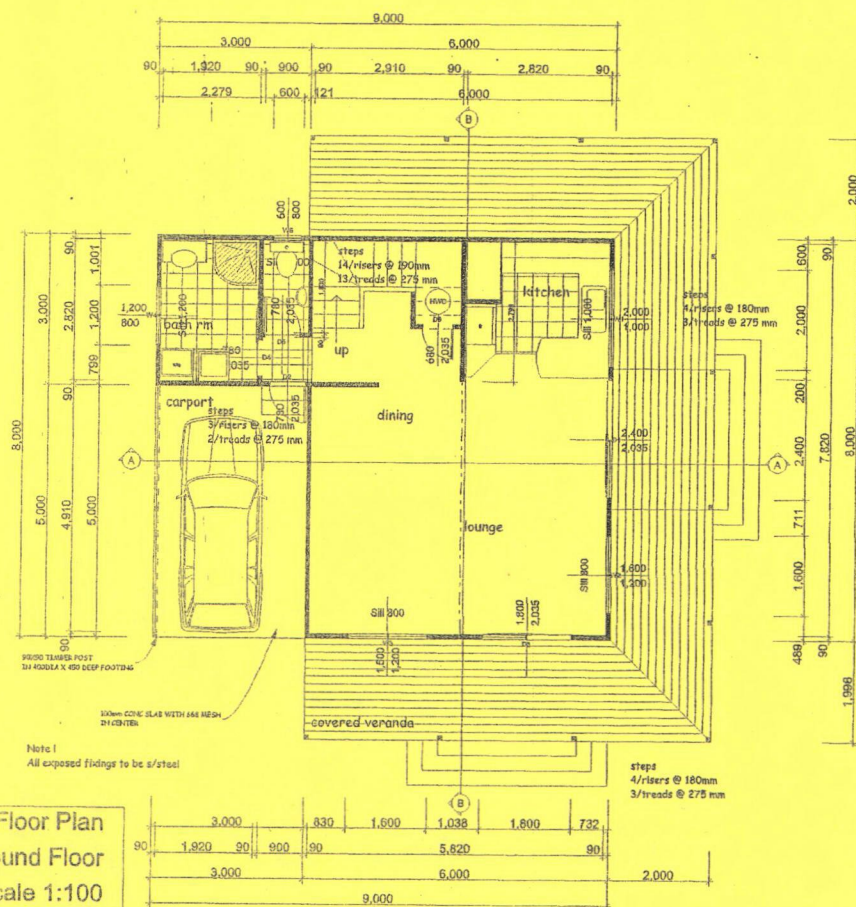
ARCHITECTURAL
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PHONE/FAX 817 8151 MOBILE 025 393 377

SHEET
02
204

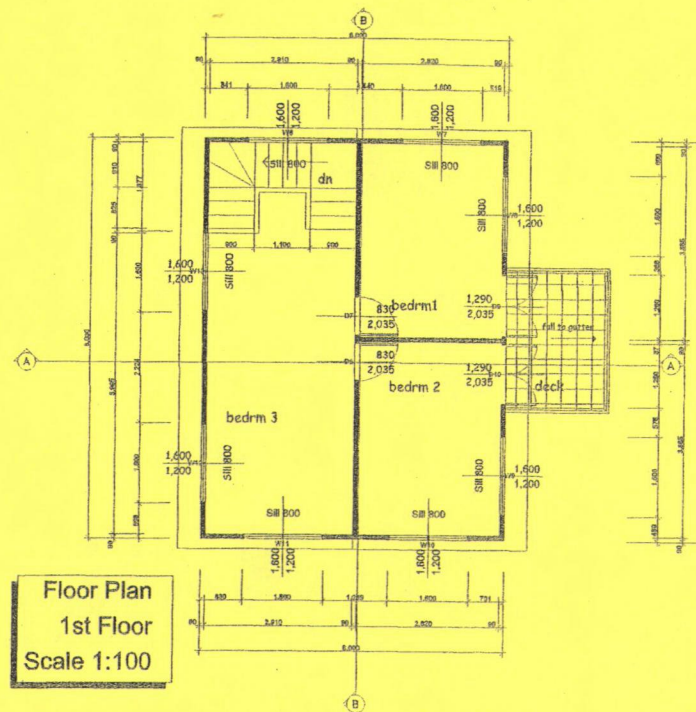
APPROVED PLAN

PLANNER. *W. H. L.*

RC. 2050102 Date. 4/9/02



Floor Plan
Ground Floor
Scale 1:100



Floor Plan
1st Floor
Scale 1:100

NOTE 1 Contractor to verify all dimensions, ground levels on site before starting work and shall notify Architectural Design Ltd of any discrepancies.

2 These plans are to be read together with all relevant engineering details.

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CLIENT :

MR & MRS J.RULE

PROJECT :

PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD

COLLECTOR	
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FLOOR PLANS

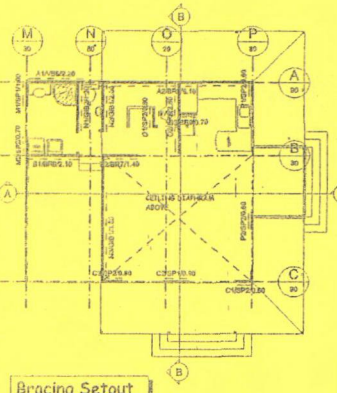
DESIGN	RP	DATE	28/5/02
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ARCHITECTURAL
DESIGN LIMITED

25

03



Bracing Setout
Level 1
Scale 1:100

BRACING CALCULATIONS

Bracing Height to Top	8.0 m	Location of Bracing	Upper of Floor
Floor Height Above Eaves	2.0 m	Floor Load	20Pa
Stud Height	2.4 m	Roof Weight	Light
Roof Pitch	6:12	Cladding Weight	Light
Roof Rise	No	Subfloor	Light
Building Length (BL)	8.0 m	Lower Floor	Medium
Building Width (BW)	8.0 m	Upper Floor	Medium
Wind Zone	Very High	Roof in Roof Space	High
Wind Speed	215 kN/m²	Green House Area (GPA)	43.0 m²
Wind Area	207 kN/m²	Earthquake Zone	C
Wind Area x BW	1,425.0 kN	EQ	0.8 kN/m²
Wind Area x BL	1,716.0 kN	EQ x GPA	1,732.0 kN

Bracing Line		Bracing Elements Provided				Wind		Earthquake	
Line	Line Label	Bracing Type	Bracing Length	Bracing Angle	Bracing Height	Wind	Bracing	Earthquake	Bracing
C	30	AT	2.3	0.0	2.4	120	184.2	150	231.0
		BT	2.3	0.0	2.4	120	184.2	150	231.0
	30	BT	2.3	0.0	2.4	120	184.2	150	231.0
		CT	2.4	0.0	2.4	145	200.0	145	250.0
		DT	2.4	0.0	2.4	145	200.0	145	250.0
		ET	2.4	0.0	2.4	145	200.0	145	250.0
	30	CT	2.3	0.0	2.4	120	184.2	150	231.0
		DT	2.3	0.0	2.4	120	184.2	150	231.0
		ET	2.3	0.0	2.4	120	184.2	150	231.0
		FT	2.3	0.0	2.4	120	184.2	150	231.0
		GT	2.3	0.0	2.4	120	184.2	150	231.0
		HT	2.3	0.0	2.4	120	184.2	150	231.0
Totals Achieved						W	1,092.3	E	1,425.0
Totals Required						W	1,838.0	E	1,592.0



FAR NORTH DISTRICT COUNCIL

Private Bag 752, Memorial Ave, KAIKOHE
Freephone: 0800 920 029, Ph: (09) 405 2750, Fax: (09) 401 2137

Application No: RC 2030102

4 September 2002

R I R Catterall
P.O. Box 53
MANGONUI 0557

Dear Sir / Madam

Re: RC 2030102 – RESOURCE CONSENT APPLICATION

I am pleased to inform you that your application for resource consent has been approved. The decision is enclosed for your information. The application was considered and determined under authority delegated to the Manager, Environmental Services of the Far North District Council, pursuant to Section 34(4) of the Resource Management Act 1991.

It is very important that you understand and comply with any conditions of consent. If you have any questions or concerns about any aspect of your consent or its conditions, please contact the Planner who prepared the decision.

Your consent expires two years from the date that you receive this decision. Please note that under Section 125 of the Resource Management Act 1991, your consent will lapse unless you make significant progress towards giving effect to the consent within the two year period.

If you are dissatisfied with the decision or any part of it, you have the right (under Section 357 of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection, and must be received by Council within 15 working days of your receipt of this decision.

Depending on the costs charged against your consent, you will find enclosed either an invoice or a credit note. Any additional costs shown on an invoice need to be paid as soon as possible. If you receive a credit note, you have the option of requesting a refund by cheque, or transferring the amount to any other Council account.

If you have any further queries regarding this matter, please contact the reporting Planner.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'A. Brown'.

Environmental Services Administrator

REV	AMENDMENT	DATE

APPROVED PLAN
PLANNER *[Signature]*
RC 2030102 Date: **4/9/02**

Legal Description:
 Lot 1
 DP 152546
 Area 1232 m.sq.
 Floor Area (inc. Garage) = 120 m.sq.
 Therefore site coverage = 10%

WASTE & SOIL PIPE SIZES:
 WHB = 40mm dia.
 BATH = 40mm dia.
 SHR = 40mm dia.
 TUB = 40mm dia.
 SINK = 65mm dia.
 D/W = 40mm dia.
 WC = 80mm dia.
 FWG = 65mm dia.

PLUMBING NOTES:
 1. All plumbing work must be inspected BEFORE the work is covered.
 2. Seismic restraint & temperature control valve to be fitted to HWC.

DRAINAGE NOTES:
 1. Upon completion of the drainage system,
 2. Drainlayer to provide an AS-BUILT drainage plan.



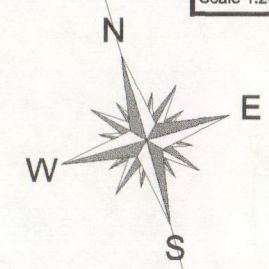
Site Plan
Scale 1:200

Legal Description:
 Lot 1
 DP 152546
 Area 1232 m.sq.
 Floor Area (inc. Garage) = 120 m.sq.
 Therefore site coverage = 10%

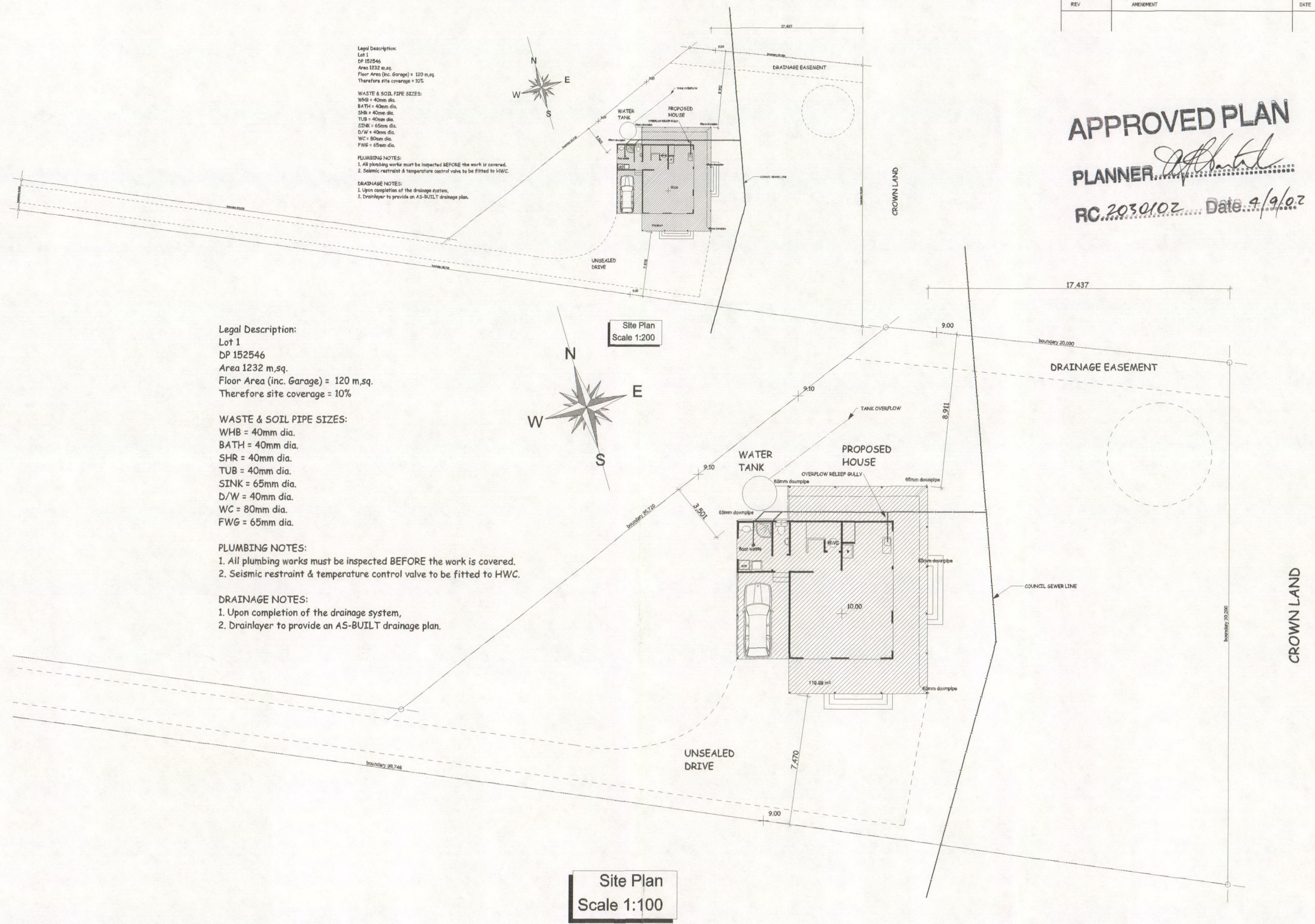
WASTE & SOIL PIPE SIZES:
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 BATH = 40mm dia.
 SHR = 40mm dia.
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DRAINAGE NOTES:
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 2. Drainlayer to provide an AS-BUILT drainage plan.



Site Plan
Scale 1:100



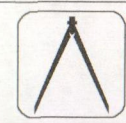
NOTE 1 Contractor to verify all dimensions, ground levels on site before starting work and shall notify Architectural Design Ltd of any discrepancies.
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 3 Do not scale off drawing

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CLIENT :
MR & MRS J.RULE

PROJECT :
**PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD**

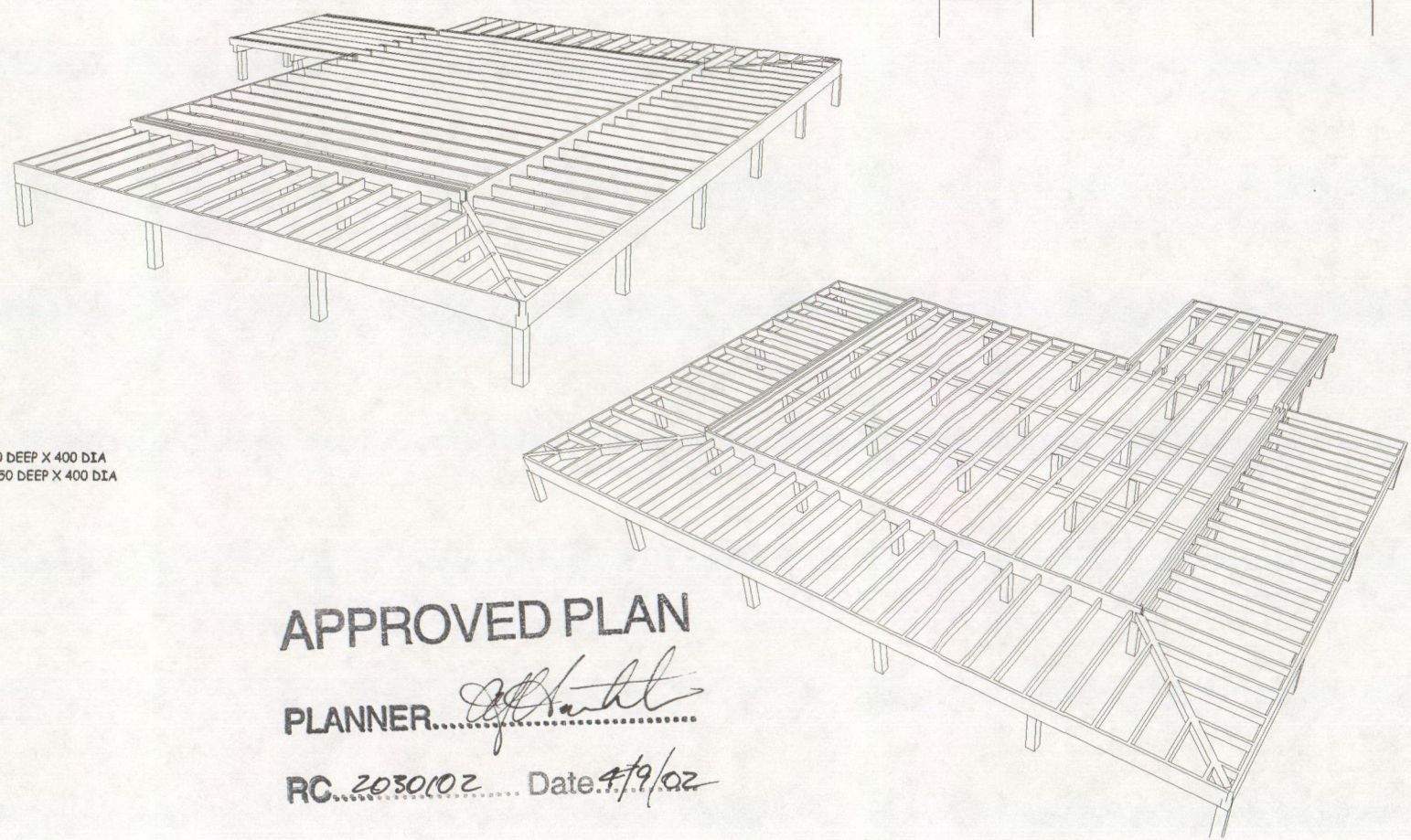
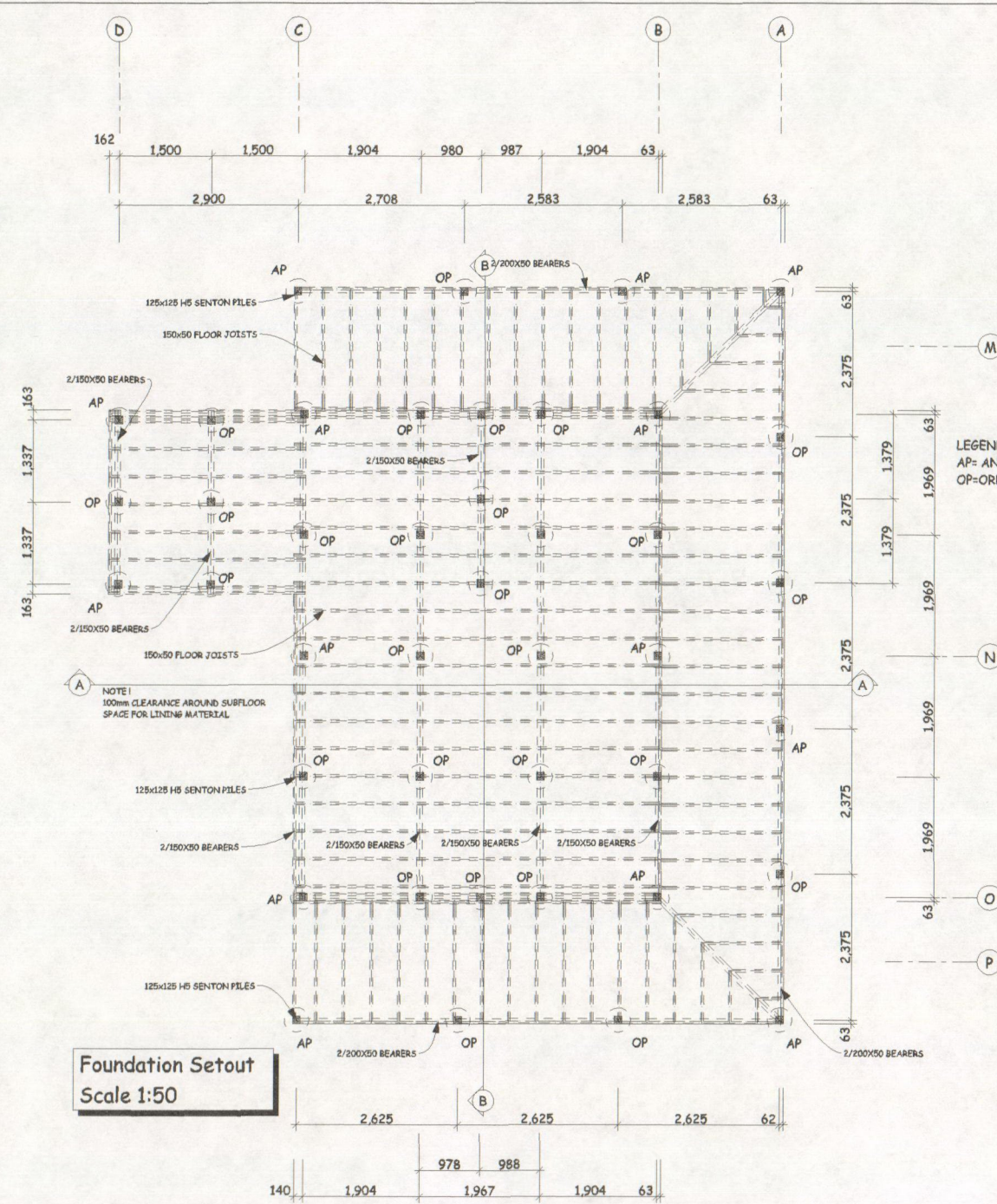
DRAWING 1			
SITE PLAN			
DESIGN	BP	DATE	28/5/02
DRAWN	BP	SCALE	SHOWN



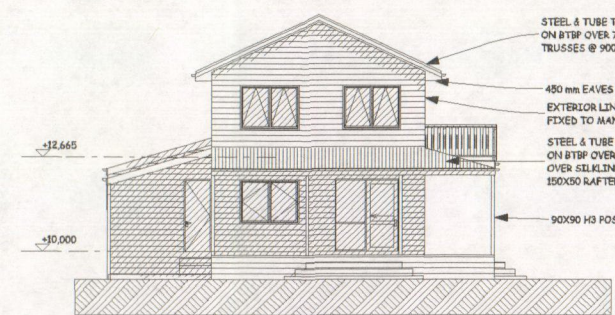
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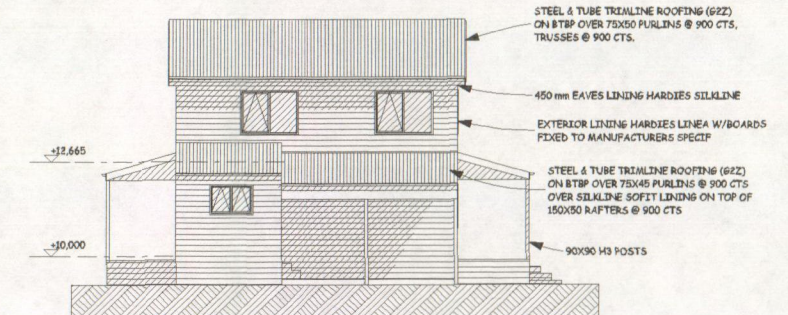
REV	AMENDMENT	DATE



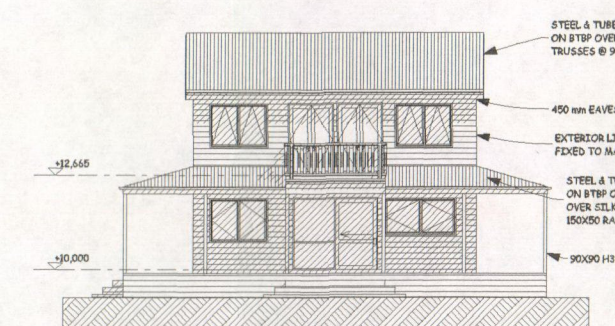
APPROVED PLAN
PLANNER.....
RC...2030102... Date: 4/9/02



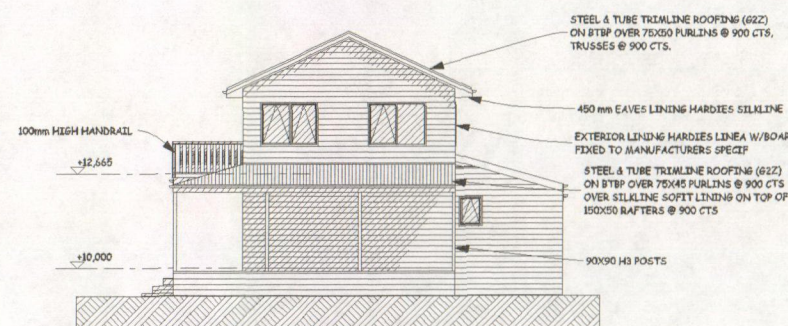
South Elevation
Scale 1:100



West Elevation
Scale 1:100



East Elevation
Scale 1:100



North Elevation
Scale 1:100



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CLIENT :
MR & MRS J.RULE

PROJECT :
**PROPOSED BEACH HOUSE
 AT 120B TOKERAU BEACH ROAD**

DRAWING : FOUNDATION PLAN, ELEVATIONS			
DESIGN	BP	DATE	28/5/02
DRAWN	BP	SCALE	SHOWN



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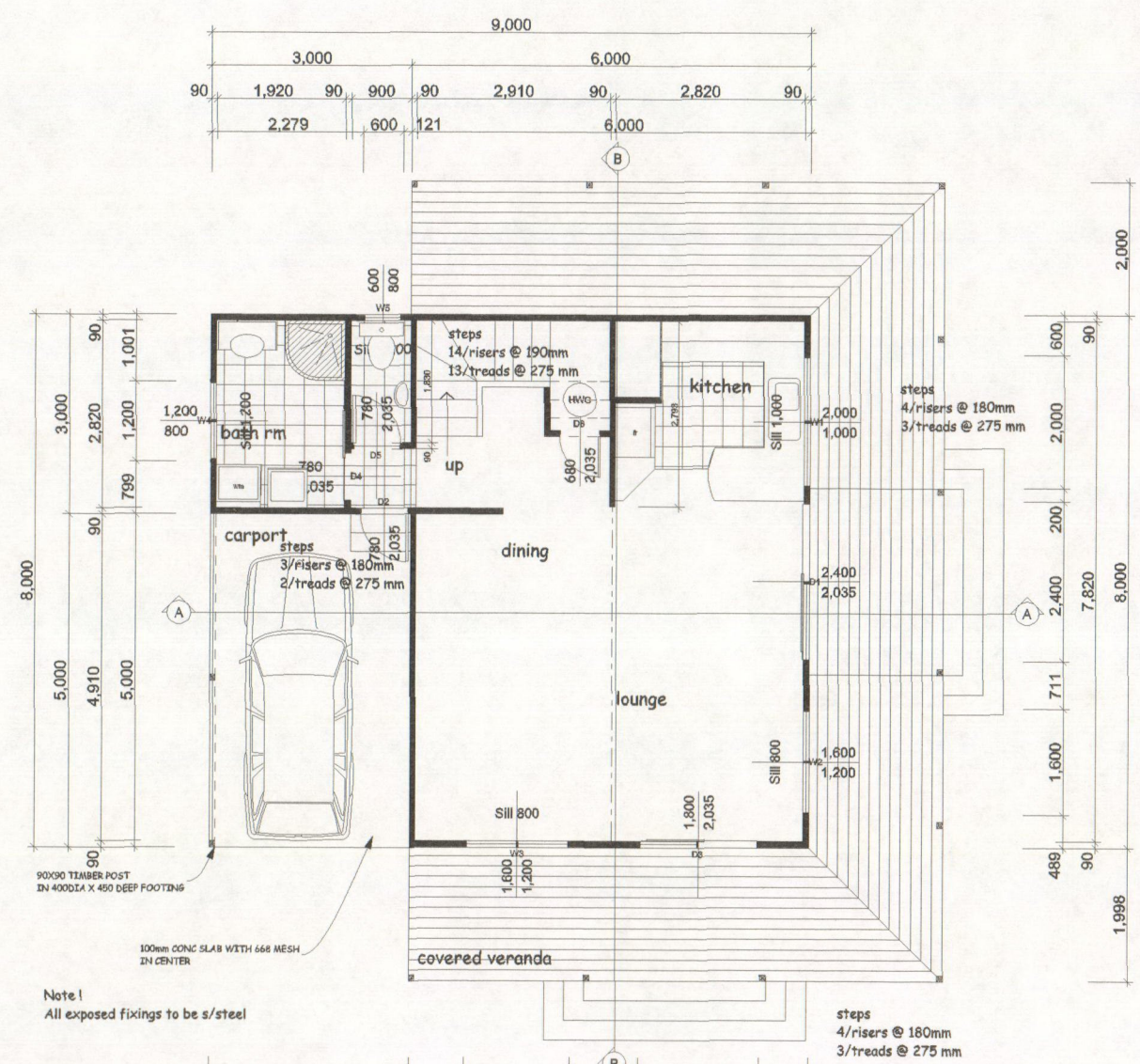
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REV	AMENDMENT	DATE

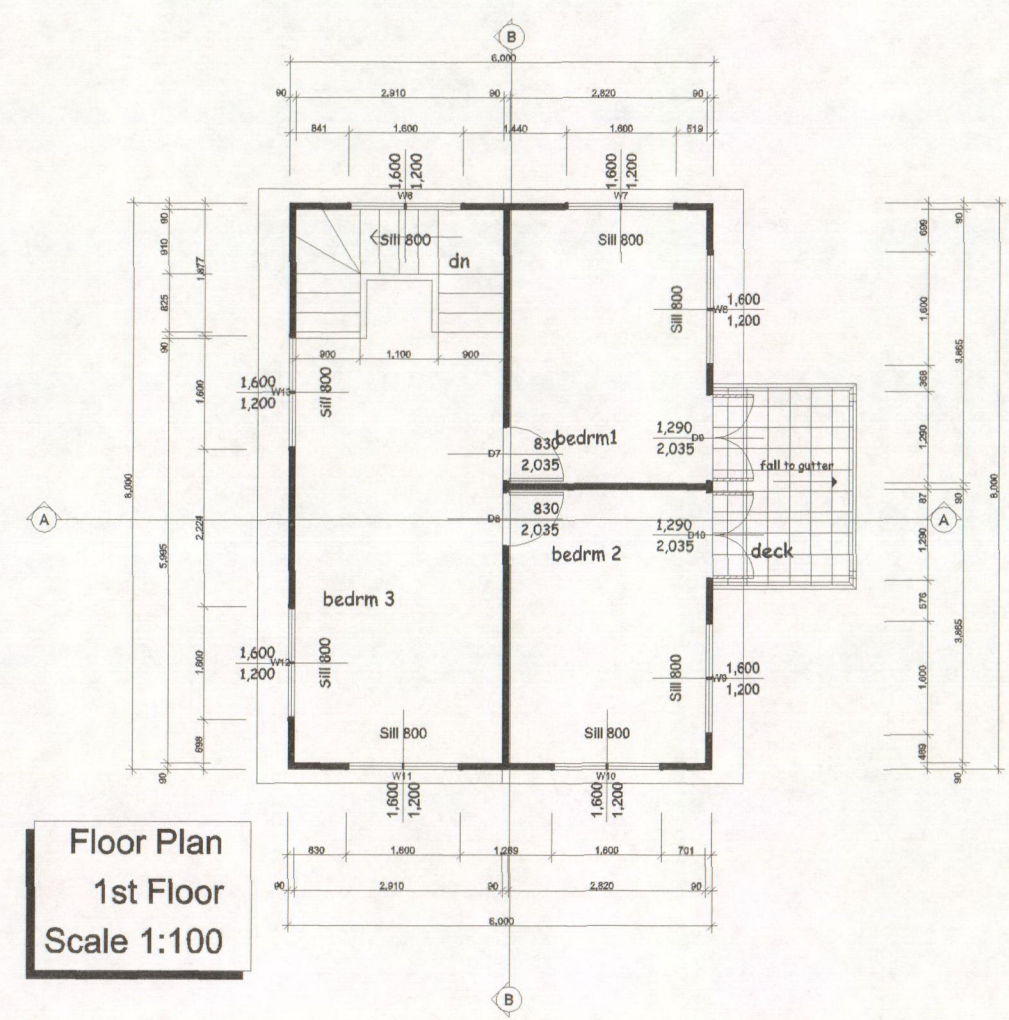
APPROVED PLAN

PLANNER *[Signature]*

RC..2030102 Date..4/9/02



Floor Plan
Ground Floor
Scale 1:100



Floor Plan
1st Floor
Scale 1:100

NOTE 1 Contractor to verify all dimensions, ground levels on site before starting work and shall notify Architectural Design Ltd of any discrepancies.
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CLIENT :
MR & MRS J.RULE

PROJECT :
**PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD**

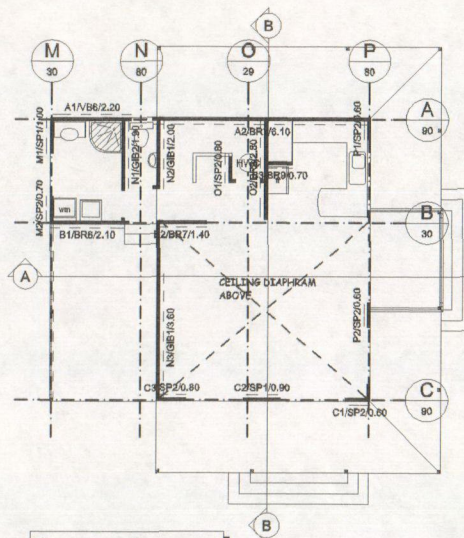
DRAWING : FLOOR PLANS			
DESIGN	BP	DATE	28/5/02
DRAWN	BP	SCALE	SHOWN



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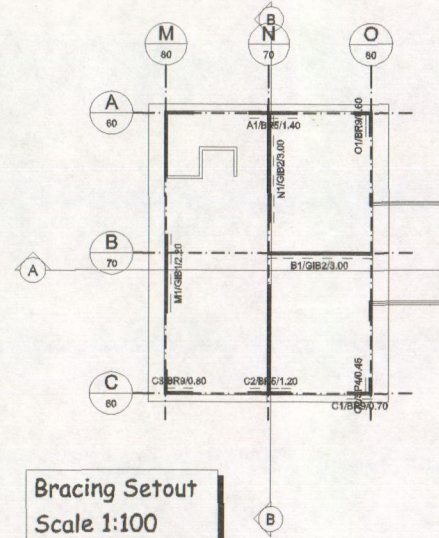
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JOB NO 206



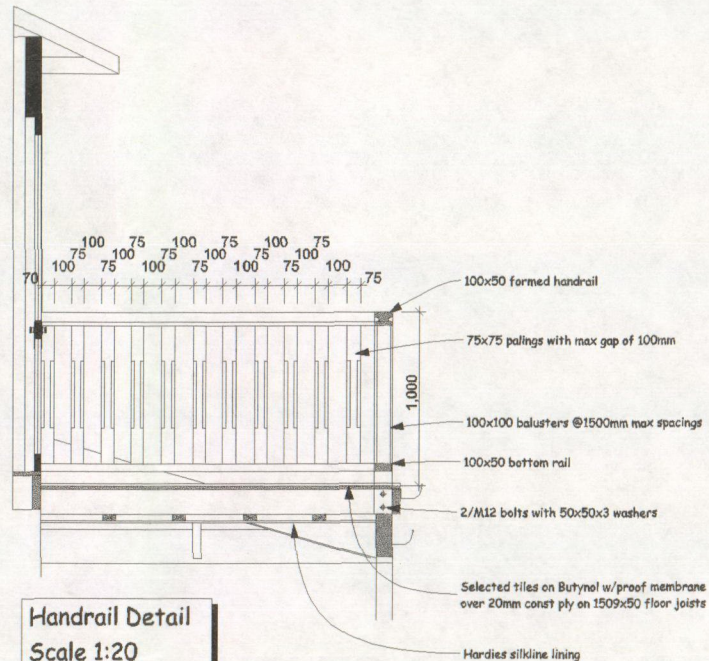
Bracing Setout
Level 1
Scale 1:100

BRACING CALCULATIONS										
Building Height to Apex		8.0 m	Location of Storey		Lower of Two					
Roof Height Above Eaves		2.0 m	Floor Load		26Pa					
Stud Height		2.4 m	Roof Weight		Light					
Roof Pitch		0 - 25 °	Cladding Weights:		No					
Hip Roof		No	- Subfloor		Light					
Building Length (BL)		8.0 m	- Lower Floor		Medium					
Building Width (BW)		3.0 m	- Upper Floor		Medium					
Wind Zone		Very High	Room in Roof Space		No					
W along		215 BU/m	Gross Plan Area (GPA)		120.0 m ²					
W across		202 BU/m	Earthquake Zone		C					
W along x BW		1,935.0 BU/s	EQ		6.6 BU/m ²					
W across x BL		1,816.0 BU/s	EQ x GPA		1,032.0 BU/s					
ALONG										
Bracing Line	Min BU/s Required	Brace No.	Brace Type	Brace Length	Brace Angle	Brace Height	Rating BU/s/m	BU/s Achieved	Earthquake BU/s Achieved	
A	90	A1	Other	2.2	0.0	2.4	120	264.0	105	231.0
B	90	A2	BR7	6.1	0.0	2.4	145	884.5	145	884.5
		B1	BR6	2.1	0.0	2.4	150	315.0	110	231.0
		B2	BR7	1.4	0.0	2.4	145	203.0	145	203.0
		B3	BR9	0.7	0.0	2.4	110	77.0	95	66.5
C	90	C1	SP2	0.6	0.0	2.4	85	51.0	85	51.0
		C2	SP1	0.9	0.0	2.4	100	90.0	100	90.0
		C3	SP2	0.6	0.0	2.4	85	51.0	85	51.0
Totals Achieved							W 1,952.5	E 1,825.0		
Totals Required							W 1,935.0	E 1,032.0		
ACROSS										
Bracing Line	Min BU/s Required	Brace No.	Brace Type	Brace Length	Brace Angle	Brace Height	Rating BU/s/m	BU/s Achieved	Earthquake BU/s Achieved	
M	80	M1	SP1	1.0	0.0	2.3	100	111.8	100	111.8
N	80	M2	SP2	0.7	0.0	2.3	85	66.4	85	66.4
		N1	G/B2	1.9	0.0	2.4	75	142.5	80	114.0
		N2	G/B1	2.0	0.0	2.4	135	270.0	135	270.0
O	28	O1	G/B1	3.8	0.0	2.4	135	496.0	135	496.0
		O2	SP2	0.6	0.0	2.4	85	51.0	85	51.0
P	80	O3	BR6	2.8	0.0	2.4	150	420.0	110	308.0
		P1	SP2	0.6	0.0	2.4	85	51.0	85	51.0
		P2	SP2	0.6	0.0	2.4	85	51.0	85	51.0
Totals Achieved							W 1,831.4	E 1,490.9		
Totals Required							W 1,816.0	E 1,032.0		



Bracing Setout
Scale 1:100

BRACING CALCULATIONS											
Building Height to Apex		8.0 m		Location of Storey		Upper of Two					
Roof Height Above Eaves		2.0 m		Floor Load		26Pa					
Stud Height		2.4 m		Roof Weight		Light					
Roof Pitch		0 - 25 °		Cladding Weights:		No					
Hip Roof		No		- Subfloor		Light					
Building Length (BL)		8.0 m		- Lower Floor		Medium					
Building Width (BW)		8.0 m		- Upper Floor		Medium					
Wind Zone		Very High		Room in Roof Space		No					
W along		81 BU/m		Gross Plan Area (GPA)		42.0 m ²					
W across		89 BU/m		Earthquake Zone		C					
W along x BW		646.0 BU/s		EQ		4.2 BU/m ²					
W across x BL		414.0 BU/s		EQ x GPA		176.4 BU/s					
ALONG											
Bracing Line	Min BU/s Required	Brace No.	Brace Type	Brace Length	Brace Angle	Brace Height	Rating BU/s/m	BU/s Achieved	Earthquake BU/s Achieved		
A	60	A1	BR5	1.4	0.0	2.4	115	161.0	85	119.0	
B	70	B1	G/B2	3.0	0.0	2.4	80	240.0	70	210.0	
		C1	BR9	0.7	0.0	2.4	110	77.0	95	66.5	
C	60	C2	BR5	1.2	0.0	2.4	115	138.0	85	102.0	
		C3	BR9	0.8	0.0	2.4	110	88.0	95	76.0	
Totals Achieved							W 704.0	E 673.5			
Totals Required							W 648.0	E 176.4			
ACROSS											
Bracing Line	Min BU/s Required	Brace No.	Brace Type	Brace Length	Brace Angle	Brace Height	Rating BU/s/m	BU/s Achieved	Earthquake BU/s Achieved		
M	80	M1	G/B1	2.2	0.0	2.4	55	121.0	50	110.0	
N	70	N1	G/B2	3.0	0.0	2.4	80	240.0	70	210.0	
O	80	O1	BR9	0.8	0.0	2.4	110	66.0	95	67.0	
		O2	SP4	0.5	0.0	2.4	70	31.5	85	38.9	
Totals Achieved							W 468.5	E 415.3			
Totals Required							W 414.0	E 176.4			



Handrail Detail
Scale 1:20

APPROVED PLAN

PLANNER *[Signature]*

RC.2030102 Date 4/9/02

- GENERAL NOTES:
1. Read this drawing together with the bracing plan & details.
 2. All wall framing shall be 90 x 45mm studs @ 600mm cts. Except in Bathrooms & Kitchen where studs are to @ 400mm cts. Where Winstones Aquadine is to be tiled. Ceiling strapping shall be 70 x 35mm battens @ 450mm cts.
 3. Fix all bracing, linings, roofing, fixtures, joinery, fittings & specialist equipment etc. in accordance with manufacturers instructions.
 4. Refer to the framing plans on Sheet 4 for beam & lintel sizes. Provide 6kN connections top & bottom for lintels against wind uplift.
 5. Cornice shall be 55mm gib cove.
 6. Skirtings shall be #27 Colonial. Provide rebated jambs to doors & windows.
 7. Glazing to windows, sidelights & doors to be in accordance with NZSS 4223, part 3.
 8. Glazing in Bathrooms to be in accordance with NZSS 4223, part 3, table 3, D4.
 9. All walls & floors of service rooms are to be finished with an impervious, easily cleaned material to comply with NZBC E3.
 10. All exterior timber to be H3 tan treated

- ROOF NOTES:
1. 125d pitched selected concrete tile roof on 50 x 50 tile-battens @ manufacturer's cts. To suit on NZ500 series Gangnail NZ Ltd trusses @ 900mm cts.
 2. Selected storm cloud gutter with pre-painted timber fascia.
 3. 450mm wide Silkline soffit.

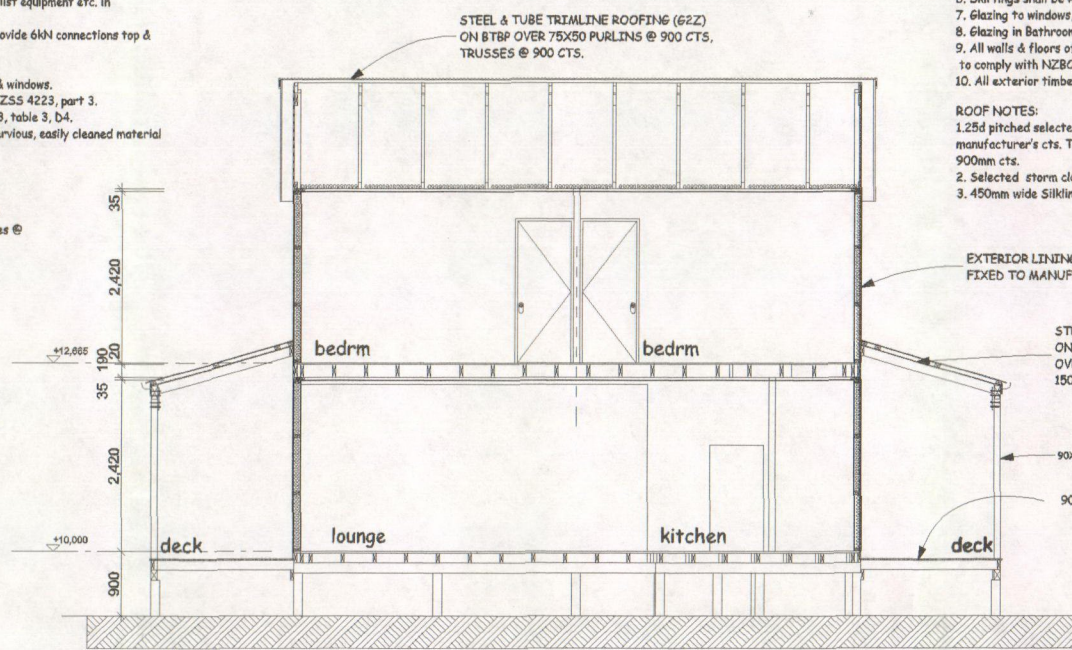
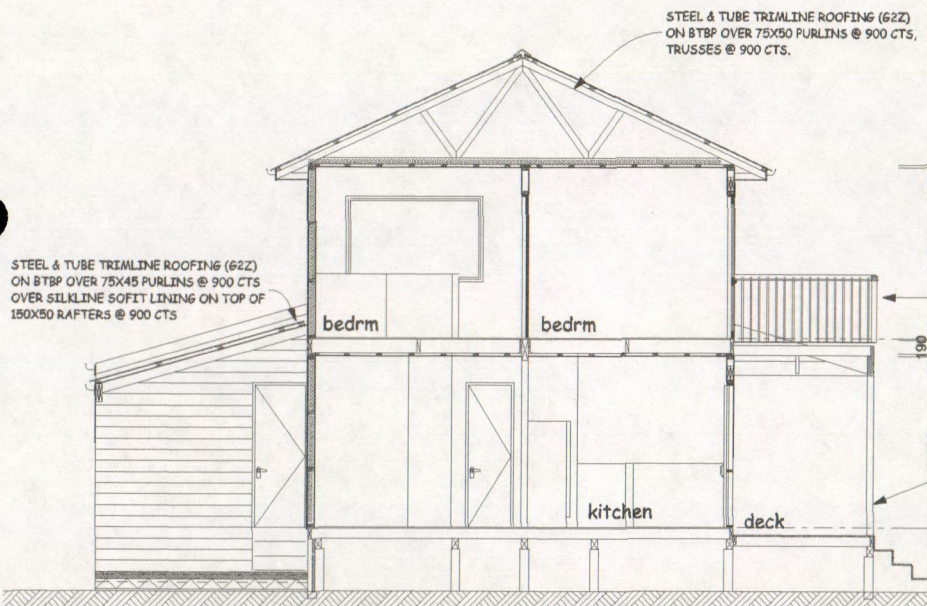
HANDRAIL & DECK REFER DETAIL

90x90 H3 POSTS

90x35 griptread decking

SUBFLOOR FRAMING
125x125 senton piles refer sheet 2 foundation plan

Section A-A
Scale 1:50



Section B-B
Scale 1:50

- GENERAL NOTES:
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 7. Glazing to windows, sidelights & doors to be in accordance with NZSS 4223, part 3.
 8. Glazing in Bathrooms to be in accordance with NZSS 4223, part 3, table 3, D4.
 9. All walls & floors of service rooms are to be finished with an impervious, easily cleaned material to comply with NZBC E3.
 10. All exterior timber to be H3 tan treated

- ROOF NOTES:
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 2. Selected storm cloud gutter with pre-painted timber fascia.
 3. 450mm wide Silkline soffit.

EXTERIOR LINING HARDIES LINEA W/BOARDS
FIXED TO MANUFACTURERS SPECIF

STEEL & TUBE TRIMLINE ROOFING (62Z)
ON 8TBP OVER 75X45 PURLINS @ 900 CTS
OVER SILKLINE SOFFIT LINING ON TOP OF
150X50 RAFTERS @ 900 CTS

90x90 H3 POSTS

90x35 griptread decking

SUBFLOOR FRAMING
125x125 senton piles refer sheet 2 foundation plan

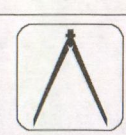
- NOTE
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 3. Do not scale off drawing

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CLIENT :
MR & MRS J.RULE

PROJECT :
**PROPOSED BEACH HOUSE
AT 120B TOKERAU BEACH ROAD**

DRAWING :			
BRACING LAYOUTS , SECTIONS A-A, B-B			
DESIGN	BP	DATE	28/5/02
DRAWN	BP	SCALE	SHOWN



**ARCHITECTURAL
DESIGN LIMITED**
PHONE/FAX 817 8154 MOBILE 025 553-177

SHEET
05
JOB NO 206