



# APPLICATION for P.I.M / Building Consent

**This application is for a: (tick the appropriate box)**

- ☐ Project Information Memorandum - PIM (preliminary application for a Building Consent)  
☐ Building Consent

BC 10/60

## Owner

Name: S M Lewis 37567  
Mailing Address: 27 Kitchener St.  
Phone: .....

## Contact Person

Name: T. K. Skews.  
Phone: 3444639.  
Fax: .....

## Project

Description of PROJECT and USE: Extension to Dwelling.

## Project Location

Street Address/Rural No.: 27 Kitchener St.

## Durable Life of Project (please tick ONE box only)

- ☐ 5 Years  
☐ 15 Years  
☒ Indefinite but not less than 50 Years  
☐ Other (please state): .....

## Value of Project Work

(include all labour & materials)

\$ 44,000 (Incl. G.S.T)

## Fees & Key Personnel

Consent Fees to be paid by? T. K. Skews.  
Code Compliance Certificate to be sent to? Owner.  
Builder(s) T. K. Skews.  
Craftsman Plumber D. Anderson.  
Registered Drainlayer D. Anderson.

## Floor Area of Project

New Residential Dwellings or  
New Commercial Only ..... m<sup>2</sup>

Signed by (or on behalf of) the applicant

Signature: T. K. Skews.

owner, builder, plumber, designer, agent  
(circle appropriate one)

Date: 17/6/96.

## Office use only

## LEGAL DESCRIPTION

WDC Property No. 11430  
Valuation Roll No. 1323-035400  
Lot(s) DP  
Section Pt 90 Block .....  
Survey District .....

## FEES APPLICABLE

Building Consent Application \$ .....  
Building Consent Issue \$ .....  
P.I.M. \$ .....  
Non-Notified Appl. Fee \$ .....  
Prepaid Crossing \$ .....  
Prepaid Sewer Connection \$ .....  
Prepaid Water Connection \$ .....  
Stormwater Connection \$ .....  
Building Research Levy \$ .....  
BIA Levy \$ .....  
Additional Charges \$ .....

**Total Fees (Incl. G.S.T) \$** .....

**Return application to:**  
Technical Officer  
Environmental Services  
Wanganui District Council  
PO Box 637  
Wanganui

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

101 Guyton Street P.O. Box 637 Wanganui New Zealand Phone 06 345 8529 Fax 06 347 7800

• PARKING • ANIMAL CONTROL • PLANNING • LIQUOR LICENSING • BUILDING CONTROL • ENVIRONMENTAL HEALTH

## Project Details

The project involves the following:

(tick each applicable box, if any, and attach two (2) copies of any relevant information)

- (1) ☐ Location in relation to legal boundaries, and external dimensions of new, relocated or altered buildings
- (2) ☐ New provisions to be made for vehicular access and on-site parking, ie: a new crossing
- (3) ☐ Provisions to be made in building over or adjacent to any road or public place, ie: hoardings, signs
- (4) ☐ New provisions to be made for disposing of stormwater and wastewater
- (5) ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- (6) ☐ New connections to public utilities, ie: new drainage or water connections
- (7) ☐ Provisions to be made for any demolition work, ie: the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

## Project Documents (provided with this application)

- ☐ Plans & Specifications
- (22) ☐ Producer Statements (ie: truss design, design review) - specify: .....
- (23) ☐ Other Documents - specify: .....

## Inspections

- (26) ☐ By Wanganui District Council
- (27) ☐ Other - specify (ie: Design Engineer): .....

for office use only							
Unit	Checks				Inspections	Approved	
	Initials	Date	Initials	Date		No.	Initials
Administration	AB	18/6					
Planning						JS	19/6
Building	J	20/6				J	20/6
Drainage							
Water							
Structural							
Plumbing/Drainage						AB	21/6
Roading							
Health							
Dangerous Goods							
Approved for issue of PIM/B Building Consent							
District Building Controller: <u>AB 20/6</u>				Date: <u>21 JUN 1996</u>			

# BUILDING PERMIT CHECK LIST

Property reference		27 Kitchener St.	
Type of Building		Add to bulg.	
Net Site Area	Zoning	Reserves	
	RA		
REQUIREMENTS	REQUIRED	PROVIDED	O.K.
1. Coverage			
2. Density			
3. Height			
4. Front Yard (including Beautification)	9m X 9m Δ		✓ ✓
5. Side Yards	Both sides do not exceed 7.5m length or 3.5m height		✓ ✓
6. Rear Yards			
7. Outdoor Living Space			
8. Storage Area			
9. Service Area			
10. Car Spaces			
11. Vehicular Access		only 2.5m X 2.4m clearance ✓ thru carport.	
12. Loading Bays / Crossings / Distance from Intersection			
13. Trees / Historic Places			
14. Proposed Road / Service Lane			
15. Road Widening & BLR			
16. Easements / Site Dimensions			
17. Floor Area Ratio			
18. View Protection Plane			
19. Sunlight Protection Plane			
20. Services			
Design Approval Required      Yes / No      Date: _____			
Dispensations Required in respect of No's: _____			
Dispensation Approved / Declined      Reason: _____			

NON-NOTIFIED LAND USE CONSENT  
FOR A NON-COMPLYING/DISCRETIONARY ACTIVITY

345

Mrs. S.M. Lewis.27 Kitchener St.

Pursuant to Sections 94{2}, 104 and 105{1}{b} of the Resource Management Act 1991 the Wanganui District Council grants to Mrs. Lewis. Resource Consent as listed in the schedule hereto and in accordance with the plans attached on the property described as 27 Kitchener St. being Pt lot 90 L.B.W.R. Valuation No. 13230 35400.

## SCHEDULE

## REQUIREMENT

Rule: 3.2.2.

9.

CONSENT To add a  
carport to the dwelling  
which provides only  
2.5m access to the  
rear of the site.

## SUBJECT TO THE FOLLOWING CONDITION/S:

## CONSENT IS GRANTED ON THE GROUNDS THAT:

adequate off-street parking is provided and  
the reduced accessway will still allow some  
entrance to the rear.

APPROVED ON THE 19 June 1996  
PLANNING MANAGER

STANDARD SPECIFICATION FOR THE ERECTION AND COMPLETION OF  
LIGHT TIMBER FRAMED BUILDING:

1. PRELIMINARY AND GENERAL

- 1.1 WORKMANSHIP All work and materials must be of the best of their respective kinds and shall comply with The N.Z. Building Codes and relevant N.Z.S Standard Specifications 3604 : 1990.
- 1.2 SITE The Contractor shall be responsible for visiting the site and the correct setting out of the building as set out on the accompanying drawings.
- 1.3 PERMIT Payment by builder *Builder.*
- 1.4 INSURANCES The *Owner* shall take out and maintain for the duration of the Contract, a 'Contractor All Risk Fire Insurance' for the full value of the work.
- 1.5 COMPLETION On completion of the contract, the building and whole surrounding site shall be cleaned of all debris, wrappings and stickers and trucked away from site.

2. BLOCKWORK AND BRICKWORK - *Not Applicable.*

- 2.1 TILE GROUTING Where required colour grout prior to

applying (see section 9 of Specific Conditions).

3 EXTERIOR JOINERY

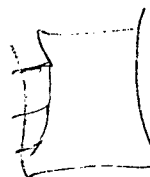
- 3.1 INSTALLATION Supply to Contractor for installation, units as drawn or described on accompanying drawings. Units shall be either anodized aluminum or timber (refer to drawings addenda at front.)
- 3.2 COMPLETION All units shall be supplied complete with wedge or spur fasteners, jamb liners, and 'Interlock' friction stays to all projected pushout sashes; or hinges to all casement and fanlight sashes. Provide locks to ranchsliders.
- 3.3 GLAZING Provide clear or obscure glass to N.Z.S. weights and thickness. *NZS 4223 Part B 1993.*

4 CARPENTRY (refer to addenda schedule at front of this document for floor type; exterior cladding, roofing).

*Not Applicable.*

- 4.1 CONCRETE FLOORS Foundations shall be min 125mm wide or 230mm wide for brick veneer, reinforced with d10 horizontal rod to top of wall and d12 (2 x D12 for brick) to bottom. Under slab, provide 0.25mm Polythene D P C taped at joints. Floors to be cut into 4m squares as per City Bylaws.
- 4.2 FRAMING Generally shall be No 1 grade Planer gauge boric treated. Studs @ 600mm crs; dwangs @ max 800mm crs, vertically 3 studs to each corner. Lintels as per Table 16 N.Z.S 3604 : 1984. Provide solid timber backing to all sheet joints.
- 4.3 ROOF FRAMING Refer drawings. Rafters @ 900mm crs. Ceiling Joists @ 450mm crs. Where shown as 'trusses' Manufacturers design certificate to be provided. See Cl : 4.11
- 4.4 INSULATION As a minimum requirement, Batts<sup>^</sup> insulation to ceilings and walls.

*R1.8*



- 4.5 EXTERIOR SHEATHING Refer to drawings and addenda sheet at front of this document. Sheathing shall be fixed in accordance with good trade practice and as per manufacturing specification. Behind all sheathing fix A H I 850 Bitumat building paper (incl. gables). All linings shall be fixed using galvanised nails as per manufacturers specification. Provide all flashings required to joinery.
- 4.6 SOFFITS Where shown as soffits, dwang for and line with 4.5mm 'Hardiflex' butted into white P V C jtrs.
- 4.7 INTERIOR LININGS Generally throughout shall be 10mm Gib. Board stop flush, ready for wallpapering. Where indicated on drawings shower and bath linings shall be selected (Hardie Glaze Linings) P V C jointers shall be used.
- 4.8 DOORS Generally all interior doors shall be hollow-core, ply veneer, as shown on drawings.
- 4.9 HARDWARE Dwang for, and fix all selected hardware.
- 4.10 FINISHING TIMBERS Cut for, attend on, and make good after all trades and provide and fix all necessary blocks for securing the work of other trades. All finishing timber shall be sanded to remove machine marks and on completion, shall be free from all hammer marks splits or other defects. All nails shall be punched in all exposed work.

4.11 TIMBER SCHEDULE

Wall Framing 100 X 50 P & G Boric Load-bearing wall to treated No 1 to 2.4m high

~~100~~ X 50 P & G Boric Non bearing walls treated No 1  
(refer clause 4.4 of this specification)

Lintels refer to table 16 of N Z S 3604 : 1970

~~Ceiling Joists 100 X 50 P & G Boric Span 2.00 @ 900c  
treated No 1 Span 2.35 @ 900c~~

Rafters and  
Roof Framing Refer to tables ~~10.1-10.8~~ of N Z S 3604 :  
1970

5 INTERIOR JOINERY

- 5.1 DELIVERY The Contractor shall take the delivery of all interior joinery and install where shown on drawings, i.e kitchen units and tops, vanity unit(s) and top.

6 ROOFING *6 R.b.*

- 6.1 SUPPLY The work consists of the supply and fixing of roofing system as shown on the accompanying drawings.  
- See addenda sheet for specific material.

- 6.2 BUILDING PAPER All roof types shall have *minimum* *lightweight bitumen building paper supported by strapping at 300mm centres.*

- 6.3 MATERIALS (a) *Kongrun Zincalume 55mm* - All materials and workmanship to comply with N Z S 3441 : D Z 4217 : and their amendments and shall be fixed in accordance with Manufacturers Specifications.

*Parlins* shall be laid straight and true constant around building. Ridge, barge, hip, apron, flashing and roof penetrations shall be of a proprietary type and shall match exactly.

7 PLUMBING

- 7.1 SUPPLY This section consists of the supply of all materials and labour involved in the whole of the water supply, stormwater and drainage reticulation systems, together with all flashings as required to render the building weathertight.

- 7.2 REGULATIONS All work and materials shall comply with *The New Zealand Building code and all "Standards" approved by them.*

- 7.3 MATERIALS All materials and fittings shall be the best of their respective kinds. Copper tube shall comply with N Z S 1755. Aluminium tube shall comply with B S 1476. All hot and cold water piping may be 'Polybutylene' with matching fittings.

- 7.4 PIPING All work shall be in accordance with good trade practice. All pipework shall be concealed in framing, walls or floor. All pipe runs shall be in



straight runs with a minimum of bends and joins. Any pipework set into concrete shall be under sandfill and shall be fully lagged with 'denso' tape or similar.

7.5 WASTES Provide U/P V C wastes to all fittings. Run as shown to nearest gully trap. All wastes to discharge below the gully grate. Waste sizes shall comply with Clause 7.2 above. Maximum 4 wastes per gully trap.

7.6 VENTS Provide Terminal vents here shown on drainage plan, and Back vents to fittings as required by Clause 7.2 above.

7.7 FLASHINGS See also 'Roofing'. Provide .40mm galvanized flashings (lead-edge where necessary) to apron, parapet, roof penetrations. Window and door heads necessary to render the building watertight shall be folded Aluminium.

7.8 GUTTERS AND DOWNPIPES <sup>P.V.C.</sup> ~~Clause 7.2~~ as per sub contractor.

## 8 DRAINAGE

8.1 INSTALLATION This section includes supply and installation of all sanitary, sewer and stormwater reticulation.

8.2 REGULATIONS All work shall comply *with the New Zealand Building Code and all "Standards" approved by them.*

8.3 SEWER Sanitary sewer to be 100mm dia. P V C gully traps laid true to line and grade (Min 1:60 fall) to either connection at boundary or to septic tank (refer to drawings).

8.4 GULLEY TRAPS Provide proprietary P V C gulley traps with cover plate over. Waste pipes must enter gulley traps below grate.

8.5 STORMWATER Provide 90mm dia. P V C stormwater 'terrain' grade drain to kerb or piped system as shown. Connect all down-pipes by providing reducers if necessary to seal into drain. Drain rises not to project more than 100mm above ground level. Seal DPs into drain with approved ring seal capping.

- 8.6 TRENCHES All trenches to be dug to provide adequate cover and fall to pipes. Lay pipes on graded consolidated sand bed. Backfill trench and grade surrounding ground level upon completion.

9 ELECTRICAL

- 9.1 INSTALLATION All installations shall be made in a sound, safe practical and workmanlike manner in accordance with the Wiring Regulations: ~~BS 76-X-794~~  
satisfaction of the Local Authority.

- 9.2 WORK The work consists of complete wiring, fixing of all lights, power points etc. meterboard and/or switchboard as per plan submitted.

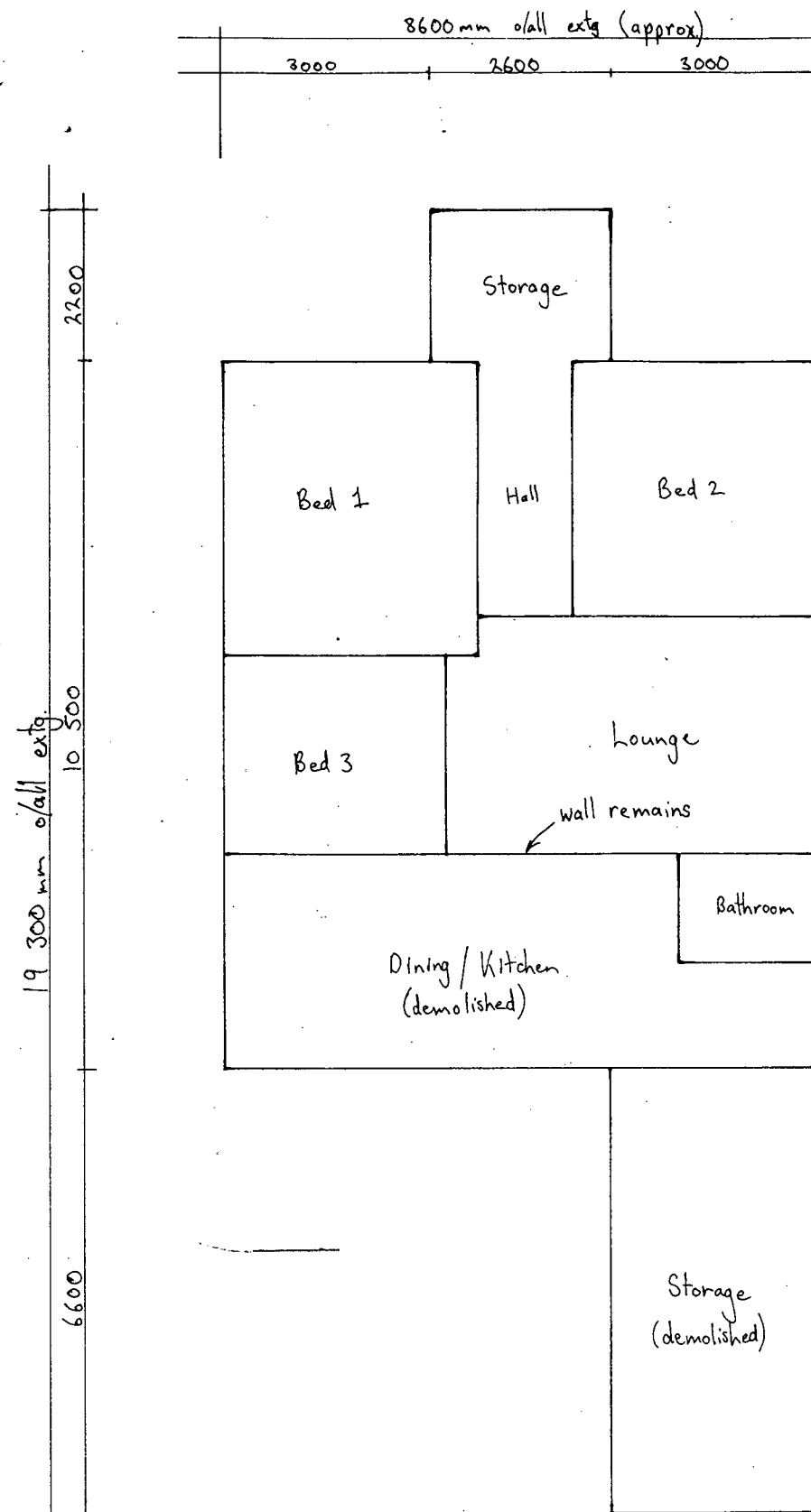
- 9.3 PERMITS Obtain all necessary permits from the 'Supply Authority' prior to commencing work.

- 9.4 WIRING All wiring shall be concealed and well supported by clipping back. Wire all fittings back to Mains Board. Final location of all fittings shall be as directed on site as shown on plan.

- 9.5 MAINS BOARD Mains board shall be positioned where shown on drawings. Mains board shall be recessed into framing as far as possible. Mains board shall control all electrical control gear. Provide 'push button' resetting fuse blocks for all groups of lighting, heating and power circuits. Cable shall be of sufficient size and capacity. All switches, fuses etc. shall be clearly labelled.

- 9.6 TELEPHONES Arrange with Telecom to Pre-wire for telephones where directed by owner.

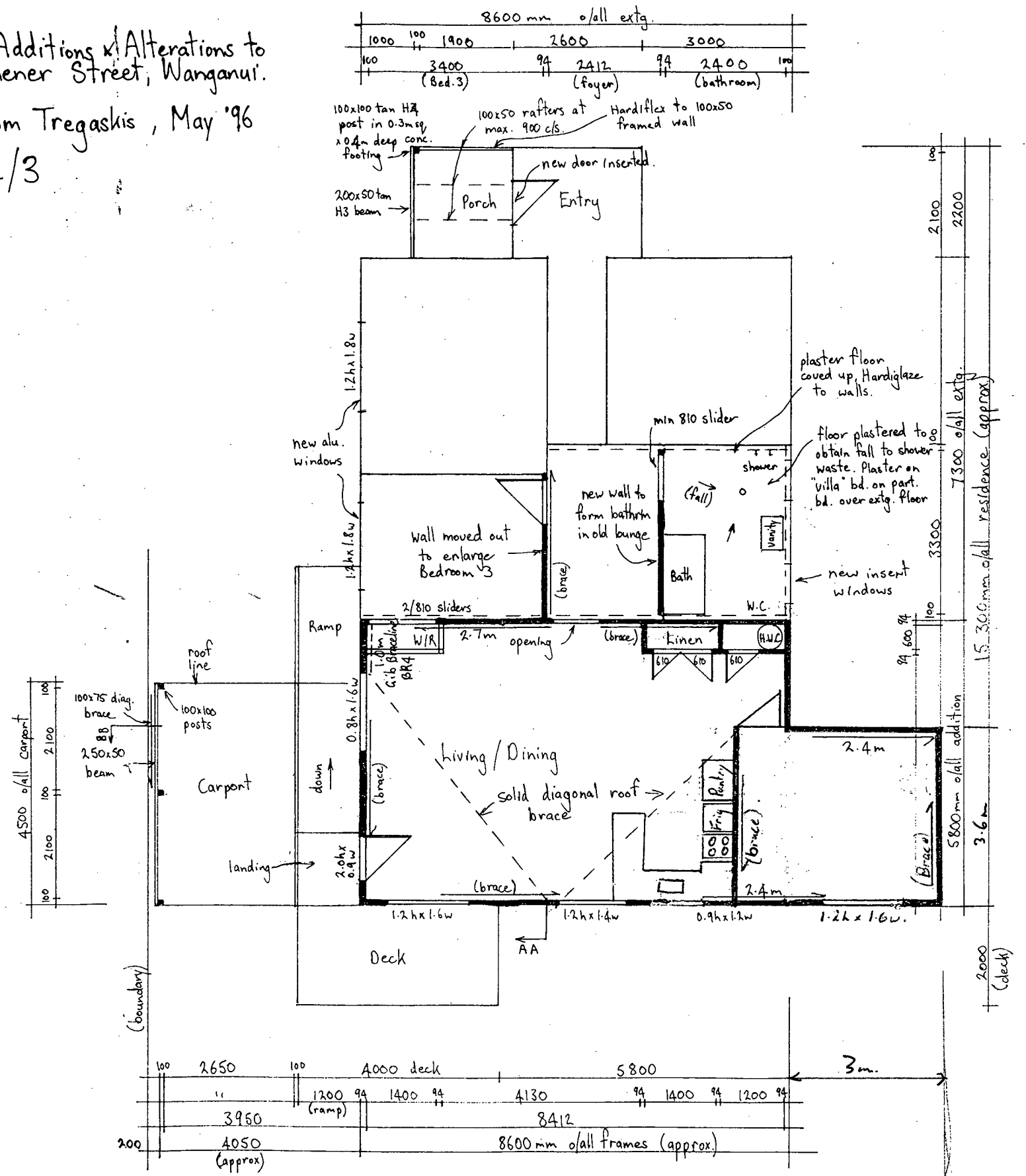
- 9.7 All telephone + power cables to be layed under ground.



EXISTING FLOOR PLAN-1:100

Proposed Additions & Alterations to  
27 Kitchener Street, Wanganui.

Drawn: Tom Tregaskis, May '96  
Sheet: 1/3



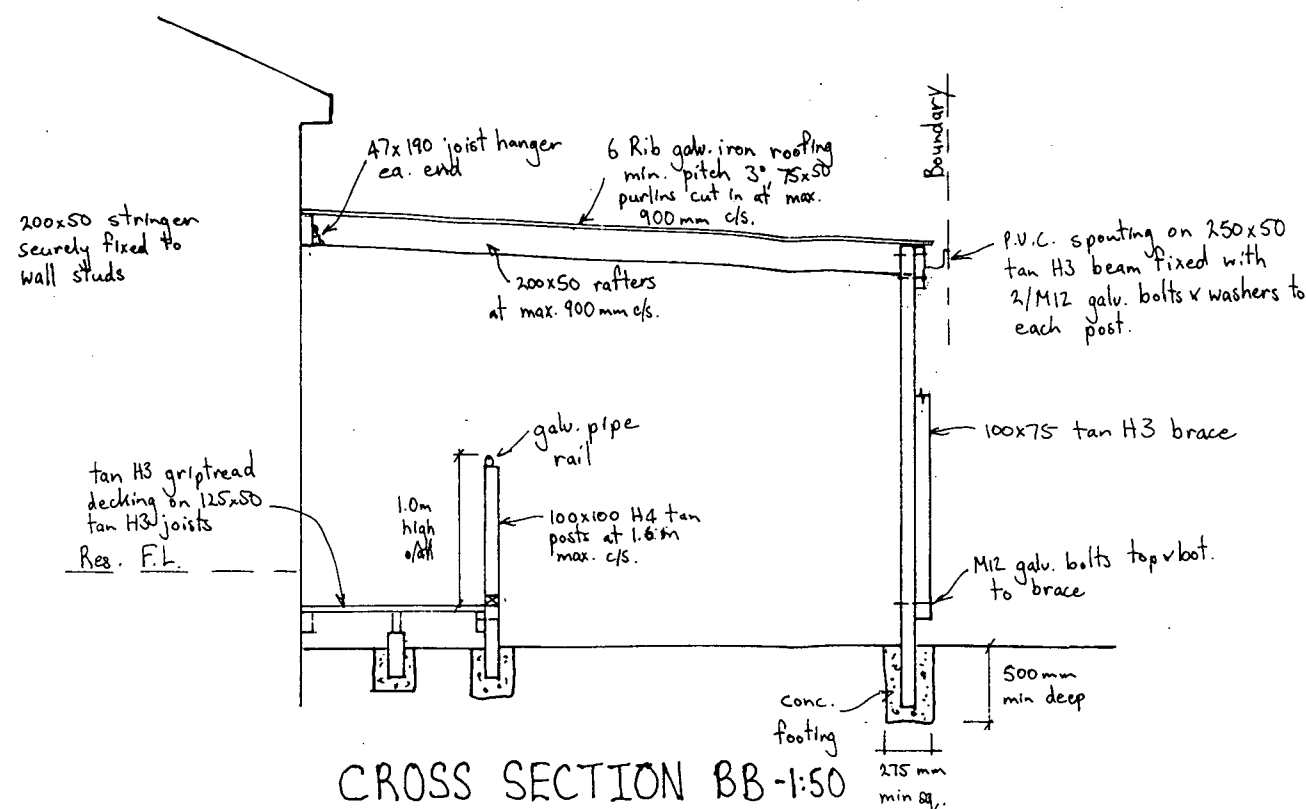
PROPOSED FLOOR PLAN-1:100

N.B. -all wall bracing shown is "GIB 1" and at min.  
2.4 m long, achieves approx. 180 BU's.

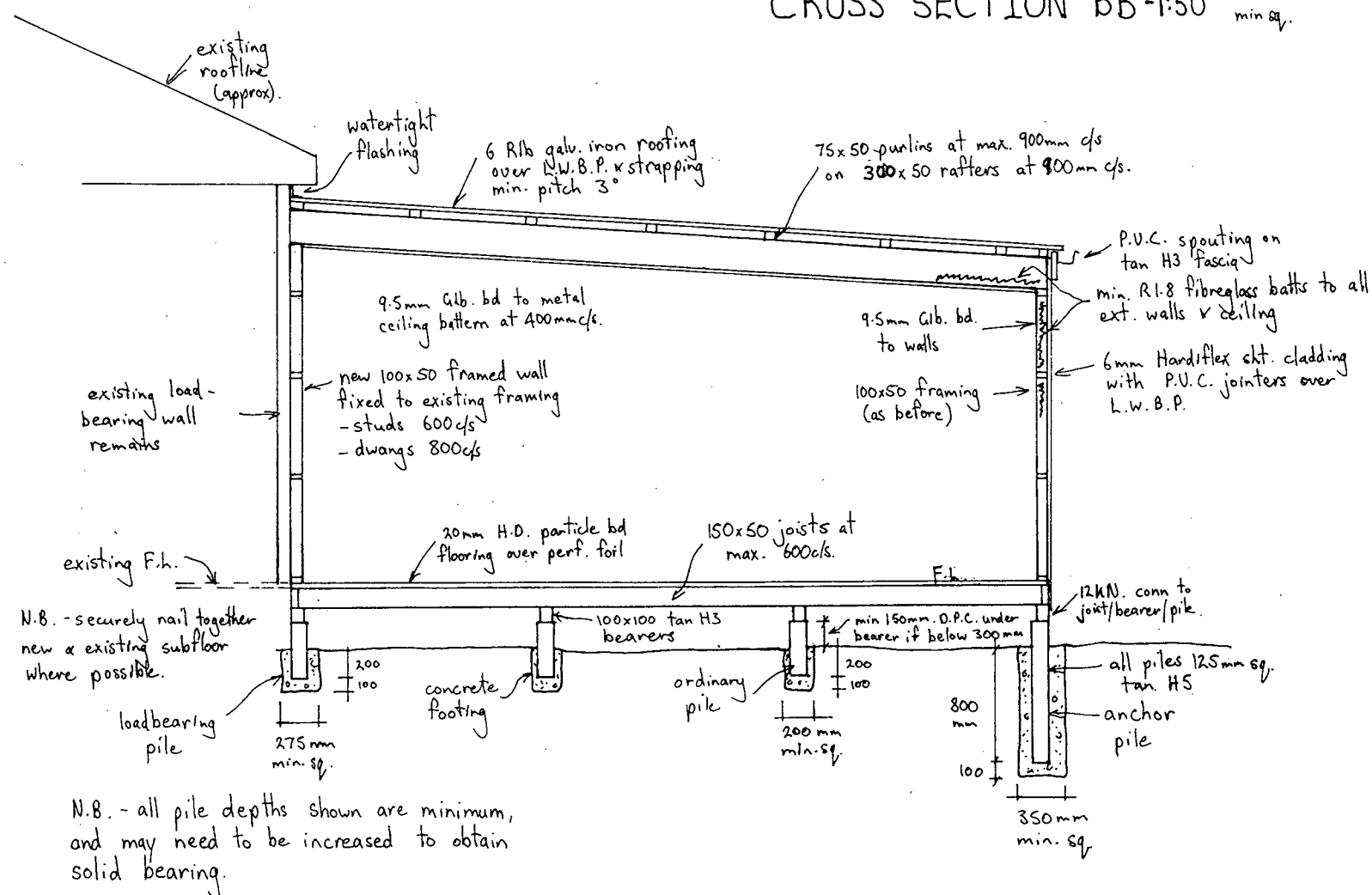
Proposed Additions & Alterations to  
27 Kitchener Street, Wanganui.

Drawn: Tom Tregaskis, May '96

Sheet: 2/3



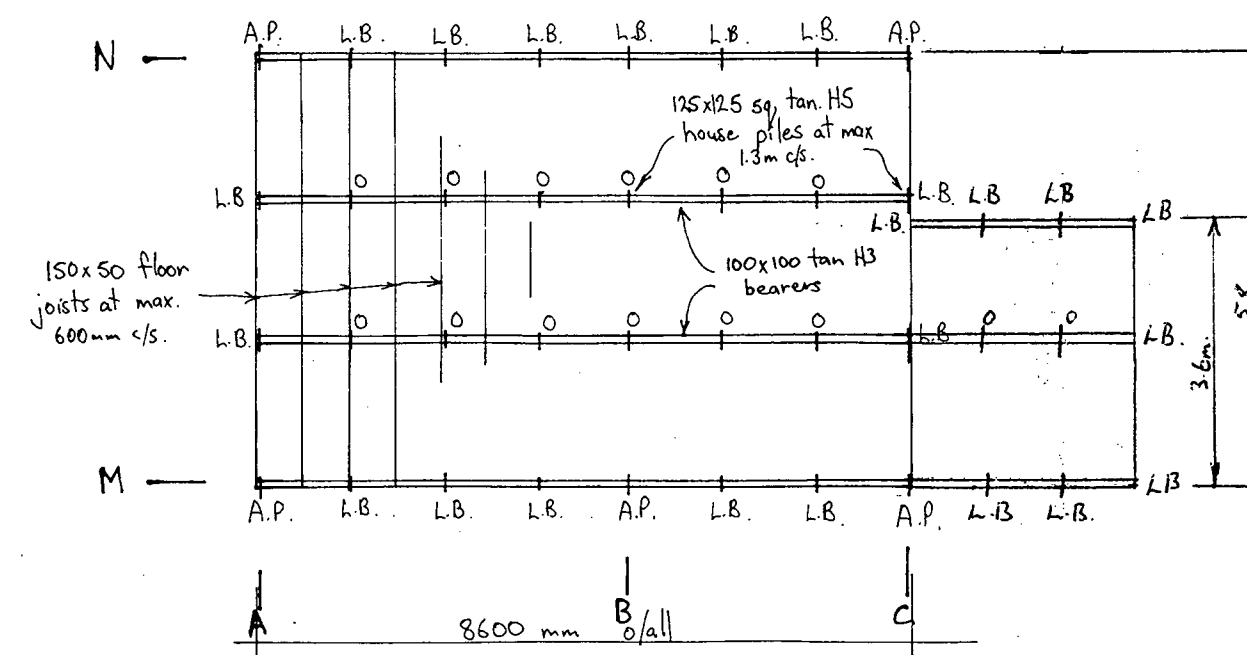
CROSS SECTION BB-1:50



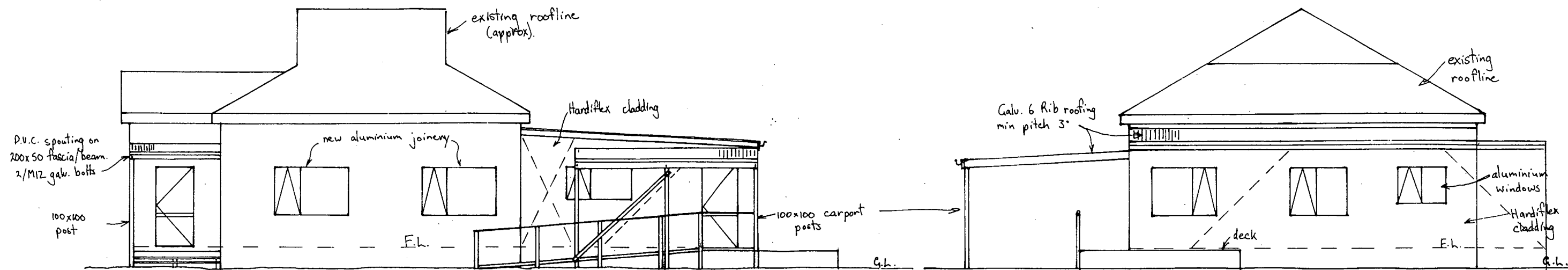
CROSS SECTION-AA-1:50

# SUBFLOOR KEY:

A.P. = anchor pile  
L.B. = loadbearing pile  
O. = ordinary pile



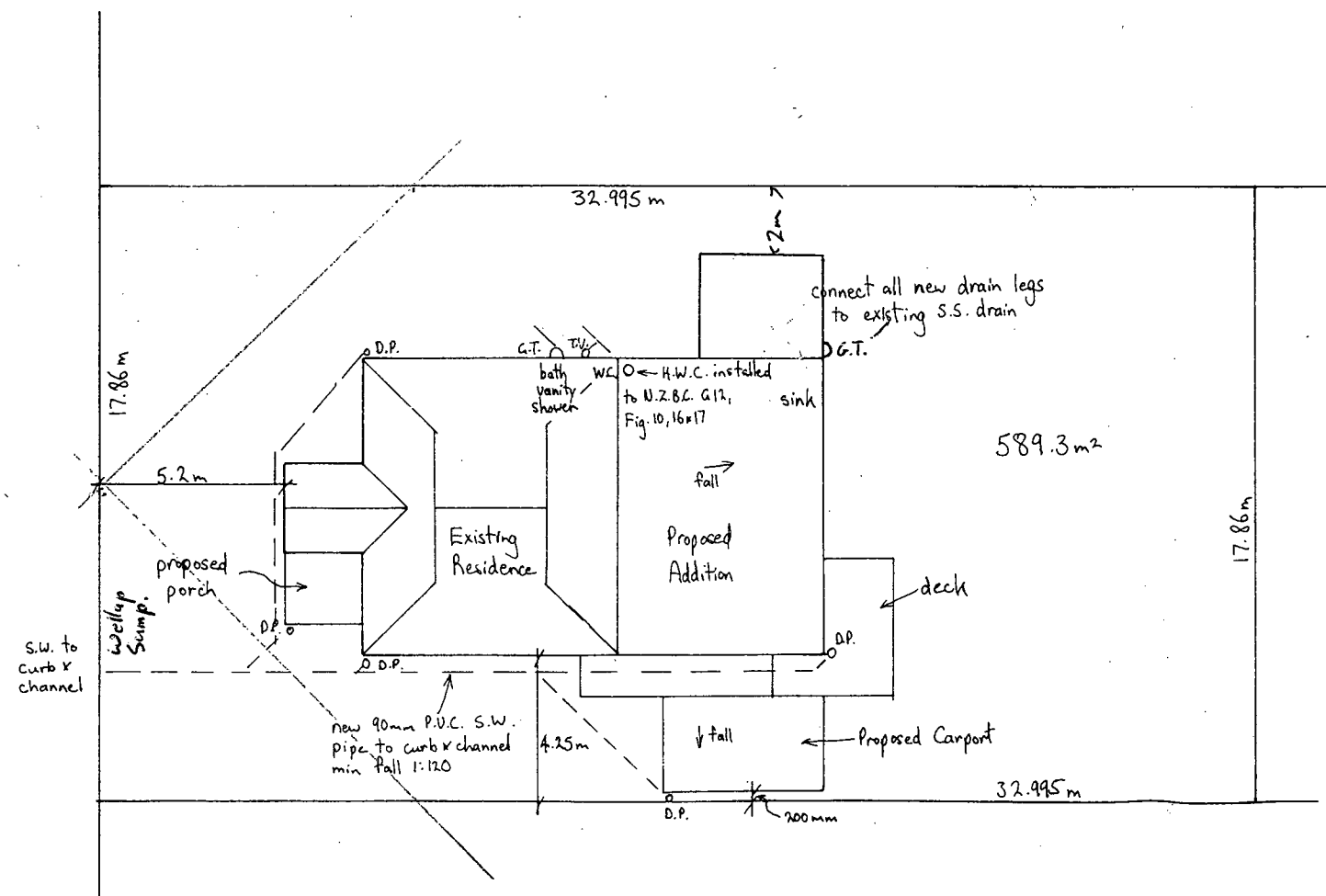
SUBFLOOR LAYOUT - 1:100



SIDE ELEVATION

REAR ELEVATION -1:100

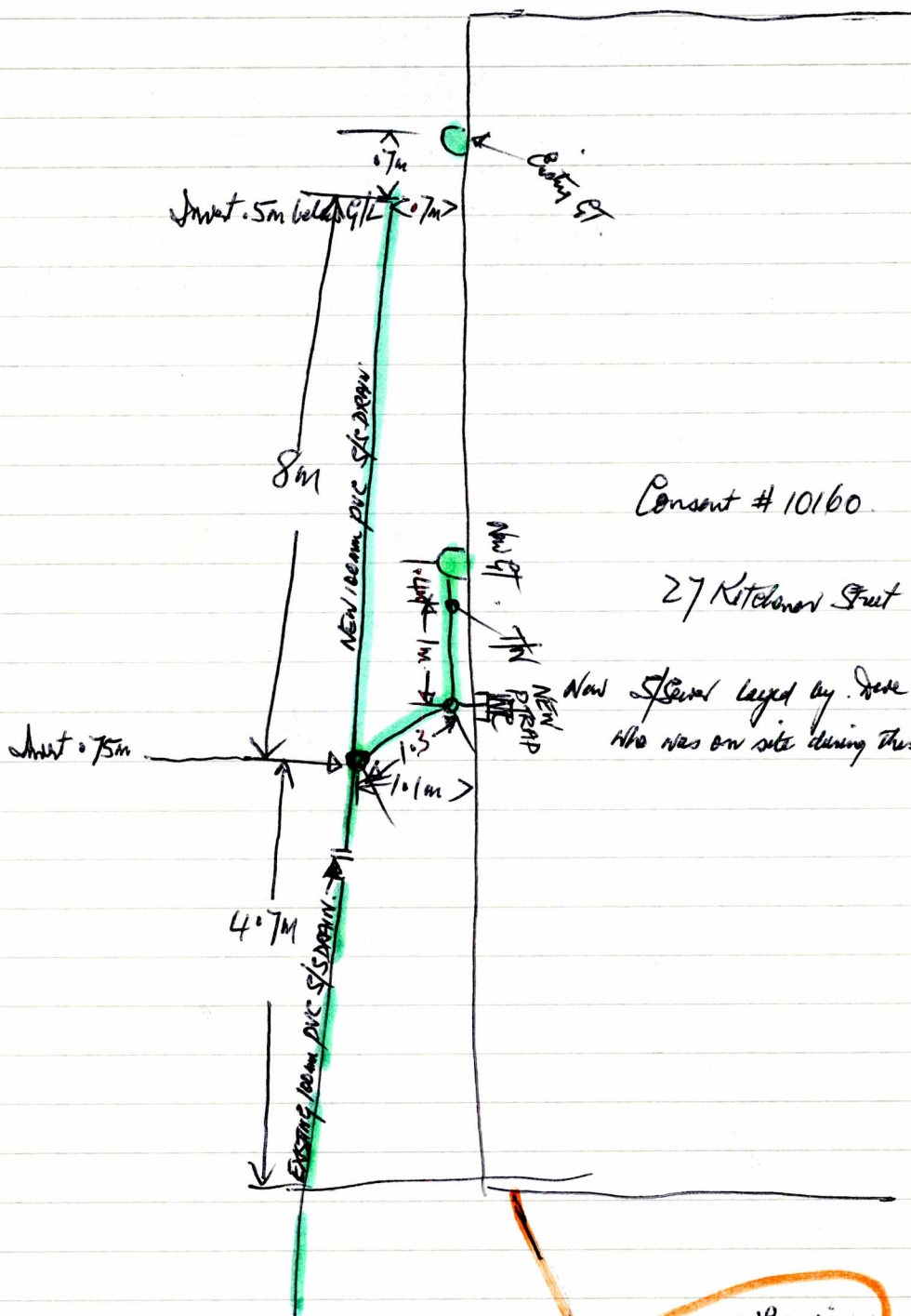
KITCHENER STREET



SITE & DRAINAGE PLAN -1:200

N.B. - all site measurements approx.

Proposed Additions & Alterations to  
27 Kitchener Street, Wanganui.  
Drawn: Tom Tregaskis, May '96  
Sheet: 3/3

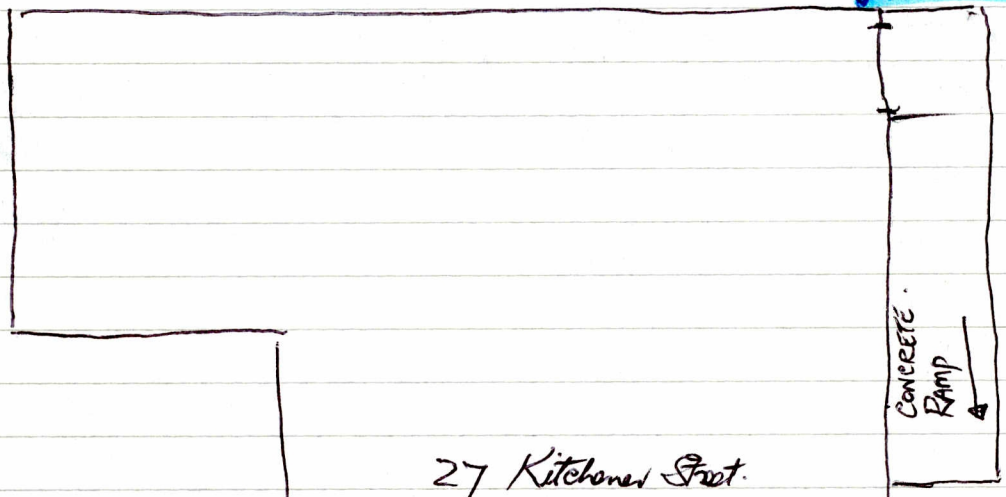
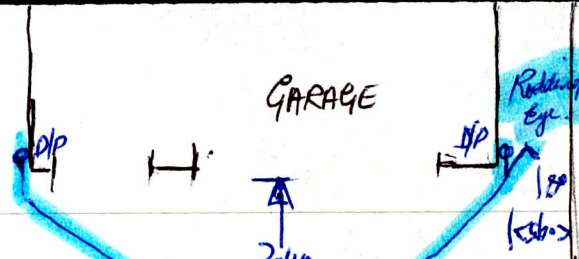


Consent # 10160

27 Kitchen Street

Now 150mm PVC  
with service line

KITCHENER STREET



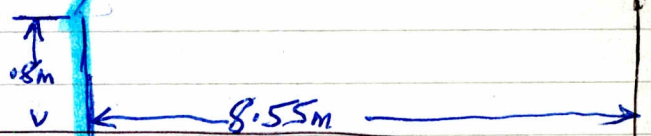
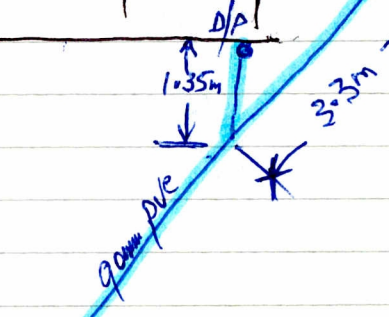
27 Kitchen Street.

CONSENT # 10160.

Stormwater Drain To Kerb.  
Laid by David Anderson, Inspector &  
measured 9/8/96.



Rolling Eye  
Inset 0.385m  
below 9/level



KITCHENER STREET.