



WHANGANUI
DISTRICT COUNCIL
Te Kaunihera a Rohe o Whanganui

IMPORTANT NOTE

These documents are required to be onsite for all inspections and must be a complete and full copy of the WDC stamped “Approved” documents.

Failure to have a full and legible set of documents may result in a terminated inspection. A terminated inspection will incur additional charges.



INSPECTION RECORD

This record, together with the Building Consent and approved plans, is to remain on the construction site at all times.

Project Location	TO BOOK AN INSPECTION PLEASE PHONE WDC BUILDING CONTROL	BCon19/0402
27 Kitchener St WHANGANUI	ON 349 0001 AND QUOTE THE FOLLOWING APPLICATION NUMBER:	
Description of Work	Internal alterations. Create a new bathroom adjacent to the existing.	
Applicant	Design Lines 2000 Ltd 167 Mount View Road, Bastia Hill, Whanganui 4500	

SUMMARY OF CONDITIONS

Building Consent Number BCon19/0402

PIM Conditions

Code	Condition
	All work on the project must comply with the requirements of the NZ Building Code.
	A PIM only document is not an approval to build. A Building Consent is required before building work commences.
	W.D.C will follow up on building work not completed within two years of building consent issue.
	A Building Consent lapses and is of no effect if the building work has not been started within 12 months of the date of issue.
	If the building is public premises it may not be occupied until either a code compliance certificate or certificate for public use has been issued.
	Please note [Electrical, and Gasfitting subtrades do not form part of the building consent inspection process. However, Council is required to receive 'Energy Certificates' from both of these trades before issue of a Code Compliance Certificate].

Building Consent Information

Code	Information
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Your project's inspections are listed on the next page...



Please Note: A minimum of 48 hours notice is required for the booking of an inspection. The inspection record sheet and accompanying building consent documentation must be on site for use by the inspector at the time of the inspection.

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items (eg. Engineer). Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact WDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

Note: Further inspections may incur additional cost at time of Code Compliance Certificate issue.

Inspections Record For Building Consent Number BCon19/0402								
<i>Inspection</i>	<i>When to Request</i>	<i>Date</i>	<i>Inspector</i>	<i>Complies with Code</i>	<i>Reinspect</i>	<i>Notes</i>		
BUILDING AND PLUMBING PRELINE COMBINED INSPECTION	Before Internal linings are fixed.					Includes subfloor plumbing inspection		
FINAL BUILDING INSPECTION	On Completion					Smoke alarms to be checked at time of final inspection For final inspection on completion please supply: <ul style="list-style-type: none"> The completed CCC application form. All energy certs. As Built Drainage in variation from approved plans 		



BUILDING CONSENT NUMBER BCon19/0402

Section 51, Building Act 2004

The building:

<i>Street address of building:</i>	<i>Legal description of land where building is located:</i>
27 Kitchener St WHANGANUI	PT Section 90 Left Bank Wanganui River 0.0589 Ha
<i>Building name:</i>	<i>Location of building within site/block number:</i>
<i>Level/unit number:</i>	

The owner:

<i>Name of Owner:</i>	
Mr GR Davis	
<i>Mailing address:</i>	<i>Street Address/registered Office:</i>
Della Davis 7 Ecclesfield Grove Silverstream Upper Hutt 5019	Della Davis 7 Ecclesfield Grove Silverstream Upper Hutt 5019

Phone numbers:

<i>Landline:</i>	045288559	<i>Mobile:</i>	0274288559
<i>Daytime:</i>	0272367855	<i>After hours:</i>	
<i>Facsimile number:</i>			
<i>Email address:</i>		<i>Website:</i>	

First point of contact for communications with the building consent authority:

<i>Contact Person:</i>	
Design Lines 2000 Ltd	
<i>Mailing address:</i>	<i>Street Address/registered Office:</i>
167 Mount View Road, Bastia Hill, Whanganui 4500	167 Mount View Road, Bastia Hill, Whanganui 4500

Phone number:

<i>Landline:</i>		<i>Mobile:</i>	0274578390
<i>Daytime:</i>	3438101	<i>After hours:</i>	
<i>Facsimile number:</i>	3438111		
<i>Email address:</i>		<i>Website:</i>	

Building Work

The following building work is authorised by this consent

<i>Project</i>
Internal alterations. Create a new bathroom adjacent to the existing.

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

<i>Intended Use</i>	<i>Intended Life</i>
Single Detached Residential	50+ Years
<i>Estimated Value (\$)</i>	
\$5000.00	

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty of responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.



CONDITIONS OF BUILDING CONSENT NUMBER BCon19/0402

Section 51, Building Act 2004

This Building Consent is issued Subject to the following conditions:

Building Act 2004, Section 90:

Inspections by Building Consent Authorities

Agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

Compliance Schedule:

A compliance schedule (CS) is not required for this building.

#Attachments

- ‡Copies of the following documents are attached to this building consent:
- ‡Project information memorandum number BCon19/0402
- ‡Inspection record
- ‡Informative notes

Signed for and on behalf of the Whanganui District Council

Bill Leslie

Lead Building Assessments.

Date: 12 July, 2019

101 Guyton Street
P O Box 637, Whanganui
Phone: (06) 349 0001
Fax: (06) 349 0000
Email: wdc@whanganui.govt.nz
Web: www.whanganui.govt.nz



**WHANGANUI
DISTRICT COUNCIL**
Te Kaunihera a Rohe o Whanganui

BUILDING CONSENT NUMBER BCon19/0402

Informative notes:

- The Building Consent, conditions, inspection sheet, and approved plans must be kept on site at all times until completion of the project.
- Failure to request inspections will risk the non-issuing of a code compliance certificate and the structure may be deemed non-complying.
- Any inspection time required over and above that allowed may incur a further charge.
- Under Section 52, a building consent lapses and is of no effect if the building work to which it relates is not commenced within 12 months after the date of issue.
- Under Section 93, if the owner has not made application within 24 months, the BCA (Building Control Authority), must decide whether or not to issue a CCC (Code Compliance Certificate).



PROJECT INFORMATION MEMORANDUM NUMBER BCon19/0402

Section 31, Building Act 1991

Design Lines 2000 Ltd
167 Mount View Road
Bastia Hill
Whanganui 4500

<i>Project Location</i>	<i>Assessment Number/Legal Description</i>
27 Kitchener St WHANGANUI	PT Section 90 Left Bank Wanganui River 0.0589 Ha
<i>Category</i>	<i>Description of Work</i>
Solar / HW Heating / minor plumbing & drainage	Internal alterations. Create a new bathroom adjacent to the existing.
<i>Intended Life</i>	<i>Estimated Value (\$)</i>
50+ Years	5000.00

This Project Information Memorandum is confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004 and any requirements of the Building Consent (number BCon19/0402), which has been granted.

This Project Information Memorandum is subject to the following conditions:

- **All work on the project must comply with the requirements of the NZ Building Code.**

Signed for and on behalf of the Whanganui District Council

Bill Leslie

Lead Building Assessments.

Date: 12 July, 2019

Rates invoice

01 July 2018 to 30 June 2019

Whanganui District Council
101 Guyton Street
PO Box 637
Whanganui 4540

Mr Gareth R Davis
Della Davis
7 Ecclesfield Grove
Silverstream
Upper Hutt 5019



WHANGANUI
DISTRICT COUNCIL
Te Kaunihera a Rōhe o Whanganui

Invoice date	1 May 2019
Instalment	4 of 4
Total rates 2018/2019	\$2,237.01
Notice number	2048664
Property number	11430
Valuation reference	1323035400
Property location	27 Kitchener St
Land area	0.0589 Ha
Legal description	PT SEC 90 LBWR

Tax invoice / Credit note / Debit note

GST Number: 51-668-324

Pay by instalment

2018/2019 Instalment 4 of 4

\$560.01

Or pay total rates owing

Balance payable to 30 June 2019

\$560.01

Statement of account

Previous years rates balance	\$2,817.63
Current year's rates previously invoiced	\$1,677.00
This instalment (Including GST of \$73.04)	\$560.01
Penalties	\$337.67
Payments and adjustments	\$4,832.30Cr
Balance due 29 May 2019	\$560.01

Rates not paid by the penalty date for each instalment will incur a 10% penalty - see reverse for details.

Enquiries

Phone (06) 349-0001
Email rates@whanganui.govt.nz
Visit www.whanganui.govt.nz

Thank you for paying by Direct Debit

This statement does not include payments received after 26 April 2019

Whanganui District Council
101 Guyton Street
PO Box 637
Whanganui 4540

Direct debit advice

The amount of your direct debit is \$560.01 and
will be debited from 02-0500-004291450000 on
29 May 2019

Mr Gareth R Davis

Property number	11430
Instalment	4 of 4
Due date	29 May 2019



27 Kitchener Street

From: "Gareth" <garethrdavis@hotmail.com>
To: "jim.r@gmx.com" <jim.r@gmx.com>
Date: Jun 22, 2019 5:36:28 PM

Hi Jim,

Attached please find my rates bill for 27 Kitchener Street.

I consent to you acting on my behalf in relation to all Council permit issues for the new shower room at Kitchener Street.

Please let me know if you need anything else from me.

Kind Regards,
Gareth



Virus-free. www.avast.com

Attachments

- kitchener.pdf

Memorandum from licensed building practitioner: Certificate of design work



Easy accurate LBP Compliance

Section 45 and section 30C, Building Act 2004

THE BUILDING

Street address: **27 Kitchener St**Suburb: **Whanganui East**Town/City: **Whanganui**Postcode: **4500**

THE OWNER(S)

Name: **Gareth & Della Davis**Mailing address: **7 Ecclesfield Grove**Suburb: **Silverstream**

PO Box/Private Bag:

Town/City: **Wellington**Postcode: **5019**Phone number: **Co 0274 578 390**Email Address: **garethrdavis@hotmail.com**

BASIS FOR PROVIDING THIS MEMORANDUM

Sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project.

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I **Jim Richardson** carried out / supervised the following design work that is restricted building work

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick <input checked="" type="checkbox"/> if included	If appropriate, provide details of the RBW	Tick whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Ventilation System <input checked="" type="checkbox"/>	Other: Extract Fan (150mm Manrose) thru wall at high level, with cowl.	<input checked="" type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	
Waterproofing <input checked="" type="checkbox"/>	Other: Coved vinyl flooring	<input checked="" type="checkbox"/> Carried out <input checked="" type="checkbox"/> Supervised	

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: **Jim Richardson**LBP or Registration number: **112960**The practitioner is a: ☒ Design LBPStreet address: **167 Mt View Road**Suburb: **Whanganui**Town/City: **Whanganui**Postcode: **4500**

DECLARATION

I **Jim Richardson** LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

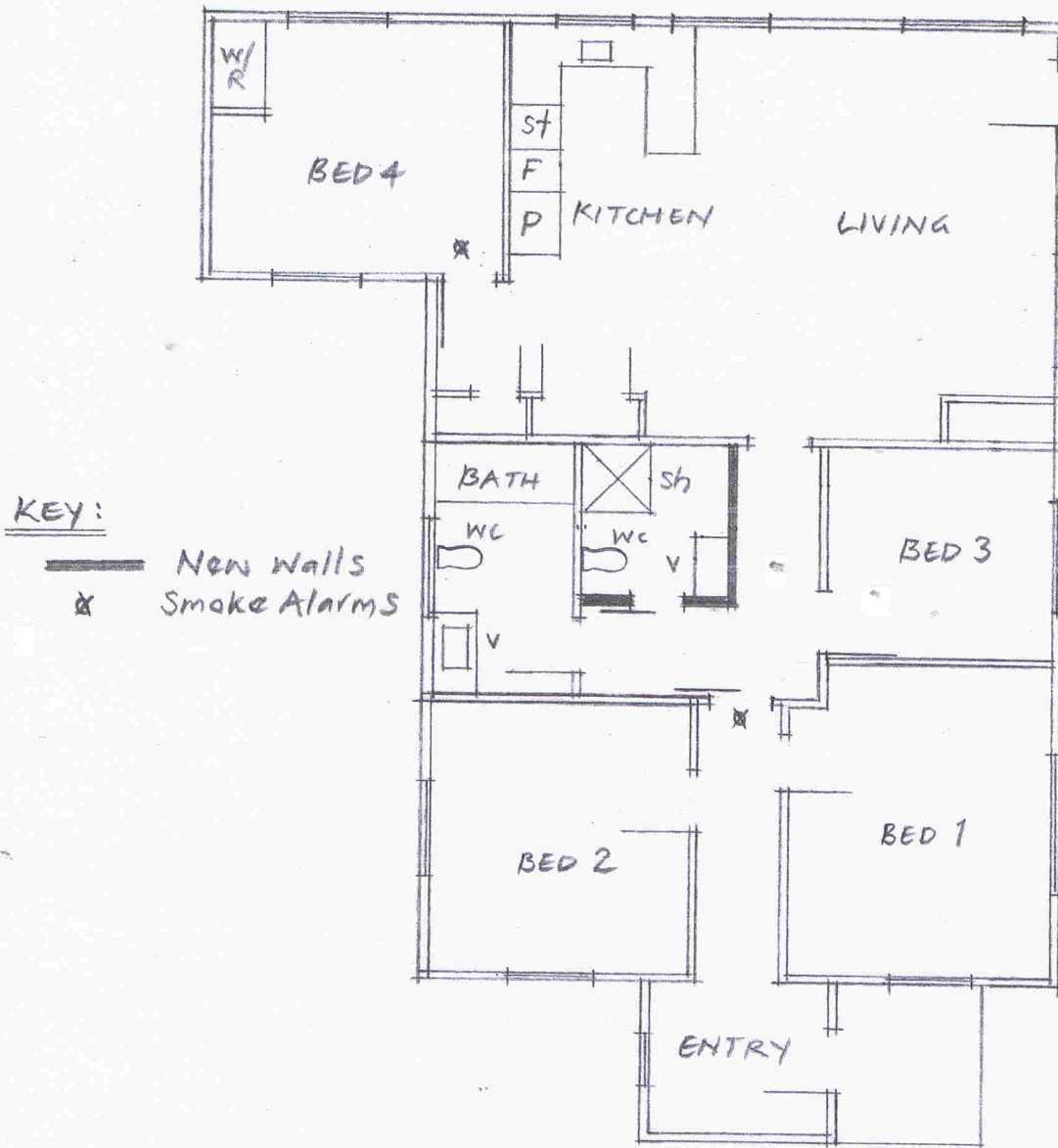
Signature: **Jim Richardson**Date: **01/07/2019**

SCOPE OF WORKS.

1. To add a Shower Room adjacent the existing Bathroom. The existing space is a Lobby/Passage. This is a prudent move for this 4 bedroom house, to have 2 separate amenity areas!
2. This will include a new toilet, a 900 x 900 proprietary shower & wash hand basin.
3. Install new 90 x 45 H1.2 SG8 non loadbearing partitions up to the existing ceiling. Install a toughened glass borrowed light in the passage above 2M. Install a sliding door & track to the exterior, along with appropriate snibbing hardware. Install sound proofing or insulation to the walls as feasible. Make good the floor with 21mm plywood.
4. Line the walls with 10mm Aqualine Gib & paint.
5. Connect the drains to the existing sewer pipe & gulley trap. For this internal room, install a Floor Waste Gulley, serving the adjacent wash hand basin. Install coved vinyl flooring.
6. Install a Manrose 150mm fan or similar approved, venting to outside via the soffit. Control with movement sensor & On/Off switch, to approval of owners.
7. Run hot & cold water supply to the necessary fitting in Polybutylene pipe with fast fit or crimped jointers. Install insulation to the hot water pipe & all necessary valves, Allow to install fittings as supplied by the owners – WC pan with cistern, vanity unit & basin, Mixer tap, Rainhead shower &/or slide shower, heater & heated towel rail. Supply & install all necessary switches & controls & Manrose fan.
8. Fit a tempering valve & seismic restraint to the existing HWC, if none existing.
9. Install Hush type smoke alarms to within 3M of each sleeping space (10 tear type recommended).
10. Allow to paint all surfaces affected by the work, to Resene 1 line specs, or similar approved.
11. These Scope of Works form part of the documents, so read carefully.

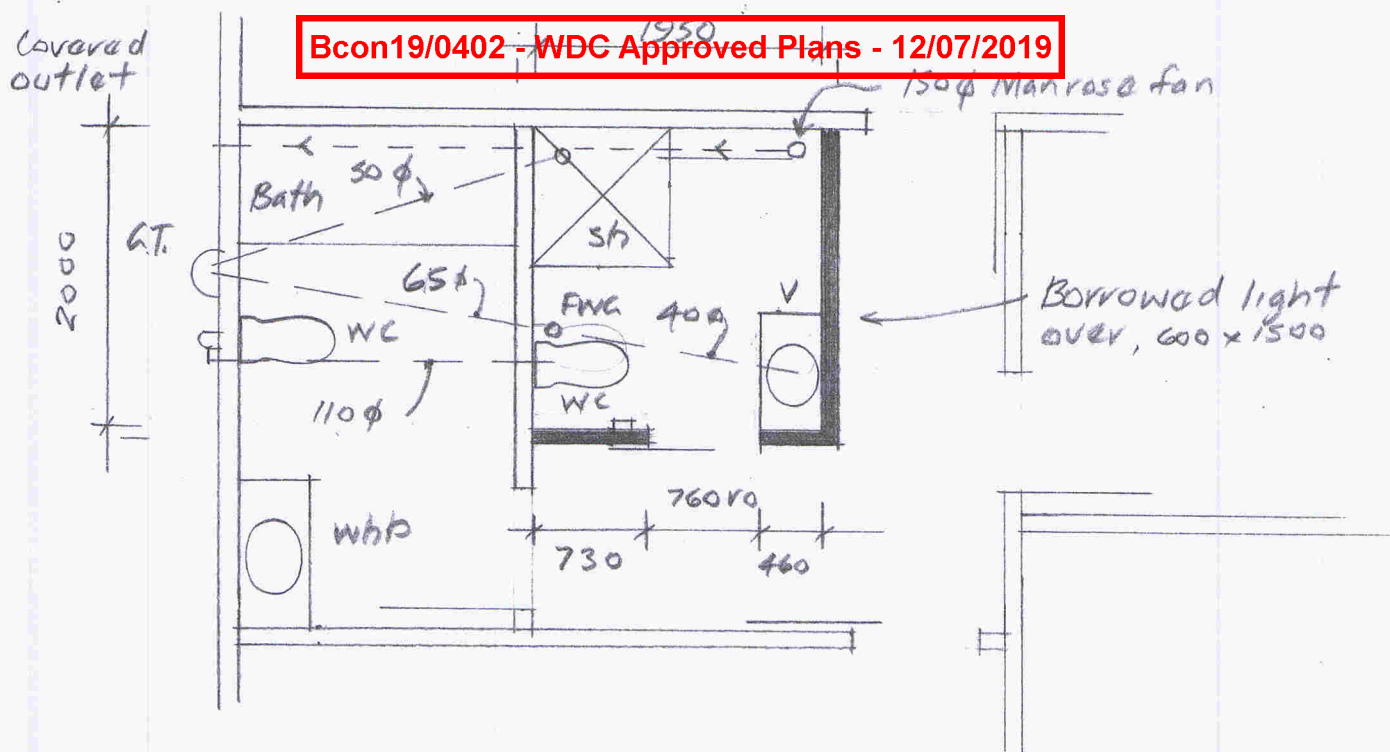
SPECIFICATIONS:

1. All work shall be to:
 - NZ Building Code, NZS 3604:2011 & subsequent amendments, AS3500, 2.2, G12 & G13 (Plumbing),
 - B1 for Structure, B2 for Durability, E3 for Internal Moisture, F2 for Hazardous Building Materials, F7 Warning Systems, G4 for Ventilation, G9 for Electricity, G12 for Water Supplies, G13 for Foul water & H1 for Energy.
 - Manufacturers written instructions, & the enclosed drawings and specifications,
 - NZS 3910:2003 (Conditions of Contract) where applicable, and good trade practice.
 - All glazing shall be to NZS 4223: Part 3 for Human Impact to C7 (NZBC).
 - Provide all necessary compliance documentation at conclusion of all work.
 - Check all dimensions on site prior to fabrication. **Install shall mean supply and fix.**
 - Make good all surfaces on completion of work, and **to match existing.** Allow for all necessary hardware.
 - **Allow for all work necessary to complete the Alteration, whether specified or not. Tag any items not included!**
2. Allow to add new walls as directed. Terminate unused services and remove redundant fittings. Eliminate existing services unnecessary fittings. Allow to completely redecorate areas where work undertaken, internally & externally.
3. Install R2.6 Snugfloor batts to the floor under the new bathroom, & R2.6 or sound batts to Walls, where accessible.
4. Allow to stop to a Level 4 finish & repaint



NEW FLOOR PLAN 1:100

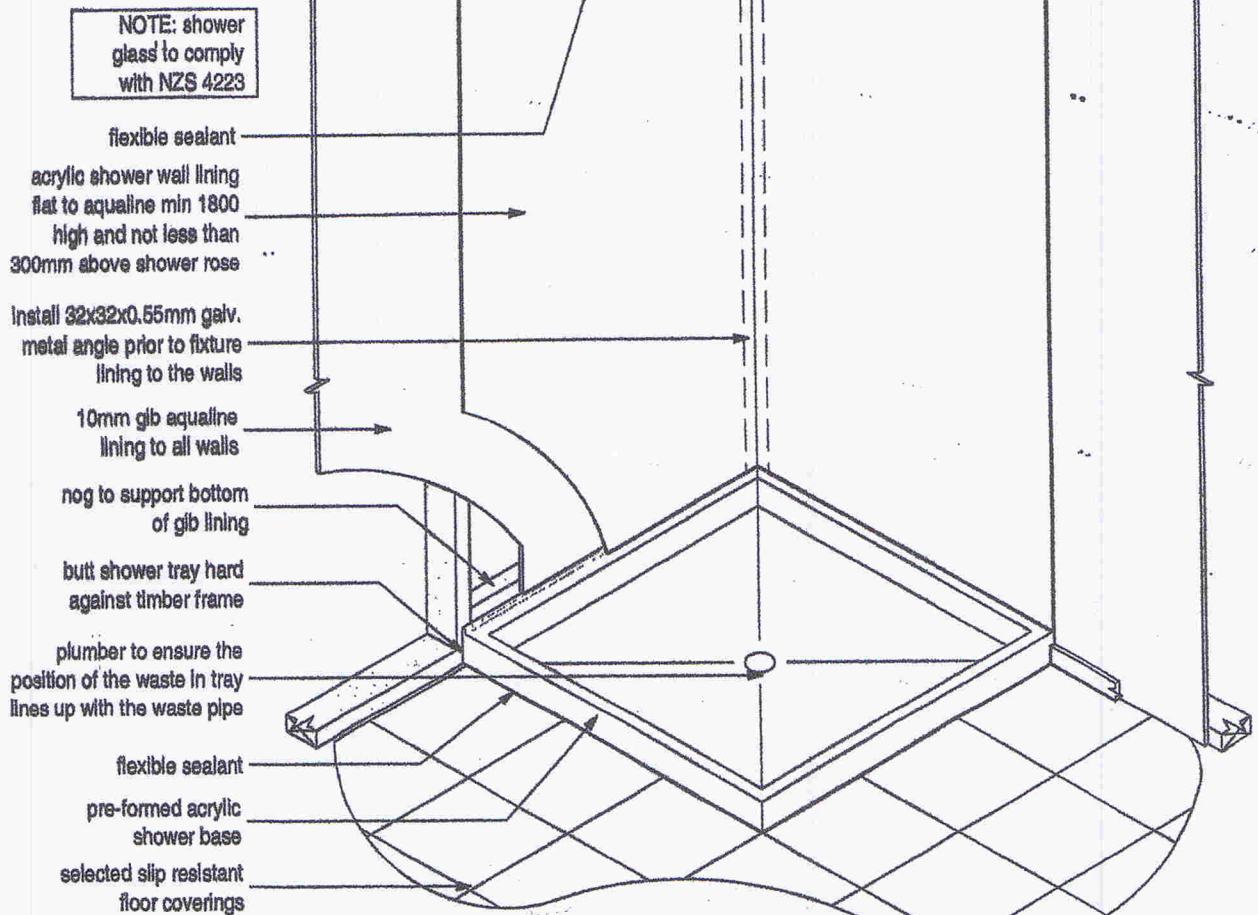
27 KITCHENER ST
WHANGANUI



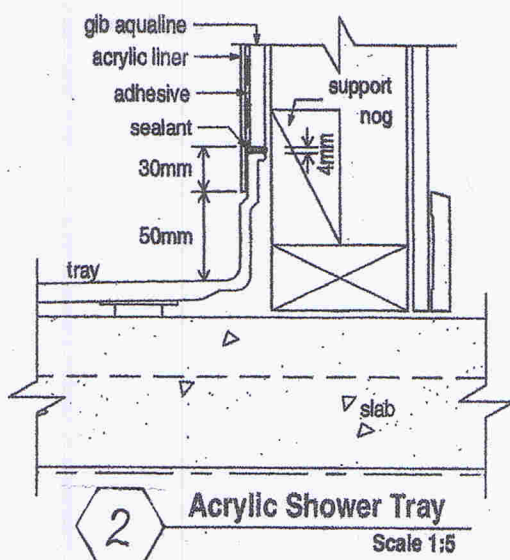
SHOWER ROOM PLAN 1:50

NOTES:

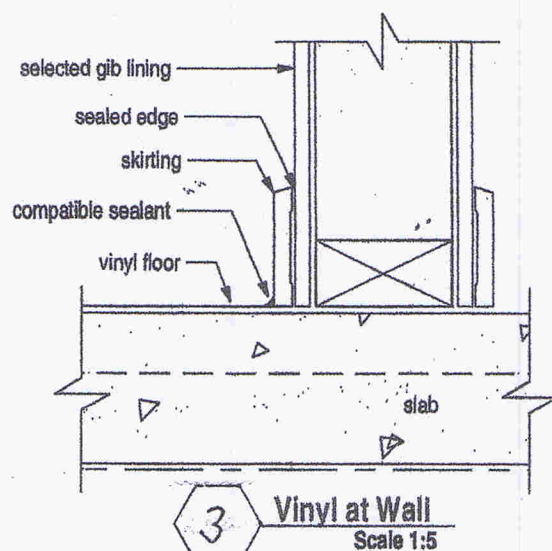
- New walls 90x45 HI-2SAB at 600 c/s, 2700 ceiling
- All wastes to be PVC at 1 in 40 fall
- Connect 110φ PVC Sewer to existing waste pipe
- Fit 50φ PVC drain from Easyclean trap in shower.
- Fit 1500 long toughened glass borrowed light at 2M to passage wall
- Line walls with 10mm Aqualine
- Fit coved vinyl to Shower Room floor
- Fit 40φ waste from whb to FWC, then 65φ to G.T.
- Fit 150mm Manrose fan to exterior wall, with covered cowling
- Ensure tempering valve is fitted to HWC, & seismic restraints



1 Shower Installation
Scale 1:20



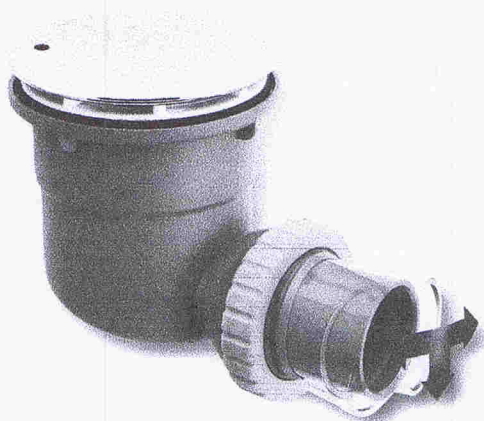
2 Acrylic Shower Tray
Scale 1:5



3 Vinyl at Wall
Scale 1:5

Easy Clean™ Trap

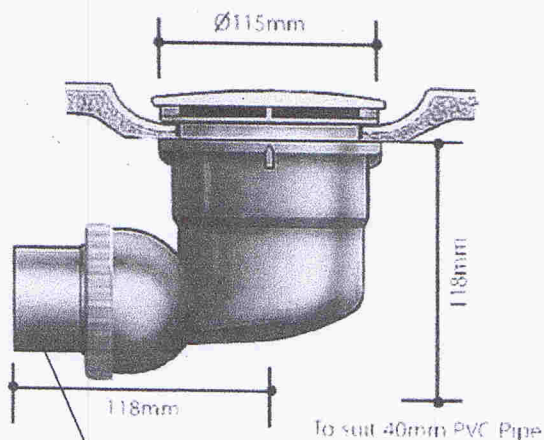
The lid and basket can be quickly removed, cleaned and clicked back into place. Complies with AS2887. Ideal for the Englefield Quick-Fit shower tray and has a water flow capacity of 52 litres/min.



Colour/Finish	White or Chrome waste lid
Size	40mm
Features	Removable Lid for easy cleaning Hard-wearing materials.

Product Code	Chrome	White
Easy Clean Trap	A0629-CP	A0629-0
Easy Clean Tile Trap	A0631-CP	A0631-0

Note *The Easy Clean Trap in Chrome is included with a complete shower enclosure purchase unless stated otherwise.



MINIMUM CONTINUOUS FALL OF 1.5° (25mm PER METRE)
FOR WASTE OUTLET PIPE TO ENSURE DRAINAGE.
AVOID BENDS OR RESTRICTIONS FOR 1.5 METRES FROM
TRAP OUTLET.

All measurements shown are in millimetres.
Sizes are approximate.
1183723-A04-B Dec 2012



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New Zealand
133 Diana Drive, Glenfield, Auckland, New Zealand
PO Box 100-146 NSMC, Auckland, 0745
Ph: 0800 100 382 Fax: 0800 66 44 88
www.engagefield.co.nz

Figure 8: Mains Pressure Storage Water Heater System (unvented)

Paragraphs 6.1.2 and 6.2.1 b)

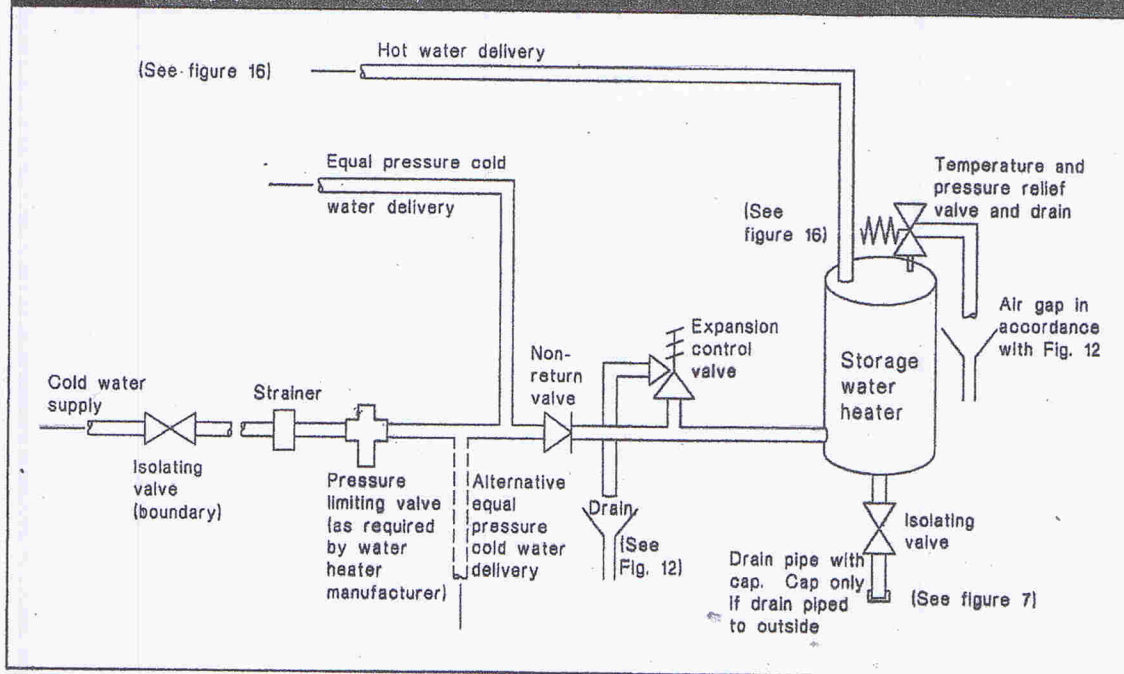


Figure 14: Seismic Restraint of Storage Water Heaters 90 - 360 litres

Paragraph 6.11.4

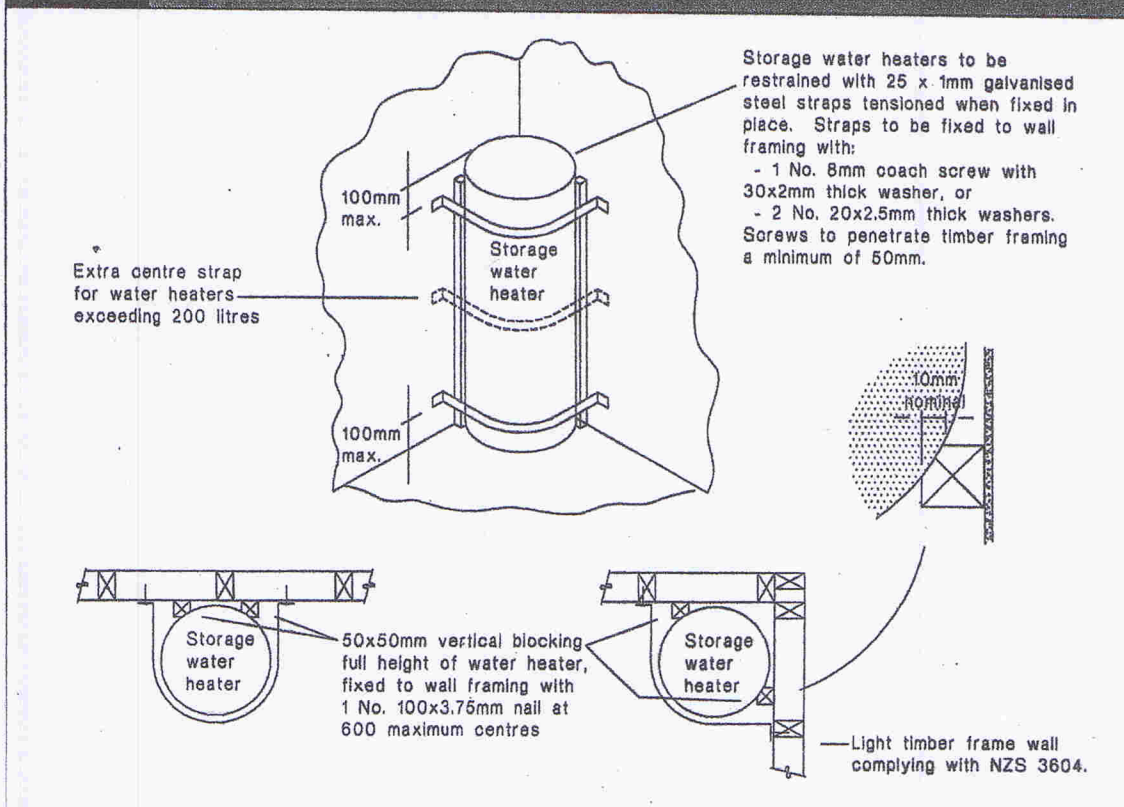


Table 4: Tempering Valve and Nominal Pipe Diameters

Paragraphs 5.3.1 and 6.12.1

	Low pressure (i.e. header tank supply or low pressure)	Low and medium pressure unvented (valve vented) and open vented	Mains pressure
Pressure of water at tempering valve (kPa)	20 – 30	30 – 120	over 300
Metres head (m)	2 – 3	>3 – 12	over 30
Minimum tempering valve size	25 mm	20 mm	15 mm
Pipes to tempering valve	25 mm (see Note 3)	20 mm	20 mm (15 mm optional) (see Note 1)
Pipes to shower	20 mm	20 mm (see Note 4)	20 mm (see Note 5) (15 mm optional) (see Note 1)
Pipes to sink/laundry (see Note 2)	20 mm	20 mm	15 mm
Pipes to bath (see Note 2)	20 mm	20 mm	15 mm
Pipes to basins (see Note 2)	15 mm	15 mm	10 mm

Notes:

1. If supplied by separate pipe from storage water heater to a single outlet.
2. This table is based on maximum pipe lengths of 20 metres.
3. 2 m maximum length from water heater outlet to tempering valve.
4. 15 mm if dedicated line to shower.
5. 10 mm if dedicated line to shower.
6. Table 3 pipe sizes have been calculated to deliver water simultaneously to the kitchen sink and one other fixture.

Table 5: Water Heaters

Paragraph 6.1.1

Water heater type	Standard/Regulation
Electric low pressure copper storage water heater	NZS 4602
Electric storage water heater	NZS 4606: Parts 1, 2 and 3 AS 1056: Part 1
Electric instantaneous water heater	AS/NZS 3350.2.35
Gas storage water heater	Gas Regulations
Gas instantaneous water heater	Gas Regulations
Solar storage water heater	NZS 4613 (see G12/AS2) AS/NZS 2712 (see G12/AS2)



CODE COMPLIANCE CERTIFICATE NUMBER BCon19/0402

Section 95(3), Building Act 2004

Mr GR Davis
7 Ecclesfield Grove
Silverstream
Upper Hutt 5019

**Building Consent
No:** BCon19/0402

Issue Date: 13/11/2019

The building:

Street address of building:	Legal description of land where building is located:
27 Kitchener St WHANGANUI	PT Section 90 Left Bank Wanganui River 0.0589 Ha
Building name:	Location of building within site/block number:
Level/unit number:	Current, lawfully established, use: [include number of occupants per level and per use if more than 1]
	Single Detached Residential
Year first constructed:	
1920	

The owner:

Name of Owner:	
Mr GR Davis	
Mailing address:	Street Address/registered Office:
Della Davis 7 Ecclesfield Grove Silverstream Upper Hutt 5019	Della Davis 7 Ecclesfield Grove Silverstream Upper Hutt 5019

Phone numbers:

Landline:	045288559	Mobile:	0274288559
Daytime:	0272367855	After hours:	
Facsimile number:			
Email address:	garethrdavis@hotmail.com	Website:	

First point of contact for communications with the building consent authority:

Contact Person:	
Design Lines 2000 Ltd	
Mailing address:	Street Address/registered Office:
167 Mount View Road, Bastia Hill, Whanganui 4500	167 Mount View Road, Bastia Hill, Whanganui 4500

Phone number:

Landline:		Mobile:	0274578390
Daytime:	063438101	After hours:	
Facsimile number:	063438111		
Email address:		Website:	

Building Work

Building consent number:	Issued by:
BCon19/0402	Whanganui District Council
Type of Work	
Single Detached Residential	
Description of Work	
Internal alterations. Create a new bathroom adjacent to the existing.	
Intended Life	Estimated Value
Indefinite but not less than 50 years.	\$5000.00

Code compliance:

The building consent authority named below is satisfied, on reasonable grounds that the building work complies with the building consent.

*Compliance schedule

There are no specified systems in this building.

This is a final Code Compliance Certificate issued in respect of all of the building work under the above Building Consent.

Signed for and on behalf of the Whanganui District Council:



GJ Hoobin

Building Control Team Leader