

BUILDING PERMIT

(Office Copy)

AUTHORITY
WAIKARE CITY COUNCILNo. 12781
11/06/92
18.6.92

Receipt No. 1/56 242/3

Date Permit Issued 18.6.92

OWNER

Name HETHERINGTON, KIM, MR
Mailing Address 730 STH TITIRANGI RD
TITIRANGI
AUCKLAND

BUILDER

Name HETHERINGTON, MR KIM
Mailing Address 730 SOUTH TITIRANGI ROAD
TITIRANGI AUCKLAND

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED**SITE**

Street No. 33
Street Name TAINUI RD
Town/District WOODLAND PARK
Riding NEW LYNN

LEGAL DESCRIPTION

Valuation Roll No. 33700-095-00
Lot 68
D.P. DP 37794
Section
Block
Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

RE-ERECT DWELLING

FLOOR AREA**DWELLING UNITS**

Whole Sq. Metres 80 Number Erected 1

**ESTIMATED
VALUES
\$**

Building 11,500.00
Plumbing 500.00
Drainage 500.00

G.S.T. 1,562.00

TOTAL (INCLUDING G.S.T.)

12,500.00

14,062.00

NATURE OF PERMIT☐

Enter Number in Box

1. NEW BUILDING — exclude domestic garages and domestic outbuildings
2. FOUNDATIONS ONLY
3. ALTERED, REPAIRED, EXTENDED — include conversions and resited buildings
4. NEW CONSTRUCTION OTHER THAN BUILDINGS — include demolitions
5. DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS
6. SMALL CHIMNEYS, APPLIANCES AND FIREPLACES

PERMIT ISSUED SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) TO NOTATIONS ON PLANS.
- 2) SUBJECT TO THE CONDITIONS OF RESOURCE CONSENT GRANTED 4 JUNE 1992 PURSUANT TO SECTIONS 104, 105 & 108 OF THE RESOURCE MANAGEMENT ACT 1991.
- 3) ENGINEER'S CALCULATIONS TO BE READ IN CONJUNCTION WITH THE PERMIT DRAWINGS AND ARE TO BE STRICTLY ADHERED TO.
- 4) A REGISTERED ENGINEER IS TO INSPECT FOUNDATION CONSTRUCTION AND IS TO ISSUE TO COUNCIL AN AS-BUILT CERTIFICATE STATING COMPLIANCE WITH SOILS REPORT AND ENGINEER'S DESIGN.
- 5) SUBJECT TO THE CONDITIONS OF THE SECOND-HAND BUILDING MATERIALS REPORT NUMBER 04 DATED 25 FEBRUARY 1992.
- 6) NO PLUMBING WORK TO COMMENCE UNTIL PLUMBING PERMIT HAS BEEN UPLIFTED.

AUTHORISED OFFICER... a. J. J.

BUILDING PERMIT

AUTHORITY

WAIKARE CITY COUNCIL

No. 12781

Receipt No.

1/56 242/3

Date Permit Issued

11/06/92 18692

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Mailing Address 730 STH TITIRANGI RD
TITIRANGI
AUCKLAND

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Mailing Address 730 SOUTH TITIRANGI ROAD
TITIRANGI AUCKLAND

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DWELLING UNITS

| Whole Sq. Metres | Number Erected |
|------------------|----------------|
| 80 | 1 |

| ESTIMATED VALUES \$ | Building | Plumbing | Drainage | G.S.T. | TOTAL (INCLUDING G.S.T.) |
|---------------------|-----------|----------|----------|----------|--------------------------|
| | 11,500.00 | 500.00 | 500.00 | 1,562.00 | 14,062.00 |

NATURE OF PERMIT

3 Enter Number in Box

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AUTHORISED OFFICER... A. J. J.

Date Inspected

REMARKS (e.g. stage reached with work)

30.9.93

Site insp house erected and lived in but not finished w. Q

CITY OF WAITAKERE

Owner Mr Heatherington Occupier

REPORT ON INSPECTION CARRIED OUT

at 33 Tanui Rd. Woodland Park,

Dear Sir

Could you please arrange
for a site meeting in relation to
your building consent, 12781
so far there has been no inspection
recorded for your checking.

Thank you

W. Gyles

836 8000 ex 8654

1. 4. 5 pm

30. 9. 93

Date

Inspector

Waitakere City

92/776

REPORT OF INSPECTION CARRIED OUT OF SECOND HAND BUILDING MATERIALS

TO Sue Morrison

Date 25-2-92

0004

730 South Titirangi Rd

Inspection carried out at Haurere Rd

Titirangi

Swanson

Material desired for erecting

Dwelling

At

33 Tainui Rd Woodland Park

Lot 68 DP 37794

Report

An inspection of the 40sqm house approx
2yr old shows the following construction

Walls

Foundations, 125 Piles, 100x75 bearers, 150 Floor Joists

Particle board floor

Walls 100x50 Macrocarpa + Gibraltar Board, Board/Batt

Latt Beams and joists 250x100 beam 150x50 Truss

All Macrocarpa Particle Board floor

Wooden Joinery all in good condition

Layout Lounge and kitchen combined

bathroom Latt bedroom Roof Long run Decorative

Recommendation

Suitable to shift to new site subject to

Building Permit up lifting

BUILDING SURVEYOR

Fee Paid \$110

Date 24-2-92

Rec. No. 0275H054

N.B. THIS IS NOT A BUILDING PERMIT

Before any building work or Re-erection
of Old Buildings is carried out, a Building
Permit MUST be obtained.

RELOCATED DWELLINGS - PLANNING ASSESSMENT

NAME: Sue Morrow

ADDRESS (New Site): 33 Tainui Rd Woodlands Park

DESCRIPTION OF AREA (Include any existing house on the site and the type of houses in the general area)

Houses, average age of houses 40yr old
Most dwelling in the \$150,000 to \$200,000 bracket
A number of compatible houses in this vicinity

DESCRIPTION OF HOUSE TO BE RELOCATED:

Settler type house with room in roof
As the house is in the bush it will not
detract from houses in the immediate vicinity

RECOMMENDATION

That pursuant to Section 88 of the Resource Management Act 1991

consent be granted to the application by Sue Morrow

to relocate a dwellinghouse to 33 Tainui Rd Woodlands Park
for the following reason:-

- (i) The external style condition and appearance of the building is visually compatible with development on the same site and on adjoining sites.

but subject to the following conditions:-

- (1) That a Building Permit be applied for granted

(2)

(3)

(4)

CONSENT GRANTED AS RECOMMENDED


P.D. Reaburn
PLANNING ADMINISTRATION MANAGER

DATE:

19/3/1992

APPLICATION FOR INSPECTION OF SECOND-HAND BUILDINGS

The Engineer
WAITAKERE CITY COUNCIL

I Sue Morrow

hereby make application to erect a second-hand building at:

Lot 68 DP 37794

Road Name and No 33 Tainui Rd Woodland Park

Locality Tiranga

The building to be inspected is located at:

..... Wairere Rd - Bethells Beach - Opposite Duffys Rd

I have read the conditions attached to this application and am aware of the restrictions imposed on the re-erection of second-hand buildings and fully accept Council's policy of a Bond and Non-compliance Fee. This application is made in the light of my acceptance of that condition, and any failure on my behalf to pay this Bond makes my application null and void.

I enclose (1) Inspection Fee of \$.. 110 (see notes attached)

(2) The key to the building

Signature of Applicant S. Morrow

Address: 730 South Tiranga Rd

Phone No 817 8435

Date:

FOR OFFICE USE ONLY

0273A004 24/02/92SUBT

110.00

Fee

Receipt No
 A/C INSSECHAND

The application to re-erect a second-hand building is NOT APPROVED/APPROVED

subject to the conditions set out in second-hand Report No

Signed:.....
 (Building Surveyor)

WALL CLADDING:

Condition:

JOINERY:

Condition:

ROOF:

Type:

Condition:

SUB-FLOOR:

Bearers Condition:

Joists Condition:

Flooring Condition:

INSIDE:

Wall Lining:

Ceiling Lining:

ROOM LAYOUT:

.....

GENERAL CONDITION:

.....

.....

.....

.....

.....

.....

RELOCATION OF SECOND-HAND BUILDINGS

STANDARD CONDITIONS OF ACCEPTABLE COMPLIANCE

The following conditions are applicable to any application for the relocation of second-hand dwellings in the City.

1. Houses of ten (10) years of age or less shall be permitted within all residential zones without bond, but require inspection and building permit.
2. Houses over ten years old will require inspection and bond, together with an appraisal report by the Inspecting Officer.
3. All decayed timbers and other building materials and fittings which in the opinion of the Inspecting Officer are considered unsound shall be removed and replaced with new sound material.
4. Subfloor construction shall be upgraded to comply with current bylaws.
5. The existing roof, including guttering and downpipes shall be checked and cleaned and as necessary replaced with new materials to ensure complete watertightness.
6. The complete subfloor of the building shall be flood spray treated with borer control chemicals to a standard recommended by a borer treatment company and a certificate issued, acceptable to Council, whenever the inspecting Officer deems it necessary.
7. The exterior of the dwelling shall be renovated, where necessary, to Council's satisfaction within six (6) months of relocation.
8. A Building Permit shall be taken out for the re-erection of the building.
9. All works shall be completed within one year of the issue of the Building Permit, otherwise the \$2,200.00 Bond shall be forfeited to Council.
10. In addition to the bond being forfeited a non-compliance fee of \$110.00 per week at the expiry of twelve (12) months shall be charged until completion of the building.
11. Unless forfeited the Bond shall be discharged on completion of all works to the satisfaction of Council.
12. All planning requirements shall be adhered to.
13. The external style, condition and appearance of the building, together with any landscaping or other site development works will be assessed having regard to visual compatibility with existing development on the same site or on adjoining sites.

NOTES1. FEEES

Inspection of buildings within Waitakere City : \$110.00.

Inspection of buildings outside Waitakere City : \$220.00 plus 60 cents per kilometre travelled outside the City boundary.

Prelining inspections of new stock houses prebuilt within Waitakere City: \$40.00.

(All charges inclusive of G.S.T.)

2. GENERAL

Buildings must conform to the requirements of Council's current building bylaws, and intending applicants are advised to confer with the Inspecting Officer.

3. INSPECTION

No inspection will be made of any second-hand buildings until:

- (a) The key to the building is delivered to the Inspecting Officer. (This is to be done at the time of making application for inspection, unless specific arrangements are made with the Inspecting Officer for the building to be open when he calls).
- (b) The applicant provides adequate access to subfloor area, and should the Inspecting Officer consider it necessary, provision made for the house to be raised to facilitate thorough examination.
- (c) The applicant provides adequate access to roof space, including provision of a ladder and removal of a portion of the roof cladding if necessary.
- (d) The bottom plate and lower ends of studs in three positions around the building have been exposed.

The Inspecting Officer may require the exposure of further timbers or the submission of further details in support of any particular application.

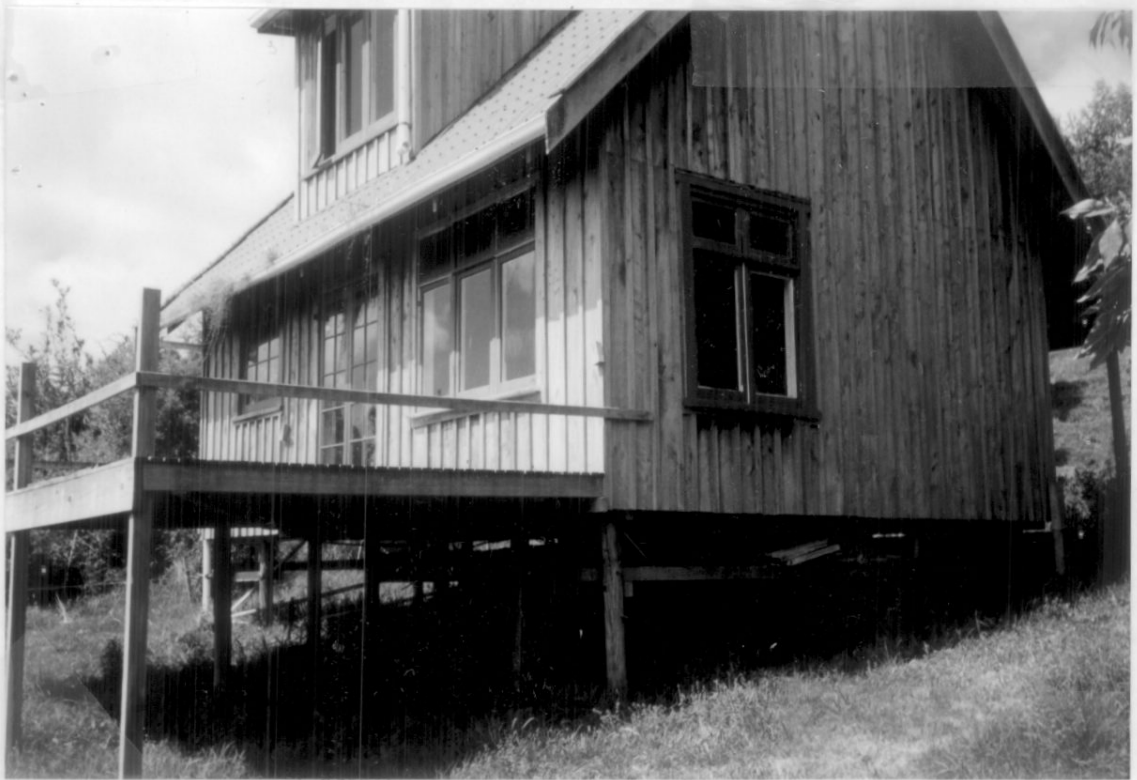
4. BOND AND NON-COMPLIANCE FEE

- (a) A cash bond of \$2,200.00 shall be lodged with Council before upliftment of the Building Permit. This bond shall be forfeited to Council if any of the works required under the Second-hand Inspection Conditions and Building Permit Conditions are not completed to the satisfaction of Council within a period not exceeding twelve (12) months from the date of issue of the Building Permit.
- (b) A non-compliance fee of \$110.00 per week at the expiry of 12 months shall be charged until completion of the building to the satisfaction of Council.

5. IMPORTANT NOTE

No building shall be brought into the City until it has first been inspected and a Building Permit uplifted.









WAITAKERE CITY COUNCIL BUILDING PERMIT APPLICATION

April 1991

 Date received 30/4/92 Application No.: 92/776 Date Permit Issued: 18/6/92 Permit No.: 12701

| OWNER | |
|-----------------|---|
| Name | <u>MR Kim Hetherington + Sue Marron</u> |
| Mailing Address | <u>730 5th Tihirangi Rd</u> <u>Tihirangi</u> |
| Phone No. | <u>817 8435</u> |

| BUILDER | |
|-----------------|---|
| Name | <u>MR Kim Hetherington</u> |
| Mailing Address | <u>730 5th Tihirangi Rd</u> <u>Tihirangi</u> |
| Phone No. | <u>817 8435</u> |

PROPERTY ON WHICH BUILDING IS TO BE ERECTED

| SITE | |
|-------------|------------------------|
| Street No. | <u>33</u> |
| Street Name | <u>TAINUI Rd</u> |
| District | <u>Woodland Park</u> ✓ |

| LEGAL DESCRIPTION | |
|--------------------|--------------------------------------|
| Valuation Roll No. | <u>33700-095-00</u> |
| Lot | <u>68</u> D.P. <u>37794</u> |
| Area of Site | <u>1217</u> 1200 Sq. m. ✓ |

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

~~Residing at an 8 yr old home for the purpose of~~
~~Family Dwelling~~ ^{RE-ERECT} RE-ERECT DWELLING ✓

| FLOOR AREA | | DWELLING UNITS | |
|------------------|-----------------|----------------|----------|
| Whole Sq. Metres | <u>80-sq.m.</u> | Number Erected | <u>1</u> |

| ESTIMATED VALUES | |
|------------------|----------------------------------|
| Building | <u>10,000.00</u> 11,500- |
| Drainage | <u>1,500.00</u> 500- |
| Plumbing | <u>1,000.00</u> 500- |
| GST | <u>1562</u> 12,500.00 |
| TOTAL VALUE | <u>14,062.00</u> |

| (TICK BOX) | NATURE OF PERMIT |
|-------------------------------------|--|
| <input type="checkbox"/> | NEW BUILDING — exclude domestic garages and domestic outbuildings |
| <input type="checkbox"/> | FOUNDATIONS ONLY |
| <input checked="" type="checkbox"/> | ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED |
| <input type="checkbox"/> | NEW CONSTRUCTION OTHER THAN BUILDINGS |
| <input type="checkbox"/> | DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS |

| (TICK BOX) | | GENERAL | |
|---|---|--|------------------|
| <input checked="" type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Any Second-Hand Materials? ✓ | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Any High Tension Electricity Transmission Lines? ✓ | |
| <input type="checkbox"/> Clay | <input type="checkbox"/> Fill | <input type="checkbox"/> Peat | Nature of Ground |
| <input checked="" type="checkbox"/> Other | (Define) <u>Waitemata Siltstone/sandstone</u> | | |

| APPLICANT | |
|-----------------|--|
| Name | <u>MR Kim Hetherington</u> |
| Mailing Address | <u>730 5th Tihirangi Rd</u> <u>Tihirangi</u> |
| Capacity | <u>Owner/Builder</u> (owner, builder, architect etc) |
| Phone No. | <u>817 8435</u> |
| Signature | <u>[Signature]</u> ✓ |

OFFICE USE ONLY

| FEES APPLICABLE | |
|------------------------|----------------------|
| Building | <u>120.00</u> (200) |
| Drainage | <u>50.00</u> 90.00 |
| Plumbing | <u>50.00</u> 90.00 |
| Water Connection | <u>—</u> |
| Planning Check | <u>22.50</u> |
| Building Research Levy | <u>—</u> |
| Street Damage Deposit | <u>—</u> |
| Vehicle Crossing Bond | <u>—</u> |
| TOTAL: | <u>242.50</u> 322.50 |

| RECEIPT | |
|-----------------------------|---|
| Plan Rev Fee | <u>80.00</u> RCT <u>242/3</u> Date <u>18-6-92</u> |
| Fees | RCT <u>0056A001</u> 30/04/92 SUBT <u>80.00</u> |
| ROAD DAMAGE DEPOSIT REFUND | |
| Amount \$ | Date |
| Refunded | |
| To: Owner/Builder/Applicant | |

NOTES

1. **OWNER OF SECTION** — Enter surname and initials.
2. **PARTICULARS OF PROPERTY** — Roll number, legal description and area of site may be obtained from Rate Notice or Valuation Notice.
3. **VALUE OF WORK** — Building: Include the value of materials for plumbing and drainage.
Plumbing and Drainage: Enter labour values only.
4. **SECOND-HAND MATERIALS** — If second-hand materials will be used in the proposed work an application for a Second-hand Materials Inspection must be lodged with the Building Permit Application.
5. **ELECTRICITY LINES** — If Waitemata Electric Power Board or Electricorp high tension transmission lines cross any part of the property the building permit application must be accompanied by a clearance from the relevant authority.
6. **NATURE OF GROUND ON WHICH BUILDING WILL BE PLACED**
Where it is proposed to build on uncompacted fill, peat or other forms of doubtful bearing ground or in an area noted as stability sensitive in the District Scheme a soils report, together with details of structural design, shall be prepared by a Registered Engineer and shall be included with the application.
7. **PLUMBING AND DRAINAGE PERMITS** — Applications for Plumbing and/or Drainage Permits are required (where applicable) to be made at the time of application for a Building Permit. Plumbing or Drainage Permits may only be issued to Craftsmen Plumbers or Registered Drainlayers.
8. **ROAD DAMAGE DEPOSIT** — A Road Damage Deposit is compulsory on all work over the value of \$15,000 in accordance with the following schedule.

| | |
|----------------------|-----------|
| \$15,001 — \$40,000 | \$250.00 |
| \$40,001 — \$80,000 | \$500.00 |
| \$80,001 — \$200,000 | \$750.00 |
| \$200,001 and above | \$1050.00 |

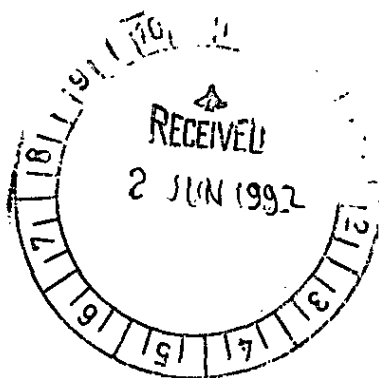
No deposit is required for any building work regardless of value where the road adjacent to the property has a metal surface.
For corner sites the Road Damage Deposit is double the amount in the schedule.
9. **PLAN REVIEW FEE** — A plan review fee, 50% of the building permit fee, must be paid at the time of lodging this application. This fee is non-refundable once processing has commenced. The balance of the building permit fee and all other fees are payable prior to the issue of the building permit.
10. **BUILDING RESEARCH LEVY** — In terms of the Building Research Levy Act 1969 work valued at \$20,000 or more is subject to a levy of \$1.00 per \$1000 of total value.
11. **PLANNING CHECK FEE** — A fee covering town planning checks on the building permit application is payable in accordance with the following schedule:

| | | | | | |
|-----------------------|----------------|---------|------------------|----------------|---------|
| Commercial/Industrial | up to \$40,000 | \$22.50 | Other categories | up to \$10,000 | \$11.25 |
| | over \$40,000 | \$67.50 | | over \$10,000 | \$22.50 |

BUILDING PERMIT FEE SCHEDULE

| Value of Work \$ | Building Permit Fee \$ | Plan Review Fee \$ |
|---------------------|--|---|
| 1 — 2,000 | 30.00 | 15.00 |
| 2,001 — 4,000 | 60.00 | 30.00 |
| 4,001 — 6,000 | 100.00 | 50.00 |
| 6,001 — 8,000 | 130.00 | 65.00 |
| 8,001 — 10,000 | 160.00 | 80.00 |
| 10,001 — 15,000 | 200.00 | 100.00 |
| 15,001 — 20,000 | 240.00 | 120.00 |
| 20,001 — 30,000 | 320.00 | 160.00 |
| 30,001 — 40,000 | 400.00 | 200.00 |
| 40,001 — 50,000 | 460.00 | 230.00 |
| 50,001 — 60,000 | 560.00 | 280.00 |
| 60,001 — 70,000 | 650.00 | 325.00 |
| 70,001 — 80,000 | 730.00 | 365.00 |
| 80,001 — 90,000 | 810.00 | 405.00 |
| 90,001 — 100,000 | 890.00 | 445.00 |
| 100,001 — 120,000 | 930.00 | 465.00 |
| 120,001 — 140,000 | 970.00 | 485.00 |
| 140,001 — 160,000 | 1010.00 | 505.00 |
| 160,001 — 180,000 | 1050.00 | 525.00 |
| 180,001 — 200,000 | 1090.00 | 545.00 |
| 200,001 — 220,000 | 1130.00 | 565.00 |
| 220,001 — 240,000 | 1170.00 | 585.00 |
| 240,001 — 260,000 | 1210.00 | 605.00 |
| 260,001 — 280,000 | 1250.00 | 625.00 |
| 280,001 — 300,000 | 1280.00 | 640.00 |
| 300,001 — 320,000 | 1320.00 | 660.00 |
| 320,001 — 340,000 | 1360.00 | 680.00 |
| 340,001 — 360,000 | 1400.00 | 700.00 |
| 360,001 — 380,000 | 1430.00 | 715.00 |
| 380,001 — 400,000 | 1470.00 | 735.00 |
| 400,001 and over | \$1470.00 + \$40.00 per \$20,000 or part thereof | 735.00 + \$20.00 per \$20,000 or part thereof |

Waitakere City Council



N O T I C E

TO ASSIST COUNCIL STAFF AND ENSURE PROMPT
PROCESSING, ALL AMENDED PLANS MUST BE
ACCOMPANIED BY A LETTER ITEMISING THE
CHANGES MADE.

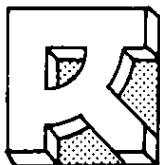
AMENDMENTS TO DRAINAGE. PERMIT NO. 92/776
Hetherington.

I have checked heights and falls with
BRIAN YARDLEY on site.
From these calculations the necessary falls
are available to the manhole as shown.
also the stormwater will be run straight to
road drain culvert.

Private Bag
Waitakere City 1231

CIVIC CENTRE
Waipareira Avenue
Telephone (09) 837-3700
Facsimile (09) 837-1964

Address all correspondence
to the Chief Executive Officer



RILEY CONSULTANTS LTD

consulting engineers

94 WAIRAU ROAD
P.O. BOX 100-253
N/S MAIL CENTRE
NEW ZEALAND
TELEPHONE 444-4207
FAX NO. 444-5360

Mr K Heatherington & Ms S Morrow
730 South Titirangi Road
TITIRANGI

24th March 1992

Our Ref: 91142-C

Dear Sir and Madam

SITE INVESTIGATION 33 TAINUI ROAD, TITIRANGI

Introduction

The following report has been prepared at the request of Mr K Heatherington and Ms S Morrow. It presents the results of a site investigation carried out on the above property.

The investigation was undertaken to assess slope stability and founding conditions for the proposed development.

The report is to provide sufficient detail to support a building permit application to Waitakere City Council.

Background

House plans had been prepared by Lane Priest Architects. Results of our fieldwork indicated that the slope below the proposed dwelling did not have a high Factor of Safety. We therefore recommended to the Architects that from a stability viewpoint the dwelling should be moved as far back as practicable from the steep slope. As the lot has an irregular shape and the dwelling was already as close to the lot boundaries as Town Planning requirements permitted, dispensation was required.

We understand that unfortunately the neighbours would not give their consent and therefore the original development has had to be abandoned. It is now proposed to move an existing dwelling to site.

The existing dwelling is a relatively simple lightweight structure with timber cladding and longrun corrugated roofing.

Site Description

The property is located on the western side of Tainui Road at the intersection with Valley View Road. The lot is irregular in shape near the road widening to a more rectangular shape to the west.

Ground slopes fall in a westerly direction from the road boundaries and over the proposed building platform at about 7°. Below this point ground slopes steepen to between 29° to 43.5° for 19 m before flattening to about 20° for 9 m. From there ground slopes continue to steepen and flatten.

The property is vegetated in scrub, bush and trees.

Principal: P. B. RILEY, B.E., M.Sc. (Rock Mechanics), D.I.G., M.I.P.E.N.Z.

Associates: N. R. FITCH, B.E., N.Z.C.E., M.I.P.E.N.Z.

G. SMITH, B.Sc. Geol., M.Sc. Eng. Geol.

Geotechnical & Geological Engineering, Dams & Hydraulic Structures, Hydro Projects, Coastal Engineering.

Site Investigation

A walkover appraisal of the site was made. Locations of two hand auger boreholes, designated Borehole 1 and Borehole 2 were selected to obtain information on ground conditions. The boreholes were drilled by an engineer from this office and a technician from our associated practice, Carryer & Associates Ltd. Pilcon field shear vane testing was carried out in each borehole at 0.5 m intervals of depth. At the base of each borehole scale penetrometer testing was performed. Borehole logs and penetrometer results are attached.

A site plan was prepared showing the location of the boreholes, ground contours, property boundaries, as well as other relevant features. This plan is shown on Dwg 91142-1A attached. In addition a cross section (Section A-A') through the slope was surveyed and borehole data added to allow analysis of slope stability. This cross section is shown on Dwg 91142-2A attached.

According to the 1:25,000 New Zealand Geological Map of Cornwallis, the site is comprised of the weathered residue of sediments of the Blockhouse Bay Formation, part of the Waitemata Group. This was confirmed by our observations of the soils within the boreholes.

In Borehole 1, 0.5 m of fill was encountered. It appears that some fill has been placed above the slope to extend the flat bench. Fill material consisted of silts and clays with some topsoil pockets. Natural ground consisted of between 2.4 m and over 6 m of silts, sands and clays of stiff to hard consistency overlying what is inferred to be Waitemata siltstone/sandstone. The weathering profile encountered within Borehole 2 was particularly deep and refusal with the scala penetrometer was not achieved.

The holes were probed several days after drilling by Mr K Heatherington. Groundwater was encountered at 2 m depth in Borehole 1 while Borehole 2 was dry.

Stability Analysis

There are indications of past and existing slope instability on the steep slopes of the site. The geometry of the steep slope below the building platform indicates possible past ground movement. Bowed tree trunks indicate possible ground creep is occurring. A small scarp was also noted.

The major hazard to the building site is the stability of the steep slope to the west. Stability analyses were carried out on the cross section surveyed down this slope. A circular failure model (Hoek & Bray, 1981) was used with assumed soil strength parameters for the residual Waitemata Formation materials of $c' = 5 \text{ kPa}$, $\phi' = 30^\circ$, $\gamma = 17 \text{ KN/m}^3$. (Note: A Factor of Safety of 1.5 is considered to be a satisfactory margin against instability. Failure of a slope occurs when the Factor of Safety reduces to 1.0).

Under present (dry) groundwater conditions a Factor of Safety of 1.28 was obtained against slippage. Under totally saturated conditions with the groundwater at the surface a Factor of Safety of 0.79 was obtained.

Discussion

The above analysis indicates that the slope below the building platform does not have a high Factor of Safety and could approach an unstable condition under an extreme winter groundwater level.

The proposed building platform must therefore be set back from the steep slope by a significant distance to provide a margin of safety should slippage occur.

Unfortunately as the lot is an irregular shape it is our opinion that the dwelling would have to be positioned closer to the road boundary than Town Planning requirements permit. Zoning requires that any dwelling be set back 3 m from the side boundaries. The building platform is indicated on the site plan, Dwg 91142-1A attached. The eastern corner is located 1 m from the road boundary. Therefore dispensation will be required.

From an analysis of both surface and subsurface geometry, it is our opinion that if slippage were to occur it is likely that it would be confined to the steeper sections of the slope where the weathering profile increases and soil strengths reduce. The slip face would be located approximately 10 m from the building platform. Regression of the face towards the dwelling would only occur if remedial measures were delayed.

However, as a precaution against possible ground creep it is recommended that the front row of piles found a minimum of 2 m into competent rock as defined by this investigation. Borehole information indicates that piles will be founded about 5.5 - 6 m below ground level. Piles should be 175 SED timber poles concrete encased in 400 mm diameter augered holes. The outer poles along the lower row of poles should be braced back with diagonal braces. The remainder of the foundations may be 'Senton' poles or alternatively 150 SED's founded 1.2 m below natural ground level.

The bush covering is likely to be contributing to the stability of the slope. It is essential that the bush be retained and encouraged. Trees help the stability of the site by evapotranspiration and root binding effects.

The risk of slope failure can be further reduced by minimising water inflows into the slope. Where possible stormwater from the site development should be piped clear of the steep slope.

Recommendations

The site is **satisfactory** from a **stability** viewpoint provided the recommendations made in this report are followed.

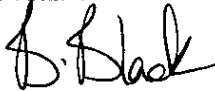
- 1) From a stability viewpoint the dwelling should be moved as far back as practicable from the steep slope. A **stable building platform** has been designated on the site as shown on the site plan, Dwg 91142-1A attached. The eastern corner of the platform is located closer to the road boundary than Town Planning zoning permits. Therefore **dispensation** will be required.
- 2) The **front row** of the dwelling should be **piled** a minimum of 2 m into competent material. Piles should be 175 SED poles concrete encased in 400 mm diameter holes. The remainder of the foundations may be 'Senton' poles or alternatively 150 SED's founded 1.2 m below natural ground level. The outer poles along the lower row of poles should be braced back with **125 mm diameter diagonal braces** using in line poles clamps.
- 3) The **existing vegetation** should be **maintained** and **encouraged**.
- 4) **Stormwater runoff** from the site development should be collected and **piped** clear of the steep slopes.

Limitation

This report has been prepared for the particular purpose detailed in the brief. The recommendations refer specifically to the proposed development. No responsibility can be accepted for the use of any part of this report including logs or drawings in any other context or for any other purpose without our written consent.

Yours faithfully

RILEY CONSULTANTS LTD



B Black
Engineer



N R Fitch
Associate, Registered Engineer

| | | | | | | | | | |
|---|--|--|--|-------------------------------------|--|----------------------------|--|--|--|
| JOB NAME: GEOTECHNICAL INVESTIGATION | | | | FEATURE: | | BOREHOLE No. 1 | | | |
| LOCATION: TAINUI RD, TITIRANGI | | | | GRID REF: | | | | | |
| CLIENT: HEATHERINGTON/MORROW | | | | COLLAR ALTITUDE: R.L. 17.01m | | SHEET 1 OF 1 | | | |
| JOB No. 91142 | | | | DATUM: | | | | | |

| | | | | | | | | | |
|--------------------------------|--|------------------------------|--|--------------------------|--|--|--|--|--|
| DATE STARTED: 23/10/91 | | DRILLER: SB | | SAMPLE/FIELD TEST | | V = Insitu Shear Strength (kPa) | | | |
| DATE FINISHED: 23/10/91 | | TYPE OF DRILLING RIG: | | | | R = Remoulded Shear Strength | | | |
| LOGGED BY: BB | | 50mm Ø HAND AUGER | | | | | | | |

| Method of Boring | Recovery (%) 25,50,75 | Nature of Core | Depth (m) | Legend | LITHOLOGY DESCRIPTION Name, colour, strength, grain, size, (moisture) miscellaneous | Sample Type (Water Level) | SAMPLES FIELD TESTS | | | | |
|----------------------------|--------------------------|----------------|-----------|---|---|------------------------------|---------------------|------|---|------------------------|--|
| | | | | | | | V | R | | | |
| 50mm Ø HAND AUGER | | | 0.25 | | FILL-SILT some Clay, Brown with Blackish Topsoil pockets, moist, mod. plastic rootlets | | | | | | |
| | | | 0.50 | x x x | SILT, some Clay, Light Brownish Orange moist, mod. plastic | 0.65 | 125 | 60 | | | |
| | | | 0.65 | x x x | | | | | | | |
| | | | 1.0 | x x x | SILT, some Sand some Clay, Light Brownish Orange sl.-mod. plastic | | | | | | |
| | | | 1.25 | x x x | Light Brownish Orange some Grey | 1.25 | 100 | 32 | | | |
| | | | 1.3 | x x x | some sand, moist-wet | | | | | | |
| | | | 1.5 | x x x | Sandy SILT, Light Brown Orange, sl. plastic Dark Orange pockets | | | | | | |
| | | | 1.8 | x x x | SILT, Light Grey, sl. plastic | | | | | | |
| | | | 1.95 | x x x | Limonite cemented layer @ 1.75m SILT Layer, Light Grey | | | | | | |
| | | | 2.0 | x x x | Silty SAND, Grey, pockets of Orange non-sl. plastic | 2.0 | 196 | 54 | | | |
| | | 2.5 | x x x | SILT, Blueish Grey, pockets of Silty Sand non-sl. plastic, orange limonite staining Occasional Limonite staining @ 2.3m pocket of Silty Sand | 2.5 | T.S. | T.P. | | | | |
| | | | | | E.O.B. 2.75m | | T.S. | T.P. | = | Too Stiff To Penetrate | |

CARRYER & ASSOCIATES LTD.
CONSULTING GEOLOGISTS
1 Crum Avenue, New Lynn, Auckland. P.O. Box 15483, Auckland 7
 Telephone (09) 871-999, 872-463

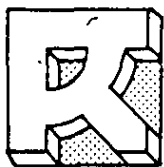
[illegible]

Scala Penetrometer Results

Job No: 91142
 Client: Heatherington/Morrow

Date: 23/10/91

| Penetrometer Depth (mm) | BH 1 2.75m | BH 2 3.10m | BH 3 | BH 4 | BH 5 | BH 6 |
|----------------------------|---------------|---------------|------|------|------|------|
| | 9 | 4 | | | | |
| 100 | 11 | 4 | | | | |
| | 30+ | 2 | | | | |
| 200 | | 3 | | | | |
| | | 3 | | | | |
| 300 | | 3 | | | | |
| | | 1 | | | | |
| 400 | | 3 | | | | |
| | | 3 | | | | |
| 500 | | 4 | | | | |
| | | 5 | | | | |
| 600 | | 4 | | | | |
| | | 1 | | | | |
| 700 | | 1 | | | | |
| | | 2 | | | | |
| 800 | | 6 | | | | |
| | | 7 | | | | |
| 900 | | 6 | | | | |
| | | 6 | | | | |
| 1000 | | 6 | | | | |
| | | 6 | | | | |
| 1100 | | 7 | | | | |
| | | 6 | | | | |
| 1200 | | 12 | | | | |
| | | 8 | | | | |
| 1300 | | 5 | | | | |
| | | 5 | | | | |
| 1400 | | 2 | | | | |
| | | 1 | | | | |
| 1500 | | 2 | | | | |
| | | 2 | | | | |
| 1600 | | 3 | | | | |
| | | 7 | | | | |
| 1700 | | 9 | | | | |
| | | 7 | | | | |
| 1800 | | 6 | | | | |
| | | 7 | | | | |
| 1900 | | 9 | | | | |
| | | 8 | | | | |
| 2000 | | 6 | | | | |
| | | 7 | | | | |
| 2100 | | 7 | | | | |
| | | 8 | | | | |
| 2200 | | 7 | | | | |
| | | 5 | | | | |
| 2300 | | 4 | | | | |
| | | 4 | | | | |
| 2400 | | 4 | | | | |
| | | 5 | | | | |
| 2500 | | 4 | | | | |
| | | 4 | | | | |
| 2600 | | 4 | | | | |
| | | 6 | | | | |
| 2700 | | 5 | | | | |
| | | 5 | | | | |
| 2800 | | 5 | | | | |
| | | 6 | | | | |
| 2900 | | 7 | | | | |



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consulting engineers

94 WAIRAU ROAD
P.O. BOX 100-253
N/S MAIL CENTRE
NEW ZEALAND
TELEPHONE 444-4207
FAX NO. 444-5360

COPY

Mr K Heatherington
Ms S Morrow
730 South Titirangi Road
TITIRANGI

27th March 1992

Our Ref: 91142-E

DESIGN CERTIFICATE

This is to certify that a design check has been undertaken on the structural building components described below and they have been found to comply with the structural requirements of NZS 1900, NZS 4203, NZS 3603, NZS 4205 and NZS 3101 as applicable.

LOCATION

Proposed dwelling 33 Tainui Road, Titirangi, as detailed on drawings titled 'Packing Shed and Nursery Storeroom'.

COMPONENTS

House foundations as detailed on Calculations 91142, pages 1-4.

Nigel Fitch

N R Fitch
Associate, Registered Engineer



RILEY CONSULTANTS LTD
consulting engineers

110 WAIRAU RD
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NEW ZEALAND
PHONE 4444-207
FAX No. 444-5300

JOB No: 91142

PROJECT: 33 Tamar Rd.

CALC: RB

DATE: 27/3/92

CHECK: SAT

DATE: 27/3/92

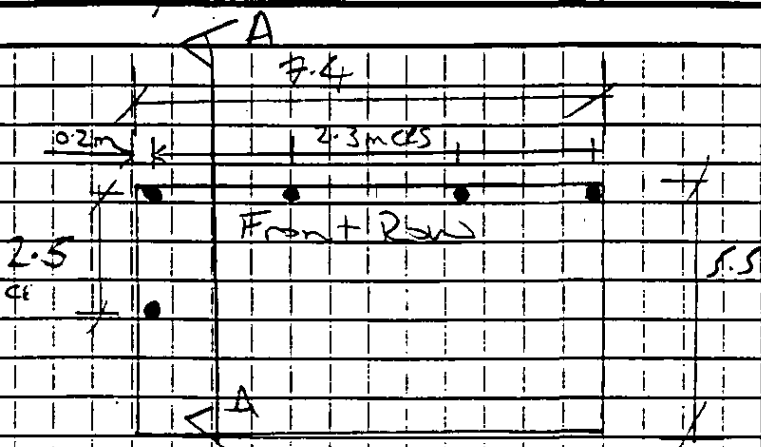
DESCRIPTION:

Foundation Plan

SHEET No:

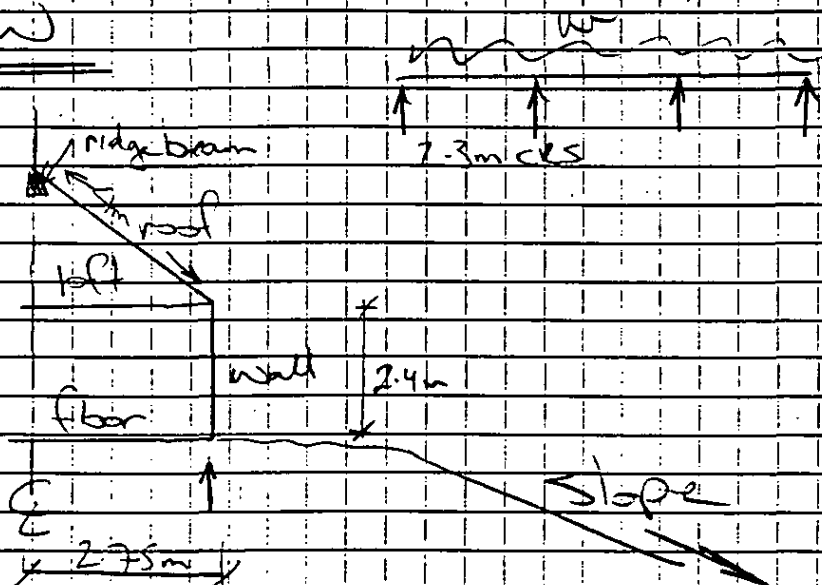
①

Increase Decker
Size to reduce
No of PILES



1) Front row

Loads



C/S A-A

Roof - iron DL 0.4 KPa
LL 0.25 KPa

Floor DL 0.3 KPa
LL 1.5 KPa

Walls DL 0.3 KPa

$$WT = \left(\frac{1.5 + 0.3}{2} \right) \times 2 \times \frac{2.75}{2} + \left(\frac{0.4 + 0.25}{2} \right) \times 4 \times \frac{2.4}{2}$$

4.2 $\frac{4m}{2} \times 0.3 KPa$

77 KPa/m ✓



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JOB No: 91142

PROJECT:

CALC:

DATE:

CHECK:

GAN

DATE:

27/3/02

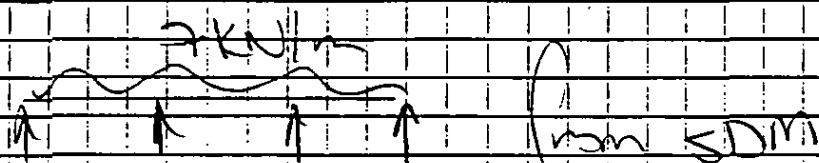
DESCRIPTION:

Foundation design

SHEET No: ②

2) Middle - by inspection left loads
distrib directly to piles from road posts ✓

$w_{max} \text{ (outer rows)} = 7 \text{ kN/m}$



pg 44

$$M_{max} = 0.10 \times 7 \times 2.1^2$$

$$= 3.1 \text{ kNm} \checkmark$$

try $2 \times 200 \times 80$ beams

$$I = \frac{100 \times 200^3}{12} = 6.67 \times 10^5 \text{ mm}^4 \checkmark$$

$$f_{b, \text{actual}} = \frac{M}{I} = \frac{3.1}{6.67 \times 10^5} = 4.6 \text{ MPa} \checkmark$$

$K_1 = 1.0$

$$f_{b, \text{allow}} = K_1 \times f'_b$$

$K_1 = 1.4 \text{ (as LL dominates)}$

$$= 1.4 \times 6 \text{ MPa} = 8.4 \text{ MPa} \checkmark$$

OK use $2 \times 200 \times 80$ beams



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FAX No. 444-5300

JOB No: 91142

PROJECT: 33 Tauwhiti Rd

CALC: AB

DATE: 27/3/92

CHECK: SAN

DATE: 27/3/92

DESCRIPTION:

Foundation design

SHEET No:

③

Bearing Pressure (400Ø Conc. encased hole)

+ ignore skin friction i.e. end bearing only

$$P_{max} = (SD \cdot A) = 1.10 \times 7 \times 2.3 = 17.7 \text{ kN} \checkmark$$

$$q_{fact} = \frac{P}{A} = \frac{17.7 \times 4}{\pi \times 0.4^2} = 56 \text{ kPa} \checkmark$$

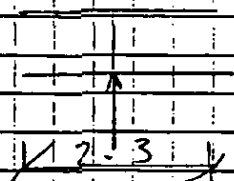
for $\phi = 0$ for clays + deep piles

$$q_{fact} = q_{cu} \quad q_{allow} = q_{ult} / FS$$

$$\therefore C_{allow} = q_{fact} / 3 = 56 / 3 = 19 \text{ kPa} \checkmark$$

from boreholes easily OK

Check centre piles supporting piles



$$(1.5 \times 0.3) \times 2 \times 2.3 \text{ m} = 8.3 \text{ kN} \text{ Center}$$

10 outer worst loads



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JOB No:

91142

PROJECT:

33 Tairua Rd

CALC:

BB

DATE:

27/3/92

CHECK:

SAW

DATE:

27/3/92

DESCRIPTION:

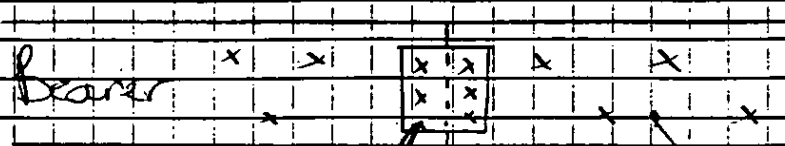
Details

SHEET No:

(4)

1) Joints in bearers

$L/8 \text{ min} / L/4 \text{ max}$ ($L = 2.3 \text{ m}$)



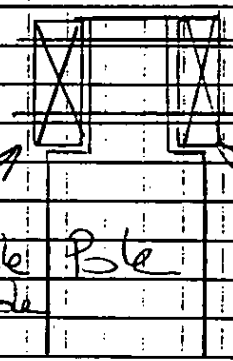
Pile

Lumberlock
2mm Nail-on
Plate
200mm long
one side only

Place packer
between bearers
300mm either side
of joint, stagger
nails

Note Joints staggered

2) Pile / Bearers

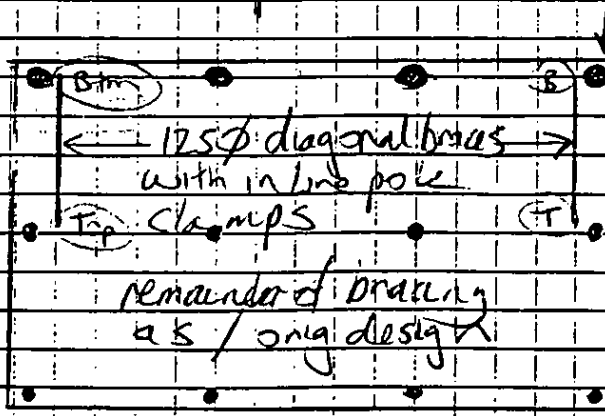


check bearer
40mm into 175 Ø pile
30mm into 150 Ø pile

2x M16 bolts
well greased

3) Layout

↑ slope down



Middle and
near piles
either 150 Ø SDs
or section piles
in 400 Ø conc
encased hole
founded

1.2m below nat. ground level

Front row ✓
175 Ø SD poles
in 400 Ø conc encased
hole founded 2m
into competent rock
refer RCL report
91142 + C
2x200x50 bearers

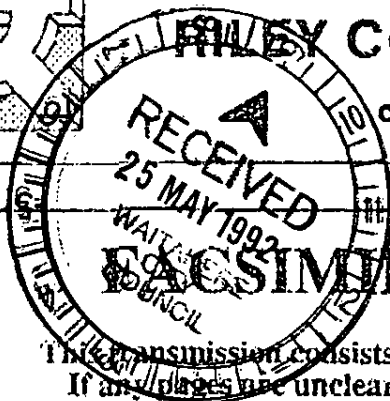
Poles either @ 2.33m CRS with 2x200x50 bearers (ie front row)
or @ 1.16m CRS with 100x100 bearer (as orig design)



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FAX NO. 444-5360



FACSIMILE COVER SHEET

This transmission consists of 5 pages (including this cover sheet).
If any pages are unclear or missing please telephone the author at
the above number.

Send to

Name : C. Younger
Location : Winsted City
Fax No : 936-8001

Sent from

Name : Don Tule
Date : 25/5/92

Message attached is letter/cables re: 33

Tainui Road building permit application



RILEY CONSULTANTS LTD

consulting engineers

94 WAIRAU ROAD
P.O. BOX 100-253
N/S MAIL CENTRE
NEW ZEALAND
TELEPHONE 444-4207
FAX NO. 444-5360

Waitakere City Council
Private Bag
Edmonton PO
WAITAKERE CITY

25th May 1992

Our Ref: 91142-G

Attention: Mr C Younger

Dear Sir

DESIGN OF FOUNDATIONS, 33 TAINUI ROAD BUILDING PERMIT APPLICATION NO. 92/776

As required by the Waitakere City Council, we have considered the points raised in their letter dated 15th May 1992, numbered items 5 to 7. The Council have requested further information on the design of the front row of house piles; in particular:-

- (a) Confirm size of front row of piles stating depth of creep designed for.
- (b) Confirm the likely projection of potential slip on Cross Section AA.
- (c) Comment on the feasibility of constructing a retaining wall if a slip occurred.

As stated in our site investigation report (Ref 91142-C, dated 24th March 1992) it was considered that the most likely failure surface would be confined to the steeper sections of the slope where the weathering profile increases and soil strengths reduce. However, it was considered that instability of the section of the slope directly below the building platform could not be discounted, and it was considered prudent to found the front row of piles 2 m into competent rock.

The maximum likely depth to a potential failure plane is shown on the attached cross section. The depth of retained soil at the pile location after a slip would be about 1.3 m. The attached calculations indicate 175 mm diameter Corsican poles are adequate to retain this depth of soil.

The feasibility of constructing a stabilising retaining wall should a slip occur is difficult to predict, as it depends on so many factors, such as depth of slip, distance to house, extent of slip etc. The foundations have been designed to retain soil should a slip occur directly below the house, which is the worst case scenario. Thus a retaining wall would only provide additional security. The calculations for the poles have not assumed any support from a retaining wall below it, and thus there is no effect on the soil loads on the pile.

Please do not hesitate to contact the undersigned if you have any queries.

Yours faithfully
RILEY CONSULTANTS LTD

DR Tait

DR Tait
Registered Engineer

N R Fitch
Associate, Registered Engineer

Principal: P. B. RILEY, B.E., M.Sc. (Rock Mechanics), D.I.C., M.I.PENZ.
Associates: N. R. FITCH, B.E., N.Z.C.E., M.I.PENZ.
G. SMITH, B.Sc. Geol., M.Sc. Eng Geol

Geotechnical & Geological Engineering, Dams & Hydraulic Structures, Hydro Projects, Coastal Engineering.



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consulting engineers

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BOX 100283, NORTH SHORE
NEW ZEALAND
PHONE 4444-207
FAX NO. 444-2382

JOB No: 91142

PROJECT: Tainui Rd
Titirangi

CALC. DNT

DATE: 20/5/98

CHECK: NRZ

DATE:

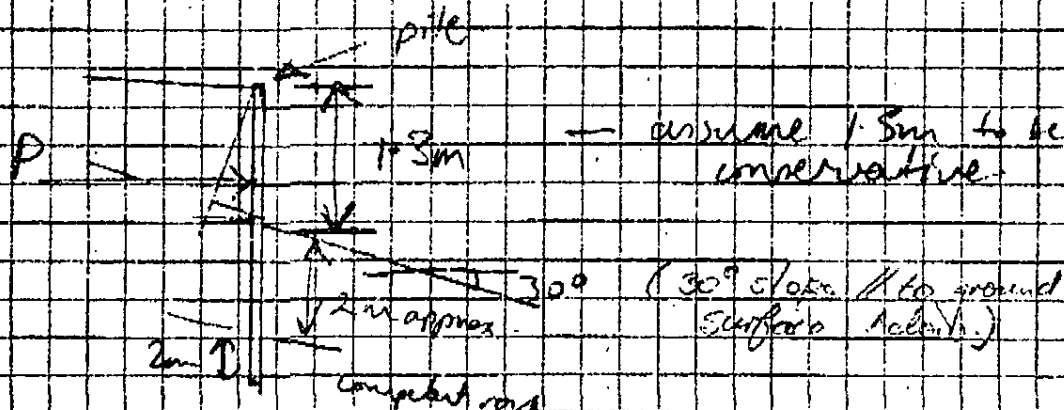
DESCRIPTION:

check poles to retain soil

SHEET No:

1.

Refer report - section for maximum likely
depth of potential failure.



- assume soil loading applied over 3 pile diameters.
- soil behind pile will be dry as it is below the house (even if slip does occur)
- $\phi' = 30^\circ$ for retained soil.
- assume at-rest soil loading $K_0 = (1 - \sin \phi)$
 $K_0 = 0.50$
(movement not desirable)

$$\Rightarrow P = \frac{1}{2} K_0 \gamma H^2 \times \text{width} = \frac{1}{2} (0.50) 17 \times 1.3^2 \times [3 \times 0.4]$$

$$P = 11.5 \text{ kN}$$

As cantilever (note - very conservative as
outer 2 piles are braced & only
middle piles are cantilevered
- floor diaphragm also provides some
restraint.)

$$\text{Moment} = 11.5 \times 1.3 / 3 = 5.0 \text{ kNm}$$

$$\text{For } K_{20} = 0.85 \quad K_{40} = 0.75$$

allowable moment

$$\text{for } 175 \text{ } \phi \text{ radiata pole} = 4.2 \text{ kNm}$$

$$175 \text{ } \phi \text{ Corsican } = 5.5 \text{ kNm}$$

\therefore use Corsican poles. (taper neglected)
conservative



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PHONE 4444 207
FAX No. 444-6360

JOB No: 91142

P. 4/5

PROJECT: Tauranga

Tutirangi

CALC: MT

DATE: 20/5/92

CHECK: NRZ

DATE:

DESCRIPTION:

SHEET No:

2

Check combined compression / bending

max. pt load = 17.7 kN. (DL + LL) (previous calcs)

$$f_c = \frac{17.7 \times 4 \times 10^3}{\pi \times 175^2} = 0.74 \text{ MPa}$$

For corrosion $F_c' = 7.7 \text{ MPa}$

$$k_1 = 1.4$$

$$k_{e0} = 0.75$$

$$k_{z1} = 0.85$$

$$S = L / d = 13$$

$$L = 1.3 + 1.0 = 482.3 \text{ mm}$$

$$d = 0.175 \text{ m}$$

$$\Rightarrow k_{e0} \leq 1.0$$

$$\Rightarrow F_c(\text{all}) = 7.7 \times 1.4 \times 0.75 \times 0.85 = 6.9 \text{ MPa}$$

combined stresses $\left(\frac{5}{5.5}\right) + \left(\frac{0.74}{6.9}\right) = 1.02$

slightly greater than 1.

However, at point of max stress, pile diameter will be greater due to taper

average 8mm/m \Rightarrow diff = 175 + 14 = 189 mm

$$\Rightarrow \text{combined stress } \left(\frac{5}{5.5}\right) + \left(\frac{0.74}{8.9}\right) = 0.83 \text{ OK}$$

= OK for an extreme loading condition such as this

= 175 g corrosion piles adequate as designed for 1.3m retained

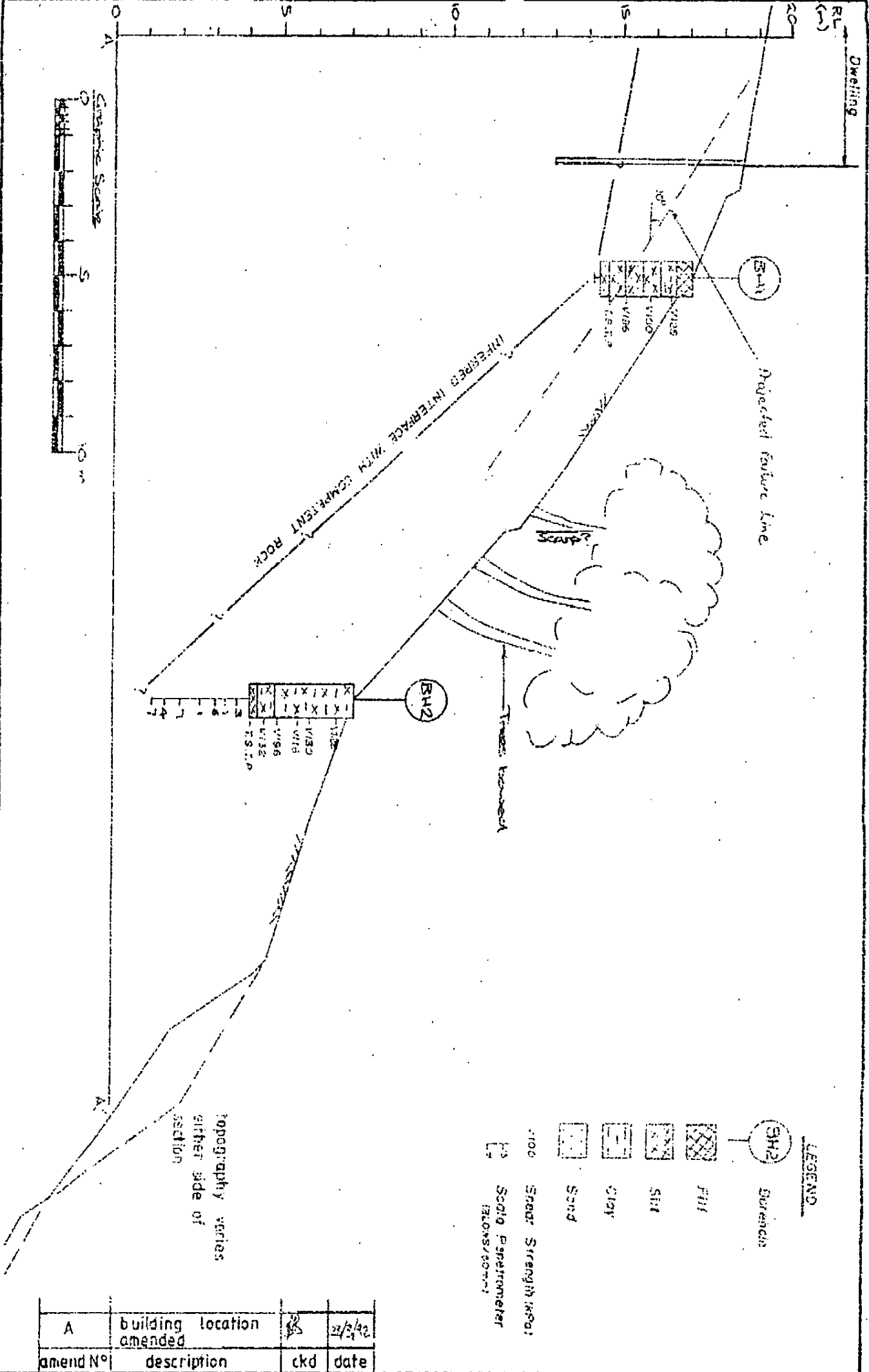


Prepared by
RILEY CONSULTANTS LTD
P.O. Box 100233
NORTH SHORE MAIL CENTRE

For
Mr K. Weatherington

Scale 1:100
Drawing: B390A
Checked: BS
SITE INVESTIGATION
Tennis Rd T.H. Wang
Cross Section A-A

Drawing No.
91142-2A
Date OCT 1991



| | | | |
|----------|---------------------------|-----|---------|
| A | building location amended | BS | 22/2/92 |
| amend N° | description | ckd | date |

Waitakere City Council



15 May 1992

Mr Kim Hetherington
730 South Titirangi Road
Titirangi
AUCKLAND

Dear Sir/Madam

RE: PROPOSED RE-ERECT DWELLING - 33 TAINNI ROAD
BUILDING PERMIT APPLICATION NO: 92/776

In connection with the above application you are advised that the following details are required in order to process this further:

1. This application is for a dwelling, but the plans submitted show a packing shed. To be a dwelling the building must comply with the minimum standards set down in the Model Building Bylaw NZS 1900 series. Please provide amended plans to that effect.
2. Please provide long-section of sanitary drain showing 1:60 fall available to Council sewer.
3. Please provide full details of stormwater disposal consideration required to engineers report and falls available.
4. ✓ You have stated second-hand materials will be used, if yes, please complete the attached form and return it to this office together with the required fee.
5. Soils engineer to confirm size of front row of poles by calculations stating depth of creep designed for.
6. Soils engineer to draw projected slip on cross-section A-A' as stated 'slip face will be approximately 10m from builders platform' does not appear correct.

DBS/NB
0004

Private Bag 93109
Henderson 8

CIVIC CENTRE
Waipareira Avenue
Telephone 0-9-836 8000
Facsimile 0-9-836 8001
DX 6018
Address all correspondence
to the Chief Executive Officer

7. In conjunction with item two above, if slip does occur could a retaining wall be built due to access problems, and thus likely effect on foundation creep loading.

ENQUIRIES CONCERNING ABOVE MATTER/S CONTACT:


| | | | |
|---------|-----|-----------------|----------------|
| Item/s: | 1 | Derek Llewellyn | Extension 8656 |
| | 2-3 | Paul Gilbert | Extension 8658 |
| | 4 | Ron Alexander | Extension 8645 |
| | 5-7 | Craig Younger | Extension 8720 |

ENQUIRIES ON PROGRESS OF APPLICATION TO EXTENSION 8612, 8610 OR 8602

We look forward to receiving these requirements as soon as possible.

NOTE: Any amended plans submitted must be accompanied by a letter itemising the changes made.

Yours faithfully


Building Control Section
ENVIRONMENTAL ADMINISTRATION

33 Tainui Rd

12781.

AMENDED PLANS - PROGRESS SHEET

Application No 92 / 776

Building Permit No

Date Received ... 8-6-92

Internal Layout plans / Amended roof-line

| To | Date In | Date Out | Handed on to | Remarks |
|------------------------------|---------|----------|--------------|------------------------------|
| Planning Officer | 8-6-92 | 8-6-92 | B/S | LLC report to be attached OK |
| Building Surveyor | 8-6-92 | 10/6 | F.C. | OK |
| Environmental Health Officer | | | | |
| Plumbing & Drainage Surveyor | | | | |
| Design Engineer | | | | |
| Drainage Engineer | | | | |
| Final Check | 10/6 | 10/6 | TPING | OK |
| | | | | |
| | | | | |

REQUIREMENTS:

CONDITIONS:

AMENDED PLANS - PROGRESS SHEET

Application No 92 1776

Building Permit No

Date Received 3-6-92

| To | Date In | Date Out | Handed on to | Remarks |
|------------------------------|---------|----------|--------------|-----------------|
| Planning Officer | | | | |
| Building Surveyor | | | | |
| Environmental Health Officer | | | | |
| Plumbing & Drainage Surveyor | 3/6 | 4/6/92 | F/C | AL |
| Design Engineer | | | | |
| Drainage Engineer | | | | |
| Final Check | 4/6/92 | 5/6 | Phy | with reg 15 May |
| | | | | |
| | | | | |

REQUIREMENTS:

CONDITIONS:

APPLICATION NO... 92/776.

BUILDING PERMIT PROCESSING SHEET (W)

Town Planning Zoning NUR 1 Date & Officer 9-6-92 JAT
Complies with Resource Consent granted 4-6-92
Approved by H. S. Day Building Surveyor 10-6-92 Date
Approved by [Signature] Plumbing/Drainage Surveyor 4/6/92 Date
Approved by E.H.O. Date
Approved by Dangerous Goods Surveyor Date

REMARKS Stability Sensitive
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.....

Permit issued subject to the following conditions ① TO NOTATIONS ON PLANS.

- ② Engineer's Calculations - to be read in conjunction with the drawings and are to be strictly adhered to. at 26/5/92
- ③ No plumbing work to commence until plumbing permit has been granted
- ④ Subject to conditions of Resource Consent granted 4-6-92 pursuant to S. 104, 105 & 108 of the R.M. Act 1991
- ⑤ Subject to the conditions of the second-hand building materials report No 004 dated 25/2/92.

Planning Consent Resolution File
Second-hand Materials Report Attached
Electricity Transmission Line Clearance Received
WCC Sanitary Sewers Checked: Release/Hold
ARA Sewers Checked: Release/Hold [Signature]
WCC Stormwater Sewers Checked: Release/Hold
Plans Checked by Fire Officer
Fire Officer's Report Received

INITIALS
33 Tainui Avenue
No. 004 25/2/92
✓
✓
✓
✓

FINAL CHECK

Initials [Signature]
Date 10/6/92

PERMIT NO 12781
DATE ISSUED 18-6-92

CHECK LIST — BUILDING PERMIT APPLICATIONS

A permit is required for all building construction and alterations. The following is a check list of requirements to be submitted to Council to obtain a permit.

APPLICATIONS WHICH DO NOT MEET REQUIREMENTS WILL NOT BE ACCEPTED FOR PROCESSING

APPLICATION FORMS

1. (a) ☒ **Building Permit Application:**
An application form must be completed and signed by the applicant. **All items on the application form must be completed.**
- (b) ☒ **Street Damage Deposit:**
Except where the road adjacent to the property has a metal surface, all applications where the total value of work exceeds \$15,000 the Street Damage Deposit form attached to the Building Permit Application form must be completed. Any damage to footpath, crossing or kerb must be recorded.
- (c) ☒ **Vehicle Crossing Details:**
All properties must have a complying vehicle crossing. Vehicle crossing details must be shown on the Vehicle Crossing Details form attached to the Building Permit Application form and signed by applicant.
- (d) ☐ **Plumbing/Drainage Permit Application:**
When plumbing and/or drainage (including stormwater drainage) is involved a Plumbing/Drainage application form must be completed.
- (e) ☒ **Application for Water Supply:**
For new buildings on a reticulated water supply the Application for Water Supply form attached to the Plumbing/Drainage Permit Application form must be completed. For flats, factories and shops a separate water meter is required for each flat, factory unit or shop.
- (f) ☒ **Septic Tank Application:**
For buildings requiring a septic tank a registered Civil Engineer's report is to be lodged with the application and the owner is to complete and sign the septic tank application form.
- (g) ☒ **Temporary Accommodation:**
Where it is intended to live on the site in temporary accommodation while constructing a dwelling it will be necessary to complete a Temporary Accommodation/Building form and submit this (together with the specified fee) with your application for a building permit.

SITE AND DRAINAGE PLANS

Two copies of site plans are to be submitted with all building permit applications and shall clearly show the following (min. scale 1:100, or 1:200 for sections larger than 1500 m², drawn in ink).

NOTE: Four copies of site and drainage plans must be submitted for developments.

2. (a) ☒ The position of all survey pegs relating to the lot or lots involved.
- (b) ☒ All legal boundaries are to be clearly shown with dimensions.
- (c) ☒ Any existing buildings on the site are to be clearly defined and dimensioned from boundaries.
- (d) ☒ Position of proposed building to be clearly defined and dimensioned from boundaries and any other buildings on site.
- (e) ☒ Details of land contours required:
 - (i) A contour plan with 500mm increment lines;
 OR
 - (ii) Spot levels at building corners, site corners and on side boundaries opposite building corner (minimum 12 points).
The ground floor level must be defined with a R.L. or datum when using spot levels or contours.
- (f) ☒ Excavation and site development and/or retention proposals. If a building platform is required, details of benching and fill compaction will be necessary.
- (g) ☒ Position of sanitary and stormwater public sewers to be shown on site plan. Distances to boundaries to be stated when sewers are outside site.
- (h) ☒ Layout of proposed private drains to approved connections to be shown.
- (i) ☒ Layout of existing private drains to be shown.

- (j) ☒ Proposed method of collecting and disposing of ground water and seepage to be shown, e.g. behind retaining walls.
- (k) ☒ Locality sketch showing location of property in relation to nearest major road.

WORKING DRAWINGS AND SPECIFICATIONS

Two copies of working drawings are to be submitted with all building permit applications and shall clearly show the following (min. scales 1:100 and 1:10 drawn in ink)

3. (a) ☒ Foundation plans detailing each element used, and bracing required.
- (b) ☒ Floor plan showing proposed use of all parts of the proposed building. No permit application shall be received unless the whole floor is shown with existing layout and use, proposed work and final complete floor layout and use.
- (c) ☒ Roof plan showing members used and bracing required. Truss code number's to be supplied.
- (d) ☒ Elevations of ALL exterior walls showing ground levels, both existing and final development.
- (e) ☒ Cross section of proposed building, showing existing and proposed adjacent ground levels.
- (f) ☒ Details of wall bracing to be shown and bracing calculations provided.
- (g) ☒ Details of thermal insulation to be shown. If not complying with accepted practice of B.R.A.N.Z. C.1. publication, thermal calculations will be required.
- (h) ☒ Details of terraces/steps, showing construction.
- (i) ☒ Drawings and calculations for firewalls with details of soffit blocking, etc.
- (j) ☒ **Specific Engineering Design:**
All applications for building permits where elements of structure require specific design by an engineer shall be accompanied by calculations and a Structural Design Features Summary signed by a registered engineer. All items covered by the calculations shall be incorporated into the working drawings.
- (k) ☒ **Stability Sensitive Sites:**
All applications for building permits on sites designated Stability Sensitive in the Town Planning District Scheme shall be accompanied by a soils assessment/report prepared by an approved engineer experienced in geomechanics.
- (l) ☒ Two sets of specifications, with section headings. All irrelevant information is to be deleted.
- (m) ☒ Schematic plumbing layout to be included on working drawings for Commercial/Industrial applications.

SWIMMING POOLS

- 4 (a) ☒ Capacity of pool to overflow level is to be stated and depth into ground indicated. Some pools, due to their siting or depth, may need additional support such as retaining walls and these shall be included in the application. Details of fencing to comply with the requirements of the Fencing of Swimming Pools Act 1987 shall be included with the working drawings.
- (b) ☒ Application form Inspection For Compliance of Pool Fencing shall be completed and signed by OWNER or OCCUPIER.

OFFICE USE ONLY

- (a) All the necessary requirements are included in the plans submitted.

Signature: *[Signature]* Date: 30-4-92

- (b) The following requirements are to be incorporated before plans will be accepted for processing:
NOTE: This Check List must be returned when re-submitting application.

Items Nos. _____

Signature: _____ Date: _____

- (c) Additional requirements as in (b) submitted with plans.

Signature: _____ Date: _____

REPORT ON COMMERCIAL OR INDUSTRIAL BUILDING

STRUCTURAL ENGINEER'S REPORT

REPORT C(1)

B.P. APPLICATION NO: 92/776

APPLICANTS NAME: K Hetherington
 BUILDERS NAME: K Hetherington
 PROPOSAL: Resiting Dwelling
 LEGAL DESCRIPTION: LOT: 68 D.P.: 37794
 ROAD NAME & LOCALITY: _____

CALCULATIONS AND STRUCTURAL CHECK

1. THE FOLLOWING AMENDMENTS, ALTERATIONS OR ADDITIONAL INFORMATION MUST BE MADE (OR SUPPLIED), BEFORE APPROVAL CAN BE CONSIDERED:
 (Please list clearly, and date and sign requirements)

⑤ ① Soils engineer to confirm size of front on of poles. ~~By~~ by calculations stating depth of creep designed for.

⑥ ② Soils engineer to draw projected slip on cross-section A-A' as stated 'slip face will be approximately 10m from buildings platform' does not appear correct.

- ⑦ ③ In conjunction with item two above, if slip does occur could a retaining wall be built due to access problems, and the matters listed in (1) above (when applicable), have been thus likely settled to my satisfaction and I recommend that the application be effect on APPROVED subject to the following conditions:-

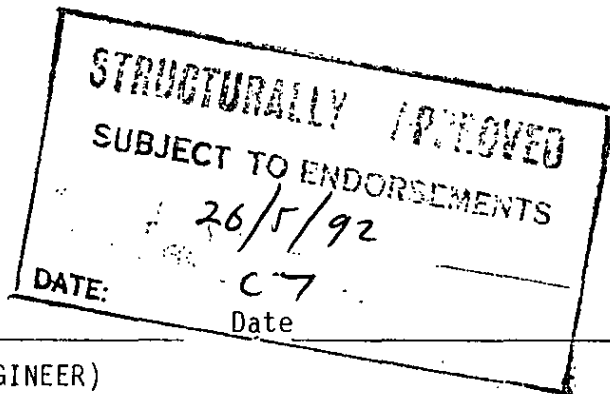
Foundation inspection
 As built - A registered engineer is to inspect foundation construction and is to issue counsel an 'As Built' Certificate stating compliance with soils report and engineer's design
 C/ 11/5/92

- (b) I recommend that the application be NOT APPROVED for the following reasons:

Delete not applicable

Dealt with by _____

(STRUCTURAL ENGINEER)



BUILDING PERMIT APPLICATION - PROGRESS SHEET

Application No. 92/1776 HETHERINGTON/MORRISON

| To | Date in | Date out | Handed on to | Remarks |
|------------------------------|---------|----------|--------------|---|
| Planning Officer. | s/s | 7/5 | B/S | LUC applic ⁿ being processed |
| | | | | |
| | | | | |
| Building Surveyor | 7/5 | 7/5 | 7/5 | see letter |
| | | | | |
| | | | | |
| Plumbing & Drainage Surveyor | 7/5 | 8/5 | DE | letter |
| | | | | |
| | | | | |
| Design Engineer | | 11/5 | F.C | |
| | | 26/5 | F.C | |
| | | | | |
| Drainage Engineer | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| Final Check | | 12/5 | letter | |
| | | 15/5 | Adj. | |
| | | 26/5 | Adj. | |

WAIKARE CITY COUNCIL - Form to be completed and submitted with Building Permit Application.

1. ENGINEERS NAME - As on DESIGN FEATURES SUMMARY - complete as applicable
(Individual or Company)

SURNAME Fitch INITIALS NR

COMPANY NAME Riley Consultants Ltd.

2. NUMBER OF STOREYS

3. FLOOR CONSTRUCTION DETAILS

tick

tick

A TIMBER FRAME

✓

D EARTH

B CONCRETE SLAB

E COBBLESTONES

C TIMBER FRAME & CONCRETE SLAB

4. WALL CONSTRUCTION DETAILS

tick

tick

A TMER/FRME, WEATHERBOARDS

✓

H CONCRETE BLOCK

B TMER/FRME, BRICK VENEER

I CAVITY BRICK

C TMER/FRME, HARDIFLEX

J TRANSLUCENT SHEET

D TMER/FRME, METAL WBDS

K GLASS

E TMER/FRME, PLYWOOD

L STEEL

F STEEL FRME, BRICK VENEER

M TIMBER POSTS ONLY

G STEEL FRME, SHT PROFILE METAL

5. ROOF CONSTRUCTION DETAILS

tick

tick

A CONCRETE TILE

G TIMBER

B TERRA COTTA TILE

H GLASS

C PRESSED METAL TILE

I PLASTIC

D SHEET PROFILE METAL

✓

J TRANSLUCENT SHEETS

E SHEET PROFILE FIBRO

K BUTYNOL

F CONCRETE

L SHINGLES



Waitakere City Council

12 June 1992

Mr K. Hetherington
730 South Titirangi Road
TITIRANGI

Dear Sir/Madam

LOT 68 DP 37794 : 33 TAINUI ROAD

Application 92/776 is now approved and the following fees are payable.

| | |
|-----------------------------|----------|
| Balance Building Permit Fee | \$120.00 |
| Drainage Permit Fee | 90.00 |
| Plumbing Permit Fee | 90.00 |
| Planning Check Fee | 22.50 |

TOTAL FEES PAYABLE: \$322.50

Please present this letter, together with any enclosures duly completed, to the Treasury Payments between 8.45am and 4.15pm weekdays. The permit can then be uplifted from the Building Control Section on presentation of the receipted letter. To assist Council you are requested to uplift the permit within one month of the date of this letter otherwise it will be necessary for the application to be cancelled. If you have any enquiries regarding this letter please contact the writer on extension 8606.

Yours faithfully

Ann Rutt (Mrs)
Senior Clerk
For: G.W. Gillard
BUILDING CONTROL MANAGER

242/3. 18.6.92.

322.50.

Private Bag 93109
Henderson 8

CIVIC CENTRE
Waipareira Avenue
Telephone 0-9-836 8000
Facsimile 0-9-836 8001
DX 6018
Address all correspondence
to the Chief Executive Officer