

# Land Information Memorandum



Property address:

11 Twin Meadows Drive

LIM number: H09138119

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**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## Application details

**Date issued** 16 July 2025  
**Date received** 14 July 2025

## Property details

**Property address** 11 Twin Meadows Drive, Styx, Christchurch  
**Valuation roll number** 21916 23522  
**Valuation information** Capital Value: \$470,000  
Land Value: \$470,000  
Improvements Value: \$0  
*Please note: these values are intended for Rating purposes*  
**Legal description** Lot 22 DP 586884  
**Existing owner** Independent Producers Limited  
PO Box 19554  
Christchurch 8241

## Council references

**Rate account ID** 73208337  
**LIM number** H09138119  
**Property ID** 1200118

## Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made. It is essential that the applicant undertakes their own due diligence to verify the suitability of the property for their intended use.

## Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

**To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.**

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A search of records held by the Council has revealed the following information:

## 1. Special features and characteristics of the land

*Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.*

☎ For enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### Natural Hazards

#### (a) Coastal Hazards

As at the date of this LIM, Council research found no information under this heading.

#### (b) Earthquakes

- Liquefaction Assessment

Christchurch City Council holds indicative information on liquefaction hazard for Christchurch. Information on liquefaction, including an interactive web tool, can be found on the Council website at [ccc.govt.nz/liquefaction](http://ccc.govt.nz/liquefaction). Depending on the liquefaction potential of the area that the property is in, the Council may require site-specific investigations before granting future subdivision or building consent for the property.

#### (c) Flooding

As at the date of this LIM, Council research found no information under this heading.

#### (d) Landslides

As at the date of this LIM, Council research found no information under this heading.

#### (e) Subsidence

- Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

#### (f) Tsunamis

- Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

#### (g) Volcanic and Geothermal Hazards

As at the date of this LIM, Council research found no information under this heading.

#### (h) Wind

As at the date of this LIM, Council research found no information under this heading.

#### (i) Any Other Natural Hazards

As at the date of this LIM, Council research found no information under this heading.

#### (j) District Plan Natural Hazard Information

Please refer to *Section 8. Land use and conditions* of this report for District Plan related natural hazard information.

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## **(k) Building Notices**

Please refer to *Section 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings* of this report for Building Act notice information.

## **Other Special Features or Characteristics of the Land**

- Borelog/Engineer Report Image Available  
Borelog/Engineer Report Image Available

- Fill


This property is located in an area known to have been filled. The year the fill occurred is 2022. The filling was, according to the Council's records carried out in a controlled manner and comprises Engineered Fill.

## **Related Information**

- The latest soil investigation report for this property is attached for your information

## 2. Private and public stormwater and sewerage drains

*Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.*

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **Pressurised Sewer System**

Council records indicate this lot falls within a local pressure sewer catchment where installation of onsite local pressure sewer systems (LPSS) are required to connect to the sewer network. For LPSS ownership information, please refer to the property title consent notice. If an existing LPSS is vested with Council, please refer to <https://ccc.govt.nz/assets/Documents/Services/Wastewater/20-404174-Local-Pressure-Sewer-System-User-Guide.pdf>. If there is no LPSS-related consent notice, contact Christchurch City Councils 3 waters unit at [WastewaterCapacity@ccc.govt.nz](mailto:WastewaterCapacity@ccc.govt.nz).

### Related Information

- Attached are all drainage plans that Council hold for details of private and public drainage. Not all plans provided are verified by Council, and therefore Council cannot be liable for inaccuracies. Site investigation will be required by owners to determine exact layouts.
- This property is shown to be served by Christchurch City Council Sewer and Stormwater.

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## 3. Drinking Water Supply

*Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.*

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to [www.ccc.govt.nz](http://www.ccc.govt.nz).

## 4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Annual rates

Annual rates to 30/06/2026: \$2,833.34

	Instalment Amount	Date Due
Instalment 1	\$708.27	31/08/2025
Instalment 2	\$708.27	30/11/2025
Instalment 3	\$708.27	28/02/2026
Instalment 4	\$708.53	31/05/2026

Rates owing as at 16/07/2025: \$708.27

### (b) Excess Water Rates

For excess water charge enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz/contact-us](http://www.ccc.govt.nz/contact-us).

### (c) Final water meter reading required at settlement?

Property settlements must ensure all water usage and outstanding debts are accurately accounted for.

To advise of a property settlement, please complete the request for settlement information form at [www.ccc.govt.nz/services/rates-and-valuations/solicitors-request](http://www.ccc.govt.nz/services/rates-and-valuations/solicitors-request).

A settlement statement of accounts will be provided on the expected settlement date advised.

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## 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

*Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.*

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

*Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.*

*Sections 71 to 74 of the Building Act 2004 require the Building Consent Authority to consider natural hazards when it receives a building consent application for the construction or major alteration of a building on land that is subject to, or likely to be subject to, a natural hazard. A building consent for this property may have been issued subject to a section 72 or 73 notice. This means at the time of building consent the Building Consent Authority was not satisfied that adequate provision would be made to protect the building and land from the natural hazard and was subsequently required to notify the Registrar-General of Land to record the natural hazard on the Record of Title. The Building Act 2004 defines natural hazards as erosion (including coastal erosion, bank erosion, and sheet erosion), falling debris (including soil, rock, snow, and ice), subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, and ponding), and slippage.*

*If your property contains a notice under s73 of the Building Act 2004, this will be identified on the building consent decision below (decision under s72 of the Building Act 2004) and on the properties' Record of Title. The Record of Title may also record this as a s36 notice under the Building Act 1991, or a s641A notice under the Local Government Act 1974.*

☎ For building enquiries, please phone (03) 941 8999, email [EPADutyBCO@ccc.govt.nz](mailto:EPADutyBCO@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Consents

- BCN/2024/9181 Applied: 22/11/2024 Status: CCC Ready for Allocation  
11 Twin Meadows Drive Styx  
Accepted for processing 26/11/2024  
PIM Granted 28/11/2024  
PIM Issued 29/11/2024  
Building consent granted 27/12/2024  
Building consent issued 31/12/2024  
Construction of dwelling with attached garage

### (b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

### (c) Notices

### (d) Orders

### (e) Requisitions

### Related Information

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- Please find an electrical & gas fitters certificates attached relating to works that have been carried out on the current building/dwelling at this address.

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## 6. Certificates issued by a building certifier

*Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.*

☎ For building enquiries, please phone (03) 941 8999, email [EPADutyBCO@ccc.govt.nz](mailto:EPADutyBCO@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

## 7. Weathertightness

*Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.*

 For weathertight homes enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

*If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.*

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## 8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email [DutyPlanner@ccc.govt.nz](mailto:DutyPlanner@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

### (a)(i) Christchurch City Plan & Banks Peninsula District Plan

#### (ii) Christchurch District Plan

- **Development Constraint Conditions**

Council records show there is a specific condition on the use of this site: Consent Notice

- **Christchurch International Airport Protection Sfc.**

Property or part of property within the Christchurch International Airport Protection Surfaces overlay, which is operative.

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **Outline Development Plan**

Property or part of property is within an Outline Development Plan area, which is affected by specific provisions that are operative.

- **District Plan Zone**

Property or part of property within the Residential New Neighbourhood Zone, which is operative.

### (b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- RMA/1995/5609 - Subdivision Consent  
Fee Simple SUBDIVISION - Historical Reference RMA9967  
Status: Processing complete  
Applied 22/12/1995

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- RMA/2002/439 - Subdivision Consent  
FEE SIMPLE SUBDIVISION - 5 LOTS - Historical Reference RMA20009413  
Status: Processing complete  
Applied 19/02/2002  
Granted 22/05/2002  
Decision issued 22/05/2002
- RMA/2002/1080 - Land Use Consent  
330 Styx Mill Road Styx  
To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071  
Status: Processing complete  
Applied 13/05/2002  
Granted 22/05/2002  
Decision issued 22/05/2002
- RMA/2021/3027 - Combined subdivision / land use consent  
216 Styx Mill Road Styx  
Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028  
Status: s223 Certificate issued  
Applied 10/09/2021  
16/02/2022  
s223 Certificate issued stage 1 31/03/2023  
s224 Certificate issued stage 1 09/06/2023  
Conditions changed/cancelled - s127 20/09/2024  
13/01/2022  
Granted 13/01/2022  
Decision issued 13/01/2022
- RMA/2021/3028 - Land Use Consent  
Global Resource Consents, Network Rating Unit  
Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027  
Status: Processing complete  
Applied 10/09/2021  
16/02/2022  
12/01/2022  
Granted 12/01/2022  
Decision issued 13/01/2022
- RMA/2022/3829 - Land Use Consent  
18 Twin Meadows Drive Styx  
Proposed new single-level dwelling - Lot 27  
Status: Processing complete  
Applied 13/12/2022  
05/01/2023  
Granted 05/01/2023  
Decision issued 05/01/2023

## Related Information

- Council records shows there is an outstanding development contribution notice issued against this property development. For more information please contact the Development Contribution team on 941 8999 or email: [developmentcontributions@ccc.govt.nz](mailto:developmentcontributions@ccc.govt.nz). RMA/2021/3027.

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- The Council system shows a Development Constraint/Ongoing Condition Consent notice for this property. The consent notice should be registered against the record of title for the property and a search of that title and the consent notice will provide details in respect of the constraint / condition. If a search of the title does not record the consent notice or the consent notice is not clear then we suggest you contact the duty planner by either calling 941 8999 or emailing [DutyPlanner@ccc.govt.nz](mailto:DutyPlanner@ccc.govt.nz). The Consent notice is as follows:

To be served by a local pressure sewer system. Has assets to be vested in CCC. Owner responsible for ongoing power costs.

Specific TC2 foundation design. Should consider the potential risk from cyclic softening with shallow soft soils located below the groundwater level.

## 9. Other land and building classifications


*Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.*

 For land and building enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

Please refer to Section 1 for details

## 10. Network utility information

*Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.*

 For network enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **None recorded for this property**

## 11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Kerbside waste collection

- Your organics are collected Weekly on Thursday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 2 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Styx Mill EcoDrop.
- Your refuse is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Styx Mill EcoDrop.

### (b) Other

#### • Floor Levels Information

Christchurch City Council holds a variety of information relevant to building/property development across the city. This includes minimum finished floor levels that need to be set to meet the surface water requirements in clause E1.3.2 of the building code (where this applies), and the requirements of the Christchurch District Plan (where a property is in the Flood Management Area). Where this information has been processed for your site, it can be viewed at <https://ccc.govt.nz/floorlevelmap/>, otherwise site specific advice can be obtained by emailing [floorlevels@ccc.govt.nz](mailto:floorlevels@ccc.govt.nz)

#### • Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

#### • Community Board

Property located in Fendalton-Waimairi-Harewood Community Board.

#### • Electoral Ward

Property located in Harewood Electoral Ward

#### • Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz)

#### • Spatial Query Report

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

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Davie, Lovell-Smith Ltd  
116 Wrights Road, Addington  
PO Box 679, Christchurch 8140,  
New Zealand  
Telephone (03) 379-0793,  
Facsimile (03) 379-5664,  
E-mail: office@dls.co.nz

12<sup>th</sup> April 2023

Independent Producers Limited  
[sales@meadowstream.co.nz](mailto:sales@meadowstream.co.nz)

Attention: Mark Allison

**FOUNDATION SOILS INVESTIGATION – Meadow Stream, 232 Styx Mill Road, Stage 1, Lot 22**

In accordance with your instructions, we have carried out foundation soil testing in terms of NZS 3604:2011 S3 on the site at Meadow Stream, 232 Styx Mill Road, Stage 1, Lot 22.

For a foundation of a building to be designed using NZS 3604:2011, the building site must comply with the following conditions:

1. The ground needs to be classified as *good ground* and have an ultimate bearing capacity of at least 300KPa
2. For a building being built on a hill, the foundation shall be 0.6m behind the ground line and the horizontal distance from the top to the bottom shall not exceed 3m. The slope beyond the bank shall not exceed 5° for a distance of 10m.
3. Fill, including hard fill, placed over undisturbed ground or certified fill, shall not exceed 0.6m in depth above natural ground level, if within 3m of a foundation.

For the soil supporting the footing to be assumed *good ground*, the following conditions must be met:

- a) Reasonable inquiry, through project information memorandum (PIM) and site observation show no evidence of buried services and none is revealed by excavation for footings;
- b) Reasonable inquiry, of PIM and site observations shows no indication or record of land slips or surface creep having occurred in the immediate locality;
- c) Reasonable inquiry shows no evidence of earth fill on the building site and no fill material is revealed by the excavation for footings. This shall not apply where a certificate of suitability of earth fill for residential development has been issued in accordance with NZS 4431 for the building site, and any special limitations noted on that certificate are complied with; and
- d) Excavation for footings does not reveal buried organic topsoil, soft peat, very soft clay, soft clay or expansive clay

And any of the following:

- e) Where indicated by specific site investigation, using the test method for soil bearing capacity described in NZS3604:2011 s3.3, or,
- f) Where inspection of existing structures on this or neighbouring sites and reasonable enquiry, including territorial authority records, local history of the site, and published geological data such as structural geology where appropriate, shows no evidence of erosion (including coastal erosion, bank erosion and sheet erosion) surface creep, land slippage or other falling debris (including soil, rock, snow and ice), uncertified fill, fill over original water course, or subsidence having occurred in the immediate locality, or,
- g) When geotechnical completion reports in accordance with NZS 4404 identify subsoil class and areas that provide *good ground*.

With reference to items a-g, the subject building site has been assessed as follows:

- a. We have not found any record of land slips or surface creep having occurred on this site
- b. We have not found any evidence of uncertified filling on this site.

In addition to this and in accordance with item (e) above, a specific site investigation was carried out.

However this site is considered TC2 and with reference to the MBIE Guidelines the provisions of NZS3604 may not apply. The alternative requirement in the MBIE Guidelines is as follows:

*"Section 5.2 Overview of new foundation options:"*

*"The principal objectives in designing new concrete slab foundation systems for rebuilding in TC2 ground damaged land should be that any settlements that occur in future earthquakes will be constrained to cope with settlements outlined in Table 3.1. In many areas of greater Christchurch, the 'good ground' provisions of NZS 3604 may not apply, and therefore the concrete foundation and flooring provisions of that Standard should not be used in these areas without specific engineering design input (see section 3.4.1)."*

With further reference to the MBIE Guidelines:

*"Table 5.2 Geotechnical requirements for rebuilt or new foundations on the flat"*

TC2 *"Foundations for new dwellings should include a shallow subsurface investigation to determine the bearing capacity of the soil (or for deep piles, a deep investigation).*

- 1. If the investigation determines the site's geotechnical ULS bearing capacity is greater than 300 kPa, NZS 3604 timber piled foundations (Type A) or an enhanced perimeter foundation wall as per Figure 4.2 (Type B) may be used, or specific engineering design carried out.*
- 2. If the investigation determines the site's geotechnical ULS bearing capacity is greater than 200 kPa, use enhanced slab TC2 solutions (Options 1 - 4) or other specific engineering design.*
- 3. If the investigation determines the site's geotechnical ULS bearing capacity is less than 200 kPa, foundations should be specifically designed. TC2 sites generally require only a shallow investigation to provide the information"*

With further reference to the MBIE Guidelines Section 3.4.1

*"3.4.1 Shallow subsurface investigation for TC1 and TC2"*

- "For foundation Options 1-4 in section 5 of this document, Scala blows per 100 mm shall be minimum 2 blows (i.e., 50 mm per blow) for ground deemed to have 200 kPa geotechnical ultimate bearing capacity."*

#### **Shallow Subsurface Specific Site Investigation Methodology:**

Four test sites were selected. At each test site, penetrometer testing was performed to a depth of two metres or until refusal was met. A bore log was also taken to a depth of refusal at one site. Enclosed are the results of the penetrometer tests, bore log and map of the location of each test site.

#### **Investigation Results:**

The test method for soil bearing capacity of 200kPa requires at least 2 blows per 100mm.

The test results were relatively consistent. All tests managed to achieve a bearing capacity of 200kPa for all of the 100mm deep sections tested between the surface and conclusion of the tests.

At test site 1 a bearing capacity of 200kPa was achieved at 100mm which was maintained for the duration of the test.



At test site 2 a bearing capacity of 200kPa was achieved at 100mm which was maintained for the duration of the test.

At test site 3 a bearing capacity of 200kPa was achieved at 100mm which was maintained for the duration of the test.

At test site 4 a bearing capacity of 200kPa was achieved at 100mm which was maintained for the duration of the test.

One Hand Auger bore log was undertaken at test site 3. The Strata found is described as follows:

**Test Site 3:**

- TOPSOIL 0 - 400mm
- Silty sand, light brown – 0.4 – 0.6m
- Silty sand light brown with hints of grey throughout – 0.6 – 1.2m
- Silty sand, light brown – 1.2 – 1.7m
- Silty sand, dark brown – 1.7 – 2.0m

Based on the above site-specific testing we consider that the soils across the proposed site at Lot 22, Meadow Stream, 232 Styx Mill Road, Christchurch, Stage 1 do **not meet the definition of good ground** under NZS 3604:2011, due to the presence of TC2 soils.

**Recommendations:**

According to NZS 3604:2011, this site is not considered good ground, and is not suitable for NZS 3604:2011 foundations. However the soils do comply with the minimum bearing capacity of 200 kPa for TC2 soils as prescribed by the MBIE Guidelines. A TC2 type foundation is appropriate.

Excavations should be carried out to the depth of the underside of the foundation basecourse or until all topsoil is removed, whichever is greater. Before a building is erected, all rubbish, noxious, and organic matter must be removed from the building footprint. If any buried organic topsoil, soft peat, very soft clay, soft clay or expansive clay is revealed during excavation under the footings, this is to be removed and replaced with compacted gravels.

**Limitations:**

Please note that these tests do not preclude any party from their obligation to carry out further site testing in terms of the requirements of NZS 3604:2011 "Timber Framed Buildings" in relation to other proposed site works.

Please note that this report does not address liquefaction. This has been assessed as part of a geotechnical report, which is in Council records.

Should you need further information on this matter do not hesitate to contact us.

Yours faithfully

DAVIE LOVELL-SMITH LIMITED

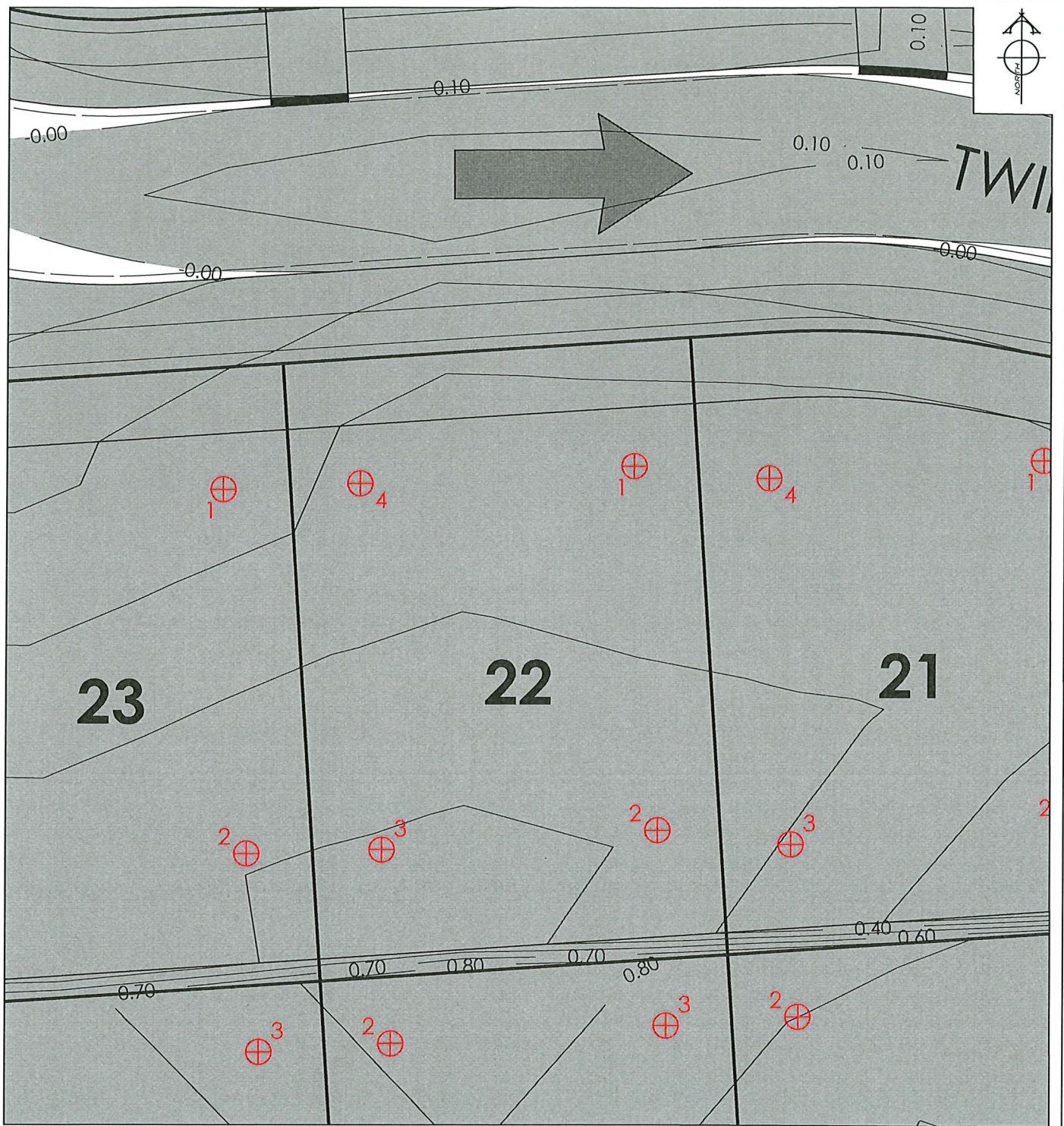
Andy Hall

Chartered Professional Engineer

ENCL:

Site plan and test locations  
Penetrometer and Bore log test results

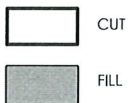




**LEGEND:**

Test Site 4 ⊕

CONTOURS SHOWN ARE APPROXIMATELY  
CUT (-ve) AND FILL (+ve) AT  
0.1m INTERVALS.



**NOTES:**

- 1) This plan has been prepared for Design Earth Fill purposes only. No liability is accepted if the plan is used for any other purpose.
- 2) Any measurements taken from information which is not dimensioned on the electronic copy are at the risk of the recipient.
- 3) This plan has been prepared for the use of our Client and no liability is accepted in relation to any other parties.



116 Wrights Road  
PO Box 679 Christchurch 8140,  
New Zealand  
Tele 0-3-3790 793  
E-mail: office@dls.co.nz

**232 Styx Mill Road  
Stage 1  
Design Earthfill**

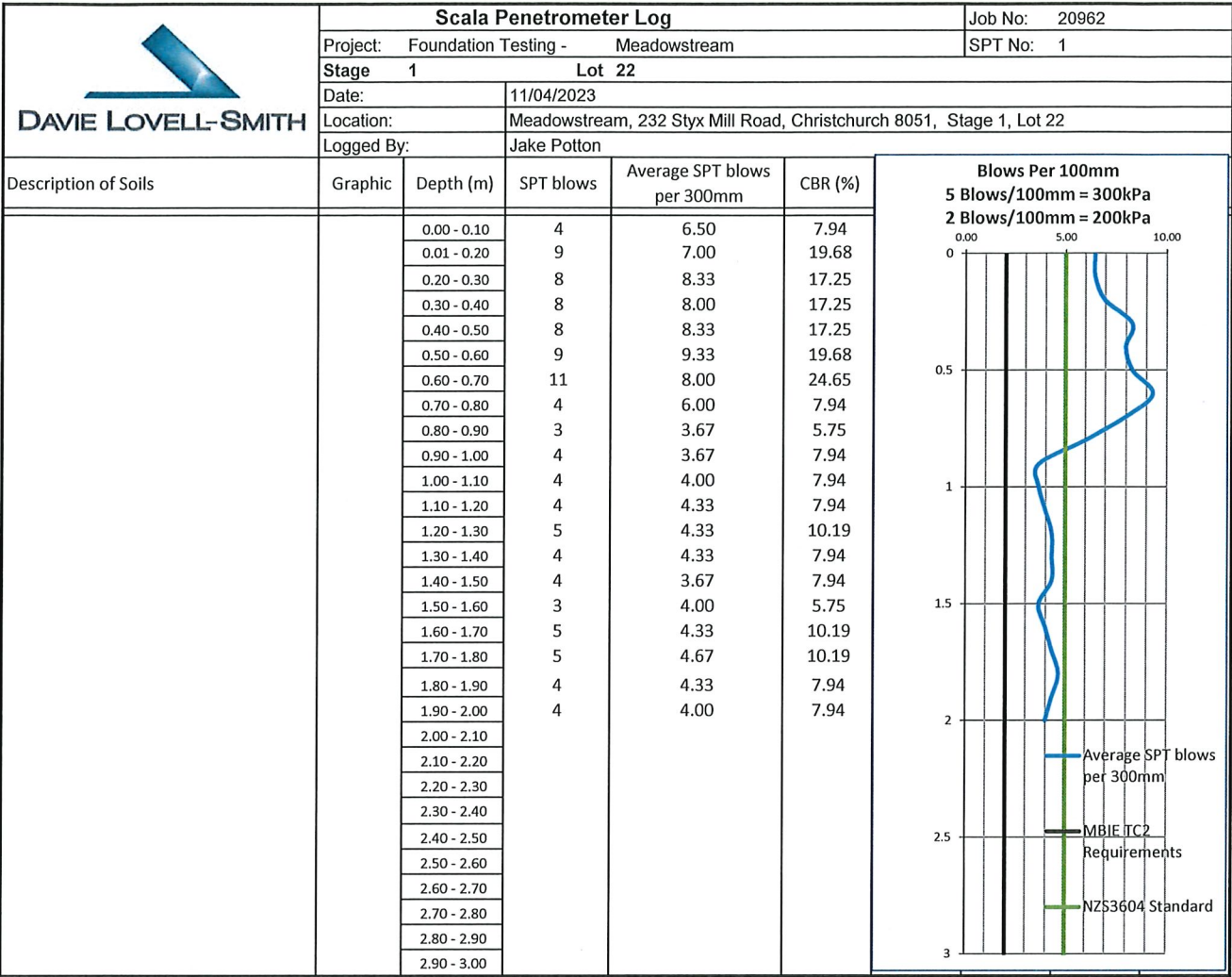
**Lot 22**

Scale: 1:250@A4


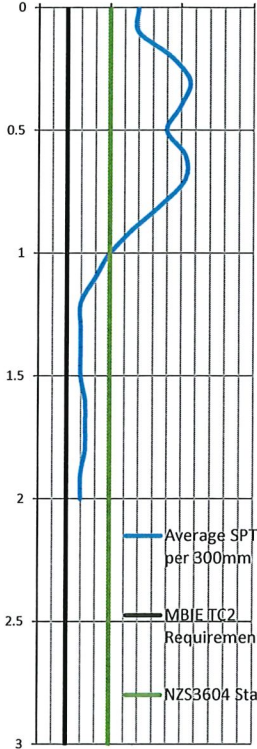
Date: March 2023

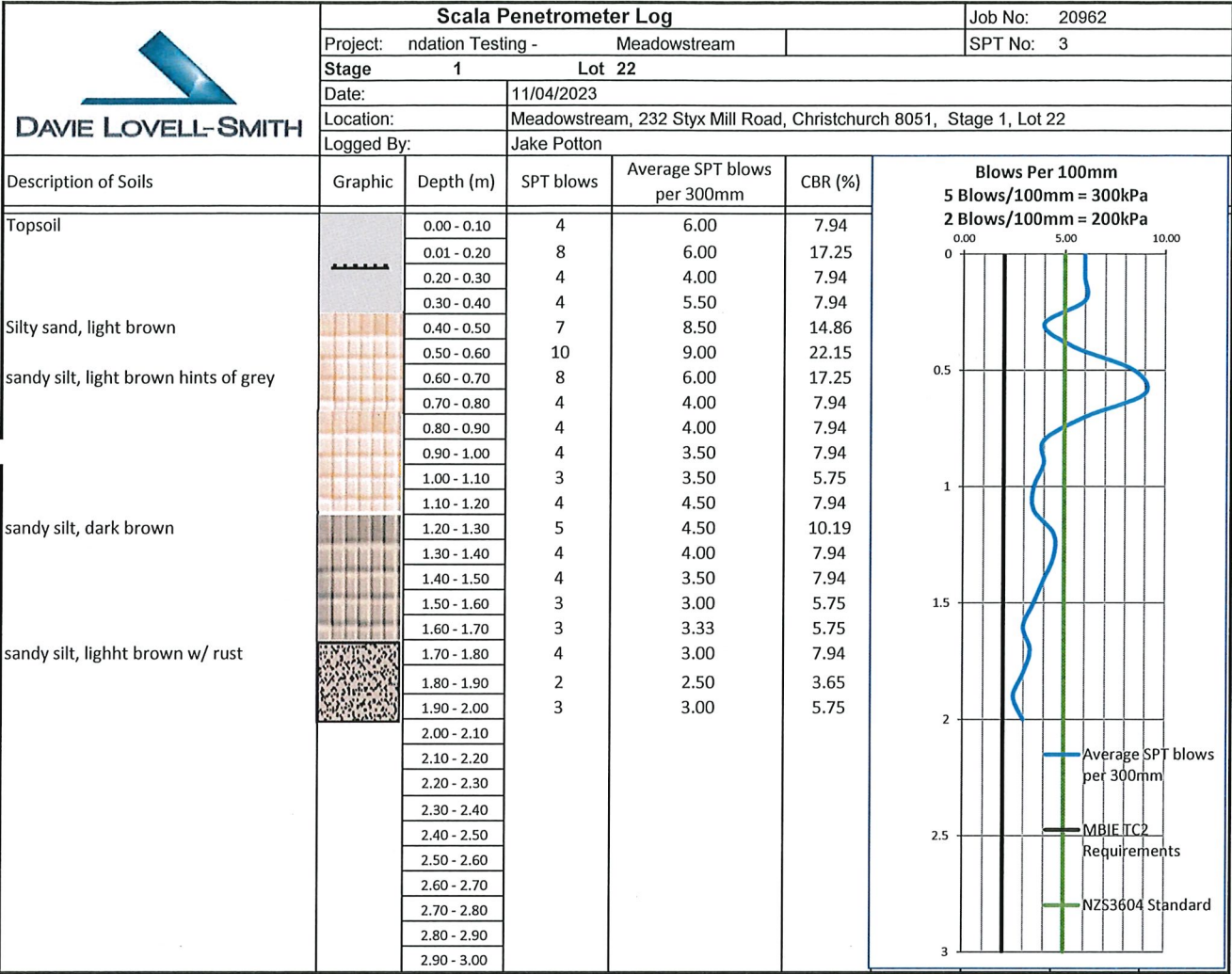
Drawing No: E20962

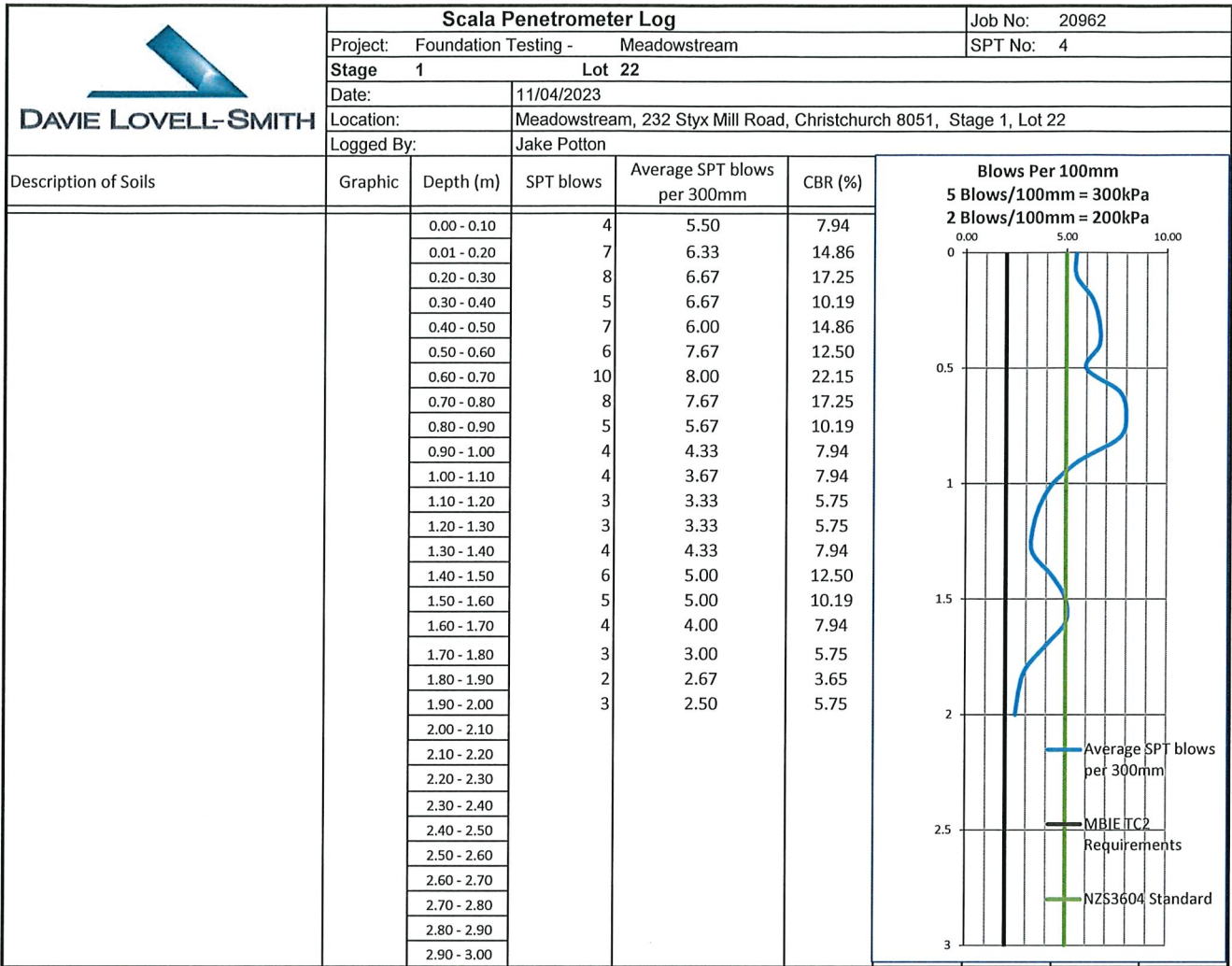
J:\20962\20962\_SITEPLAN.dwg





<div> DAVIE LOVELL-SMITH</div>	Scala Penetrometer Log					Job No: 20962
	Project:	Foundation Testing - Meadowstream				SPT No: 2
	Stage	1			Lot	22
	Date:	11/04/2023				
	Location:	Meadowstream, 232 Styx Mill Road, Christchurch 8051, Stage 1, Lot 22				
	Logged By:	Jake Potton				
Description of Soils	Graphic	Depth (m)	SPT blows	Average SPT blows per 300mm	CBR (%)	<div>Blows Per 100mm 5 Blows/100mm = 300kPa 2 Blows/100mm = 200kPa</div>  <div>Average SPT blows per 300mm MBIE TC2 Requirements NZS3604 Standard</div>
		0.00 - 0.10	4	7.00	7.94	
		0.01 - 0.20	10	9.33	22.15	
		0.20 - 0.30	14	10.67	32.29	
		0.30 - 0.40	8	10.00	17.25	
		0.40 - 0.50	8	9.00	17.25	
		0.50 - 0.60	11	10.33	24.65	
		0.60 - 0.70	12	10.33	27.17	
		0.70 - 0.80	8	8.67	17.25	
		0.80 - 0.90	6	6.67	12.50	
		0.90 - 1.00	6	5.00	12.50	
		1.00 - 1.10	3	4.00	5.75	
		1.10 - 1.20	3	3.00	5.75	
		1.20 - 1.30	3	3.00	5.75	
		1.30 - 1.40	3	3.00	5.75	
		1.40 - 1.50	3	3.00	5.75	
		1.50 - 1.60	3	3.33	5.75	
		1.60 - 1.70	4	3.33	7.94	
		1.70 - 1.80	3	3.33	5.75	
		1.80 - 1.90	3	3.00	5.75	
		1.90 - 2.00	3	3.00	5.75	
		2.00 - 2.10				
		2.10 - 2.20				
		2.20 - 2.30				
		2.30 - 2.40				
		2.40 - 2.50				
		2.50 - 2.60				
		2.60 - 2.70				
		2.70 - 2.80				
		2.80 - 2.90				
		2.90 - 3.00				













Hot water piping to be insulated with Isopipe thermal lagging

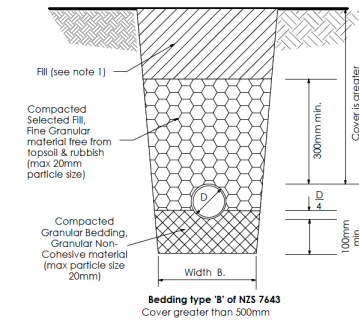
Iota Onebox control panel. Visible and accessible from the driveway and sewer tank. Centred no more than 300mm from the front corner. To be mounted min. 1.2m above GL and may never be fenced off

## KEY

Proposed Stormwater  
Proposed Sewer  
Terminal Vent (90mm min. dia)  
Branch Vent (80mm min dia)  
Down Pipe  
Gully Trap  
Branch Vent  
Inspection Junction/Bend/Point  
Air Admittance Valve  
**All to comply with NZBC**

100mm PVC-U, 1:60 (min)  
100mm dia, 1:60 gradient

TV  
BV  
DP  
GT  
BV  
IJ/IB/IP  
AAV

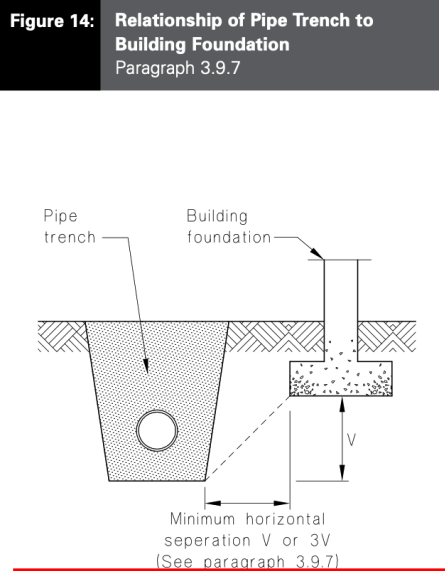


Note 1  
Ordinary fill where drains are located below  
gardens & open Country.

Compacted selected fill where the drains are located below residential driveways or similar areas subject to light traffic

Pipe Supports:  
Pipes shall be supported @ crs not  
exceeding those in Table 7. G13/AS1  
65 to 100mm (Vert 1.2) Graded Pipe  
1.0.

Thermal Movement:  
All uPVC pipes shall incorporate expansion joints (Chapter 8 NZS 7643 for uPVC pipes)  
Supports @ walls & floor penetrations not incorporating expansion joints, movement shall be accommodated using pipe sleeves or a durable & flexible lagging material



**VESTED INFRASTRUCTURE - WASTEWATER**  
All work to be in accordance with I.D.S. & C.S.S. Pt.1-7

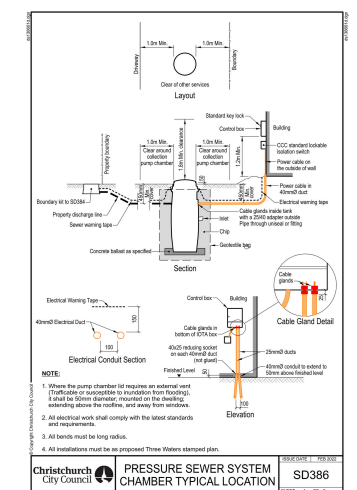
ACCEPTED

**CITY WATER & WASTE**  
**CHRISTCHURCH CITY COUNCIL**

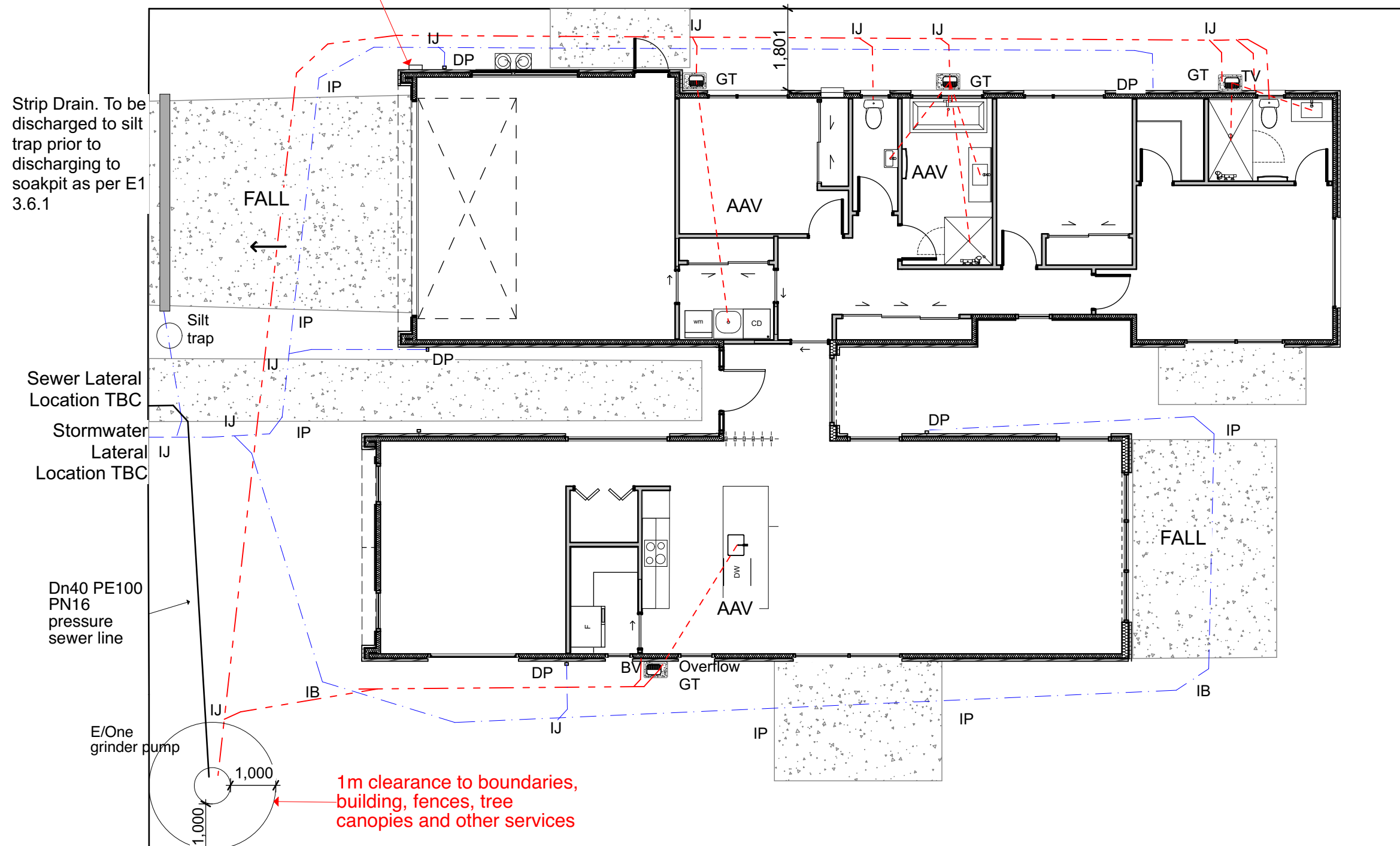
BCN /2024/9181  
Baker, Nigel

Notes:

- Engineering acceptance for location of Council vested Aquatec or E/One pressure sewer tank and IOTA OneBox Control Panel. Neither may be fenced off or relocated.
- IOTA OneBox must be within visible access, mounted against external wall of dwelling, accessible, min. 1.2 m above ground.
- Aquatec or E/One pressure sewer tank system must be installed by a Council Authorized Drainlayer with category approval for 'Pressure Sewer Tanks'.
- 5 working days' notice prior to commencing pressure sewer tank install to 'PressureTankInstalls@ccc.govt.nz.' Include BCN number, street address, stamped plan.



Contractor shall verify all dimensions on site, before commencing any work. All dimensions are in millimetres unless otherwise specified. All construction to comply with NZBC/NZS:3604 2011, alongside all current standards alike.



The copyright of these designs remains the property of KW Architectural Design unless otherwise agreed in writing

**K | W**  
**KATE WORNER**  
Architectural Design

REVISION #:	
ISSUED:	4/12/24
PROJECT #:	#Pln

## Forge Homes

11 Twin Meadows Drive  
Christchurch

ADDRESS: TBA

MOBILE: TBA

#Contact E-mail jonroberts07@hotmail .com

SHEET TITLE:

## Drainage Plan

DRAWING SCALE: 1:100

SHEET

3



# ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID No.: 190525SRJR11

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

11 Twin Meadow Drive, Styxmil, Christchurch

Contact Details:  
(Name and address)

SR & JR Holding Limited

Name of Electrical worker:

Michael James

Registration/Practising licence number:

E276825

Phone & email:

michael@litt-electrical.co.nz 0274443493

Name and registration number of person(s) supervised:

## Certificate of Compliance

Type of work:

☐

Addition

☐

Alteration

☒

New work

The prescribed electrical work is:

☐

Low risk

☒

General

☒

High-risk (Specify):

Mains supply

Means of compliance:

☐

Part 1 of AS/NZS 3000

☒

Part 2 of AS/NZS 3000

Additional Standards or electrical code of practice were required:

☒

No

☐

Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

Contains fittings that are safe to connect to a power supply?

☒

Yes

☐

No

Specify type of supply system:

The installation has an earthing system that is correctly rated (where applicable)

☒

Yes

☐

No

Parts of the installation to which this certificate relates that are safe to connect to a power supply?

☒ All ☐ Parts (specify)

The work relies on manufacturers instructions:

☐

Yes

☒

No

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate.  
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work has been done in accordance with a certified design:

☐

Yes

☒

No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.  
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work relies on a Supplier Declaration of Conformity (SDoC):

☐

Yes

☒

No

If yes - identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate.  
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

☐

No

☒

Yes

### Description of Work:

Mains supply of 25mm from boundary box to meterbox and switchboard, Buried Earth with inspection behind garage socket, 63A MCB overcurrent, 100a main switch, 1x32A AC circuit, 2x 20A Oven Circuit, 32A Hob circuit, 1x 20A D curve circuit for sewer pump, 1x 20A RCBO for Spa circuit, 7x 16A RCD protected socket outlet circuits, 2x 6a RCD protected lighting circuits,

### Test Results (provide values)

Polarity (Independent earth):	Yes
Insulation resistance:	>1M Ohms
Earth Continuity:	<0.5 Ohms
Bonding:	Yes Ohms
Fault Loop impedance	Ohms
Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier's signature:

*Michael James*

Date: 19/05/2025

## Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Michael James

Registration/Practising licence number:

E276825

Certifier's signature:

*Michael James*

Certificate Issue Date:

Connection Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This Electrical Safety Certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



# New Zealand Gas Safety Certificate & Gas Certificate of Compliance



Customer Name

Job Number

#3248

Certificate ID

#3248C1

Site address

11 Twin Meadows Drive, Styx, Christchurch, 8051

Gas Certificate is for

Whole installation

Risk classification

General

IF PARTS - Please specify

Description of gas work carried out

1

Installer Name

George Abbott

Licence Number

22949

Date

24/03/2025

Description of work undertaken

Pre piped for bottle station to water heater.  
Reversion fitting in garage roof space.  
Fit and flashed recess box.  
Tested good at 7kpa.  
Fit flush box and run control wire from pantry to water heater.

2

Installer Name

George Abbott

Licence Number

22949

Date

12/06/2025

Description of work undertaken

Test good to start.  
Fit off auto change bottle station.  
Fit off Rinnai A26 water heater.  
Fit off compact control pad to pantry.  
Test good at completion.  
Purged to water heater

3

Installer Name

Licence Number

Date

Description of work undertaken

4

Installer Name

Licence Number

Date

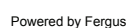
Description of work undertaken



12/6/2025

## 2.75 kPa

LPG





# New Zealand Gas Safety Certificate & Gas Certificate of Compliance

## Test Results

Duration	7 mins
Test Pressure	2.75 kPa
Loss/Gain	0 kPa
Gas Supply Pressure	2.75 kPa

## Test Date

12/6/2025

## Other testing

Combustion

No

Ventilation

No

## Additional Information

The work has been done in accordance with means of compliance (specify)

Yes - AS/NZS 5601.1 section 3 to 6

Were there any other standards or gas code of practice required for compliance?

No

IF YES - Please specify

## Attachments

The work relies on manufacturers instructions

Yes

The work has been done in accordance with certified design

No

Where practical the manufacturer instructions or designs must be attached at the end of this certificate. If not, please provide a reference here for where these can be found.

## Reference

rinnai.co.nz

## Gas Certificate of Compliance

By signing this document I confirm that I am satisfied that the work described in this certificate of compliance has been done lawfully and safely and that the information on this certificate is correct.

Certifier Name George Abbott

Licence Number 22949

Certificate Issue Date 13/06/2025

Signature

## Gas Safety Certificate

By signing this document I confirm that the work described in this certificate complies with the building code for the purpose of Section 19(1)(e) of the Building Act 2004.

By signing this document I confirm that the work described in this certificate and the installation or part installation is connected to a gas supply and is safe to use.

Certifier Name George Abbott

Licence Number 22949

Certificate Issue Date 13/06/2025

Signature

## Gas Connection Details

Only enter and sign the installer details if the person who completed the gas connection is someone other than the certifier.

Gasfitter name

Licence Number

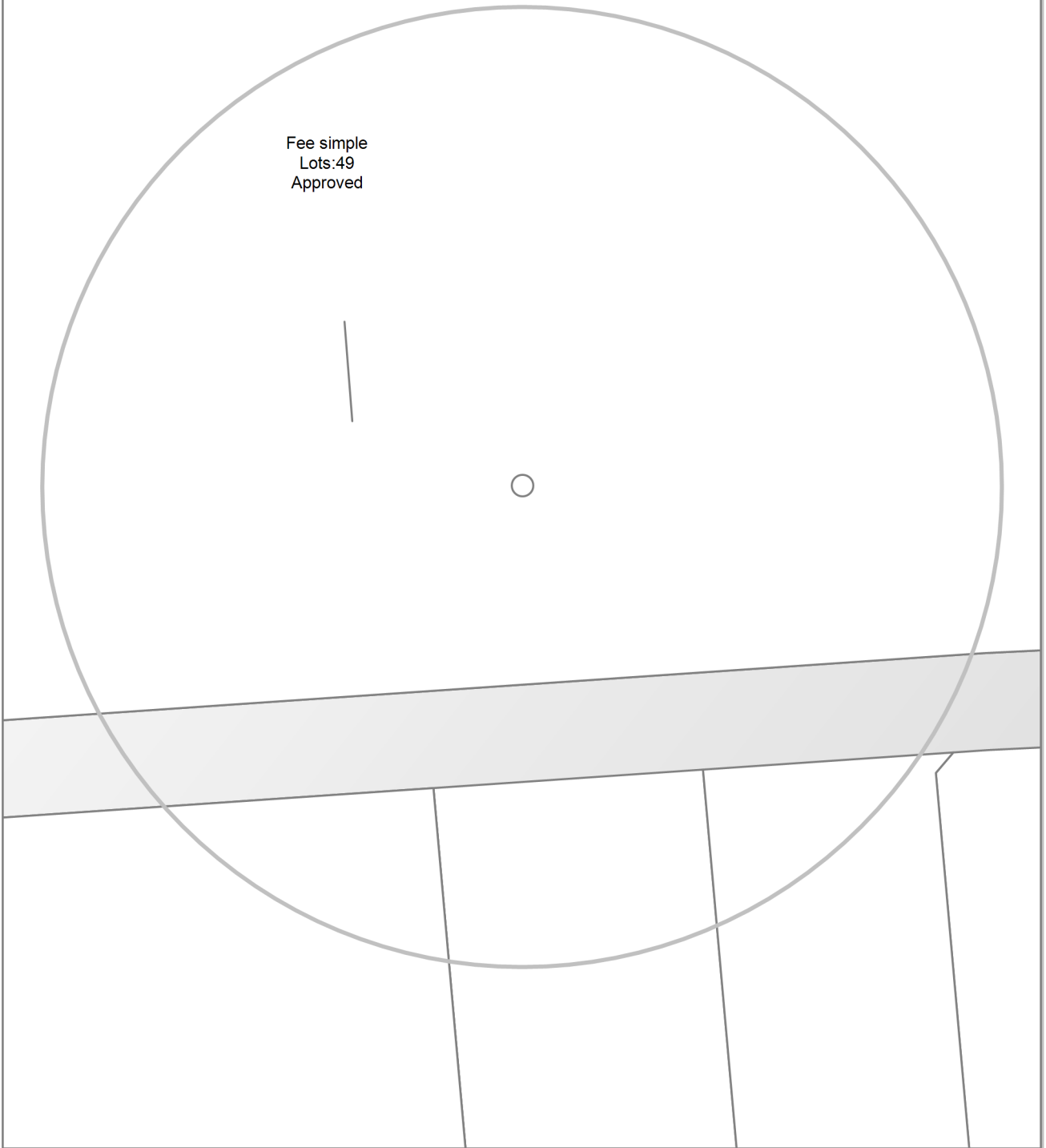
Signature

# 11 Twin Meadows Drive Land Use Consents



**11 Twin Meadows Drive  
Subdivision Consents**

Fee simple  
Lots:49  
Approved





## Land Use Resource Consents within 100 metres of 11 Twin Meadows Drive

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

---

### 10 Twin Meadows Drive

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Granted 22/05/2002

Decision issued 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land use Also see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street tree Also see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2024/933

Construct a dwelling with attached garage

Processing complete

Applied 08/04/2024

Decision issued 09/05/2024

Granted 09/05/2024

## **11 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2025/1794

Construction dwelling with attached garage.

Processing complete

Applied 16/06/2025

Decision issued 07/07/2025

Granted 07/07/2025

## **12 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

### **13 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/3085

Construct dwelling with attached garage

Processing complete

Applied 28/11/2023

Decision issued 19/12/2023

Granted 19/12/2023

### **13 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/3040

Construct dwelling with attached garage

Processing complete

Applied 24/11/2023

Decision issued 22/12/2023

Granted 22/12/2023

## **14 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **15 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/3178

Construct residential house

Processing complete

Applied 08/12/2023

Conditions changed/cancelled - s127 11/03/2024

Decision issued 20/12/2023

Granted 20/12/2023

## **15 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022



RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **16 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **17 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **18 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **19 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2025/1507

New residential dwelling with attached garage

On hold - processing suspended by applicant

Applied 26/05/2025

## **220 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **222 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Granted 22/05/2002

Decision issued 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **224 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **226 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2025/1529

Construct a dwelling with attached garage which is to be used as a show home - Lot 12

Processing complete

Applied 21/05/2025

Decision issued 12/06/2025



Granted 12/06/2025

## **228 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **230 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **232 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/2576

Single level residential dwelling with double attached garage

Processing complete

Applied 02/10/2023

Decision issued 17/10/2023

Granted 17/10/2023

## **234 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/2587

Construction of dwelling with attached garage

Processing complete

Applied 03/10/2023

Decision issued 01/03/2024

Granted 01/03/2024

## **236 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/1626

New dwelling and attached garage - Lot 7

Processing complete

Applied 27/06/2023

Decision issued 19/07/2023

Granted 19/07/2023

## **238 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Granted 22/05/2002

Decision issued 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **240 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **242 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023



RMA/2023/1296

Proposed new residential dwelling with attached garage - Lot 4

Processing complete

Applied 24/05/2023

Decision issued 15/06/2023

Granted 15/06/2023

## **244 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **246 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **249 Styx Mill Road**

RMA/1999/1921

Keeping of pigs to recycle by-products - Historical Reference RES990506

Withdrawn

Applied 19/02/1999

RMA/2022/1698

WITHDRAWN - Minimum Floor Level Certificate

Withdrawn

Applied 20/05/2022

## **250 Styx Mill Road**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2025/599

Remediation of contaminated soils

Processing complete

Applied 06/03/2025

Decision issued 04/06/2025

Granted 04/06/2025

## **251 Styx Mill Road**

RMA/1986/107

Conditional use and works contrary consent sought to erect a dwelling and use shed for a home occupation in the rural H zone. - cyanide manufacture. - Historical Reference RES9202324

Processing complete

Applied 24/11/1986

Decision issued 05/03/1987

Declined 05/03/1987

RMA/1986/108

Conditional use and works contrary consents sought to erect a dwelling in a rural H zone. - Historical Reference RES9202327

Processing complete

Applied 18/11/1986

Decision issued 05/02/1987

Granted 05/02/1987

RMA/1987/102

Specified departure and works contrary consents sought to use an existing shed for the mixing of cyanide Jelly as a home occupation in the rural H zone. 4 objection. - Historical Reference RES9202301

Processing complete

Applied 16/12/1987

Decision issued 05/05/1988

Granted 05/05/1988

RMA/1987/103

Dispensation sought to build dwelling with the roof line over the first floor area being one metre over the required height of eight metres. - Historical Reference RES9202311

Processing complete

Applied 27/10/1987

Decision issued 03/11/1987

Granted 03/11/1987

RMA/1987/104

Conditional use and works contrary consents sought to erect a dwelling in conjunction with deer farming. - Historical Reference RES9202314

Processing complete

Applied 15/06/1987

Decision issued 06/08/1987

Granted 06/08/1987

RMA/2021/1571

Global consent for earthworks within 5 metres of a street tree

Consent issued

Applied 28/05/2021

Decision issued 03/08/2021

Granted 03/08/2021

RMA/2021/4004

Proposed removal of three street trees to enable Styx Mill Road to be widened

Processing complete

Applied 29/11/2021

Decision issued 11/02/2022

Granted 11/02/2022

RMA/2021/708

Reapplied under 2021 DC Policy - Subdivision - Fee simple - 37 lots with land use Replaced by RMA/2022/1474

Surrendered

Applied 22/03/2021

Granted 03/08/2021

Decision issued 03/08/2021

RMA/2022/1474

Reapplied under 2021 DC Policy - Subdivision - Fee simple - 37 lots with land use Replaces RMA/2021/708

Processing complete

Applied 11/05/2022

s223 Certificate issued stage 1 15/06/2022

s223 Certificate issued stage 2 18/10/2022

s224 Certificate issued stage 1 31/08/2022

s224 Certificate issued stage 2 02/02/2023

Decision issued 23/05/2022

Granted 23/05/2022

RMA/2022/2266

Minimum floor level certificate

Processing complete

Applied 11/07/2022

Certificate issued 12/07/2022

RMA/2022/2374

Minimum Floor Level Certificate

Processing complete

Applied 21/07/2022

Certificate issued 22/07/2022

RMA/2022/2565

Proposed new two-storey dwelling with attached double garage - Lot 26

Withdrawn

Applied 10/08/2022

RMA/2022/722

Lot 37 - Styx Mill - Proposed new residential dwelling with an attached garage

Processing complete

Applied 11/03/2022

Decision issued 12/04/2022

Granted 04/04/2022

RMA/2022/871

Construct dwelling with attached garage - Lot 34

Processing complete

Applied 23/03/2022

Decision issued 12/07/2022

Granted 12/07/2022

### **3 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

### **3 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023



#### **4 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/2407

Construct dwelling with attached garage - Lot 34

Processing complete

Applied 12/09/2023

Decision issued 25/10/2023

Granted 24/10/2023

## **5 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **5 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2023/2735

Residential dwelling with attached garage

Processing complete

Applied 19/10/2023

Decision issued 16/11/2023

Granted 15/11/2023

## **6 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2024/932

Construct a residential dwelling with attached garage - Lot 33

Processing complete

Applied 04/04/2024

Decision issued 24/04/2024

Granted 24/04/2024

## **7 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Granted 05/01/2023

Decision issued 05/01/2023

RMA/2024/2818

New dwelling with attached garage

Processing complete

Applied 03/10/2024

Decision issued 18/10/2024

Granted 17/10/2024

## **7 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **8 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

## **9 Meadow Stream Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023



RMA/2023/2576

Single level residential dwelling with double attached garage

Processing complete

Applied 02/10/2023

Decision issued 17/10/2023

Granted 17/10/2023

## **9 Twin Meadows Drive**

RMA/2002/1080

To erect future dwellings on Lots 1, 2, 5 & 6 and to maintain the existing dwelling on Lot 4 under the rules of Rural H of the Waimairi Transitional Plan. - Historical Reference RMA20010071

Processing complete

Applied 13/05/2002

Decision issued 22/05/2002

Granted 22/05/2002

RMA/2021/3027

Subdivision - Fee simple - 49 lots with land useAlso see Global Consent RMA/2021/3028

s223 Certificate issued

Applied 10/09/2021

s224 Certificate issued stage 1 09/06/2023

Decision issued 13/01/2022

Granted 13/01/2022

Conditions changed/cancelled - s127 20/09/2024

s223 Certificate issued stage 1 31/03/2023

RMA/2021/3028

Global Consent - to excavate within 5 metres of a street treeAlso see SUB application RMA/2021/3027

Processing complete

Applied 10/09/2021

Decision issued 13/01/2022

Granted 12/01/2022

RMA/2022/3829

Proposed new single-level dwelling - Lot 27

Processing complete

Applied 13/12/2022

Decision issued 05/01/2023

Granted 05/01/2023

RMA/2025/634

Construct 3 bedroom dwelling with attached double garage

Not accepted for processing

Applied 10/03/2025

Not accepted for processing 26/03/2025

RMA/2025/939

Construct a dwelling with attached double garage

Processing complete

Applied 04/04/2025

Decision issued 14/04/2025

Granted 11/04/2025

## **Data Quality Statement**

### **Land Use Consents**

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term “resource consents” in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

### **Subdivision Consents**

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied