

**Hunterville Town Council**  
**BUILDING PERMIT APPLICATION FORM**

To The Building Inspector,  
Hunterville Town Council,  
Hunterville.

Date 31-5-1974.

I hereby apply for permission to erect New dwelling

(New Dwelling, Addition to Dwelling, Carport, Garage, Outbuildings, etc., Resiting of Building)

SITE OF PROPOSED BUILDING — No. \_\_\_\_\_ Street.

OWNER'S NAME Hunterville Development.

ADDRESS Hunterville.

BUILDER'S NAME G.H.P. Geurtjens Ltd.

ADDRESS Box 120. Norton. 444 Wellington Rd.

PLUMBER'S NAME N. Price

ADDRESS High St. Hunterville.

DRAINLAYER'S NAME N. Price

ADDRESS High St. Hunterville

EXISTING USE OF LAND AND BUILDINGS \_\_\_\_\_

PROPOSED PURPOSES for which every part of building or land is to be used or occupied (describing separately each part intended for use or occupation for separate purposes) \_\_\_\_\_

**LEGAL DESCRIPTION OF LAND**

VALUATION No. \_\_\_\_\_ Lot No. \_\_\_\_\_ D.P. \_\_\_\_\_

BLOCK \_\_\_\_\_ SURVEY DISTRICT \_\_\_\_\_ STREET \_\_\_\_\_

AREA OF LAND \_\_\_\_\_ Acres \_\_\_\_\_ Roods \_\_\_\_\_ Perches \_\_\_\_\_

**PARTICULARS OF PROPOSED BUILDING**

FOUNDATIONS Concrete WALLS \_\_\_\_\_

ROOF T. Clip & 4 G. Galv.

AREA OF GROUND FLOOR 5532 Square Feet

AREA OF OUTBUILDINGS \_\_\_\_\_ Square Feet

**ESTIMATED VALUE OF PROPOSED WORK**

MAIN BUILDING - - - - \$ 91,000.00

OTHER BUILDINGS - - - - \$ \_\_\_\_\_

SANITARY DRAINAGE & PLUMBING - - - - \$ 9,000.00

TOTAL VALUE OF WORK - - - - \$ \_\_\_\_\_

**CERTIFICATE:** I hereby certify that the above information is correct in every respect and do hereby agree to abide by all the provisions of the Hunterville Town Council By-Laws governing and regulating all matters the subject of the foregoing.

SIGNATURE OF OWNER \_\_\_\_\_

SIGNATURE OF APPLICANT G.H.P. Geurtjens Ltd.

DESIGNATION Builder

ADDRESS Box 120. Norton

DATE 31-5-1974.



FOR OFFICE USE ONLY

DATE APPLICATION RECEIVED: .....

Building Permit Fee	-	-	-	\$ <del>109.00</del> <sup>74.00</sup>	Receipt No. ....	Permit No. ....
Plumbing & Draining Fee	-	-	-	\$ <sup>47.00</sup>	Receipt No. ....	Permit No. ....
Water Connection Fee	-	-	-	\$.....		
Sewer Connection Fee	-	-	-	\$.....		
Footpath Deposit	-	-	-	\$.....		
Vehicular Crossing	-	-	-	\$.....		
TOTAL FEES				-	-	\$ <u>121.00</u>

TOWN PLANNING

(1) ZONE ..... (2) COVERAGE .....

(3) YARDS ..... (4) OTHER MATTERS .....

SPECIAL CONDITIONS .....

PLANS & SPECIFICATIONS APPROVED .....

BUILDING INSPECTOR.

STRUCTURAL DESIGN APPROVED

ENGINEER.

PERMIT FEES

For the examination of plans and specifications of any building work, for the inspection of such building work, the following fees shall be payable:

BUILDING—

Estimated Value of Building Work

Over	\$20	Not exceeding	\$20	.....	\$0.50
		and not exceeding	\$200	.....	\$1.00
"	\$200	"	\$400	.....	\$2.00
"	\$400	"	\$600	.....	\$3.00
"	\$600	"	\$800	.....	\$4.00
"	\$800	"	\$1000	.....	\$5.00
"	\$1000	"	\$1200	.....	\$6.00
"	\$1200	"	\$1400	.....	\$7.00
"	\$1400	"	\$1600	.....	\$8.00
"	\$1600	"	\$1800	.....	\$9.00
"	\$1800	"	\$2000	.....	\$10.00
"	\$2000	"	\$2500	.....	\$12.00
"	\$2500	"	\$3000	.....	\$14.00
"	\$3000	"	\$3500	.....	\$16.00
"	\$3500	"	\$4000	.....	\$18.00
"	\$4000	"	\$5000	.....	\$21.00
"	\$5000	"	\$6000	.....	\$24.00
"	\$6000	"	\$7000	.....	\$27.00
"	\$7000	"	\$8000	.....	\$30.00
"	\$8000	"	\$9000	.....	\$33.00
"	\$9000	"	\$10,000	.....	\$36.00
"	\$10,000	"	\$12,000	.....	\$40.00
"	\$12,000	"	\$14,000	.....	\$44.00
"	\$14,000	"	\$16,000	.....	\$48.00
"	\$16,000	"	\$18,000	.....	\$52.00
"	\$18,000	"	\$20,000	.....	\$56.00

Value above \$20,000 — Rates on Application.

DRAINAGE & PLUMBING PERMIT FEES—

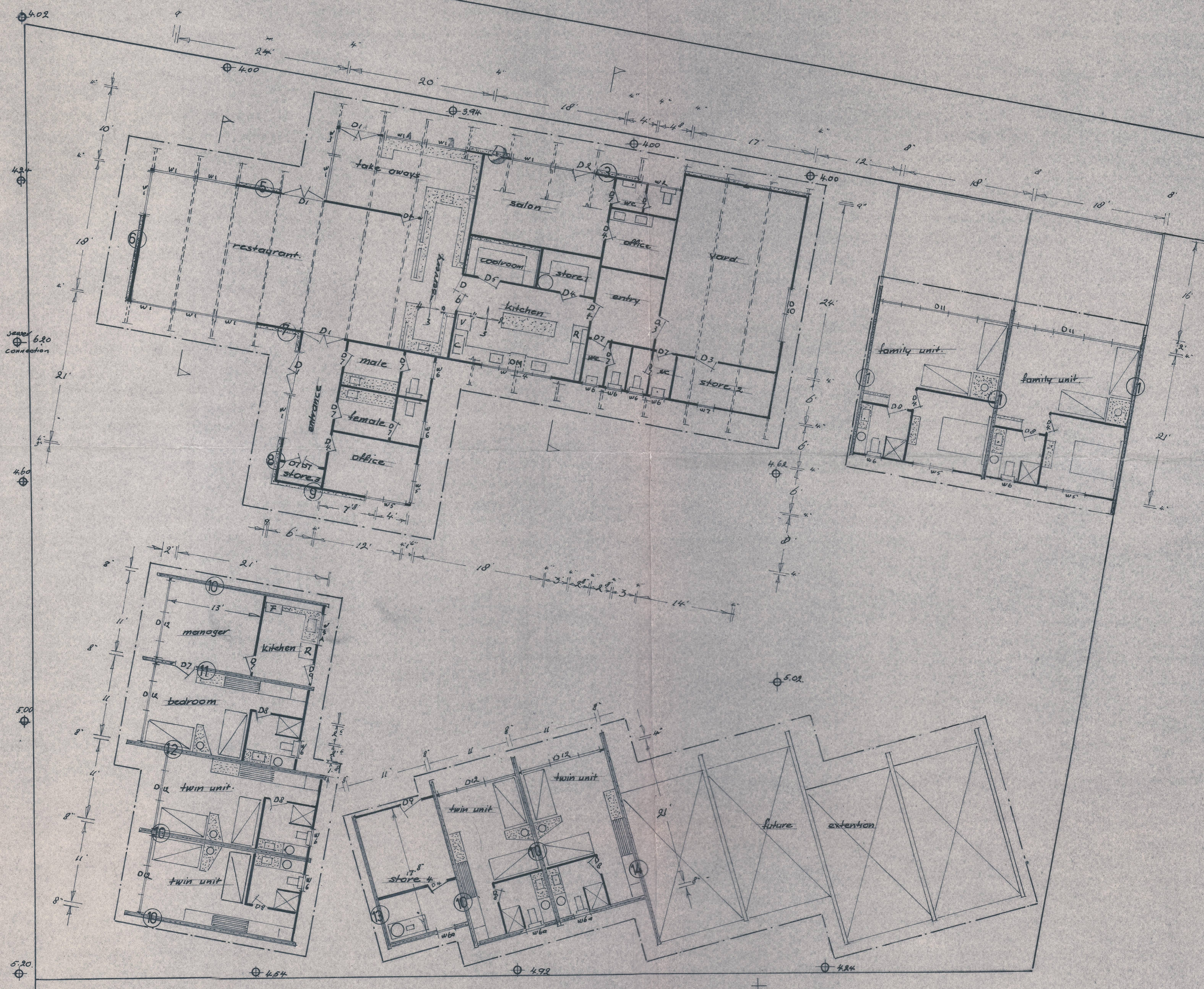
Work up to	\$50	.....	\$0.50
"	\$100	.....	\$1.00
"	\$200	.....	\$2.00
"	\$300	.....	\$3.00
"	\$400	.....	\$4.00
"	\$600	.....	\$5.00
"	\$800	.....	\$6.00

Plus \$1 for \$200 in excess of \$800.00.



MILNE STREET.

HIGH STREET.







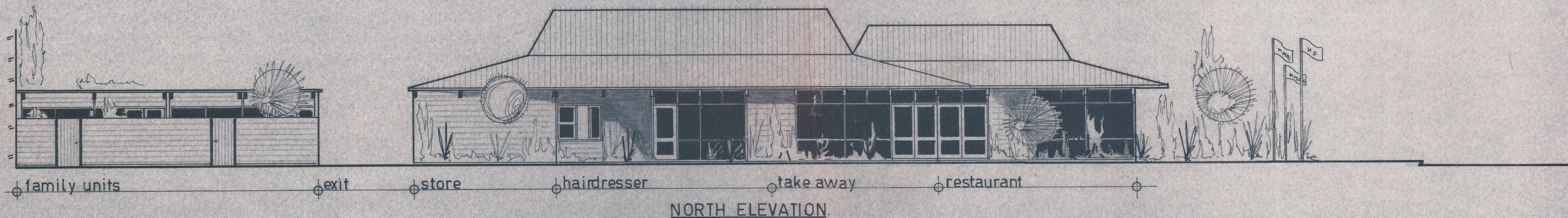
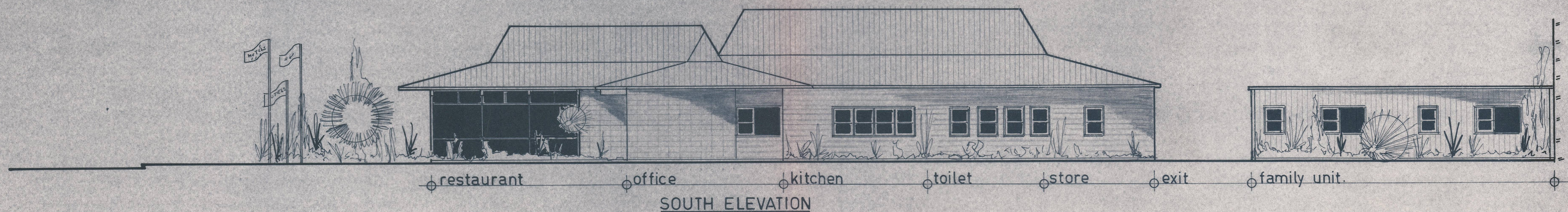
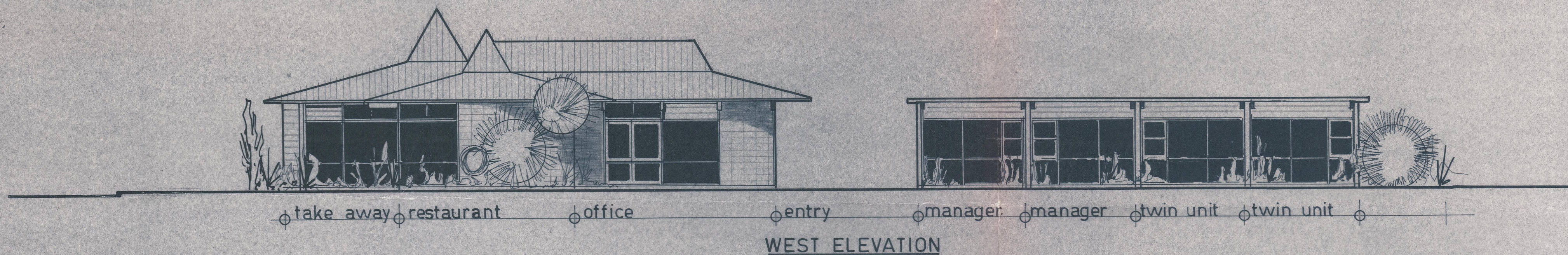
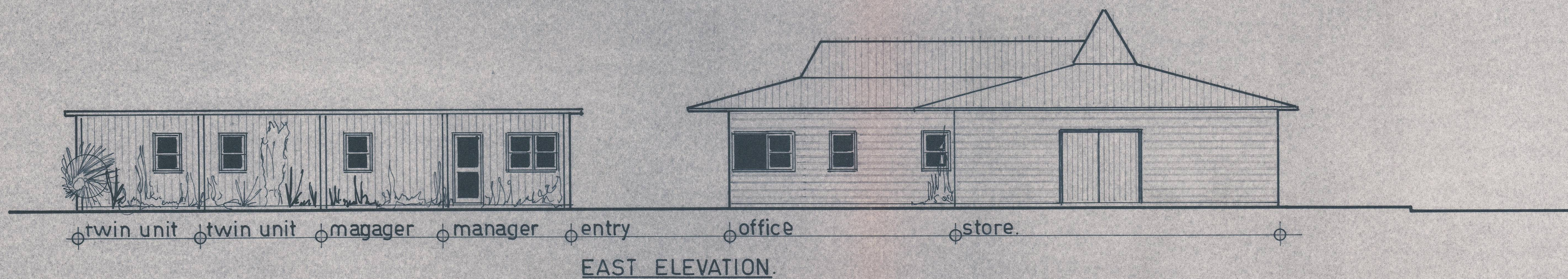
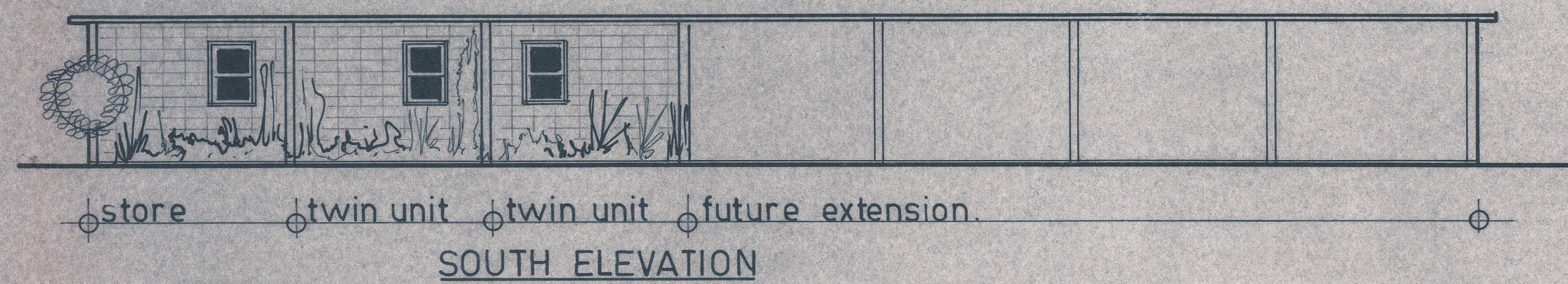
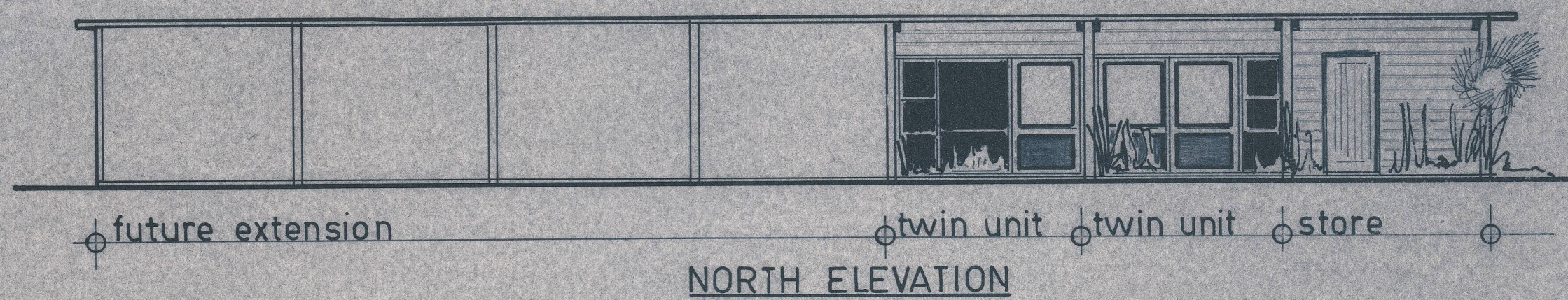




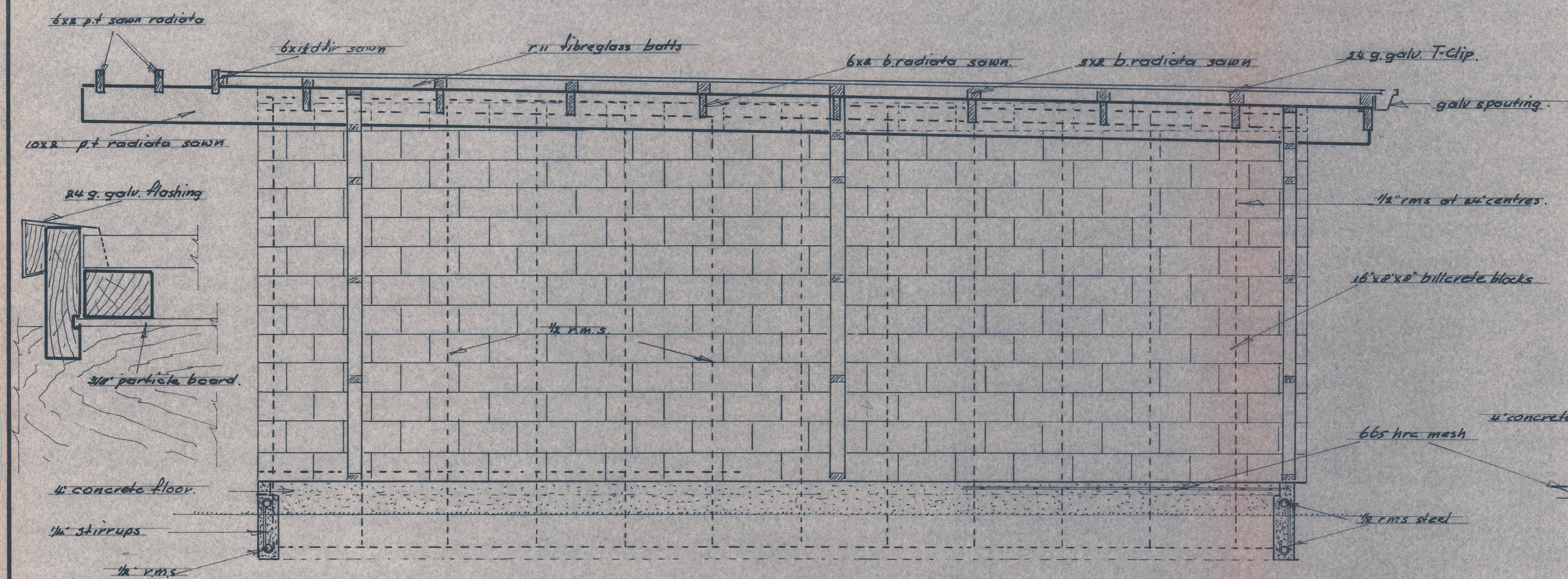
# SCHEDULE

	Fryer, vat.
	Fryer grill.
	Electric range.
	Dishwasher.
	Underground power supply.
	Underground telephone.
	Mains and switch board.
	Water pump.
	100 Gallon electric storage cylinder.
	5 Gallon overbank boiling heater.
	P.D.L. light switch.
	P.D.L. power outlet.
	P.D.L. power and T.V. plug.
	Strip lighting over sink.
	Wall bracket.
	Ceiling light.
	Table light.
	P.D.L. shaver plug.
	Sealed area.
	Exposed aggregate.
	Planted area.
	Mains subboards.
	25 Gallon H.W. cylinders.
	40 Gallon H.W. cylinders.
	Pressure pump.

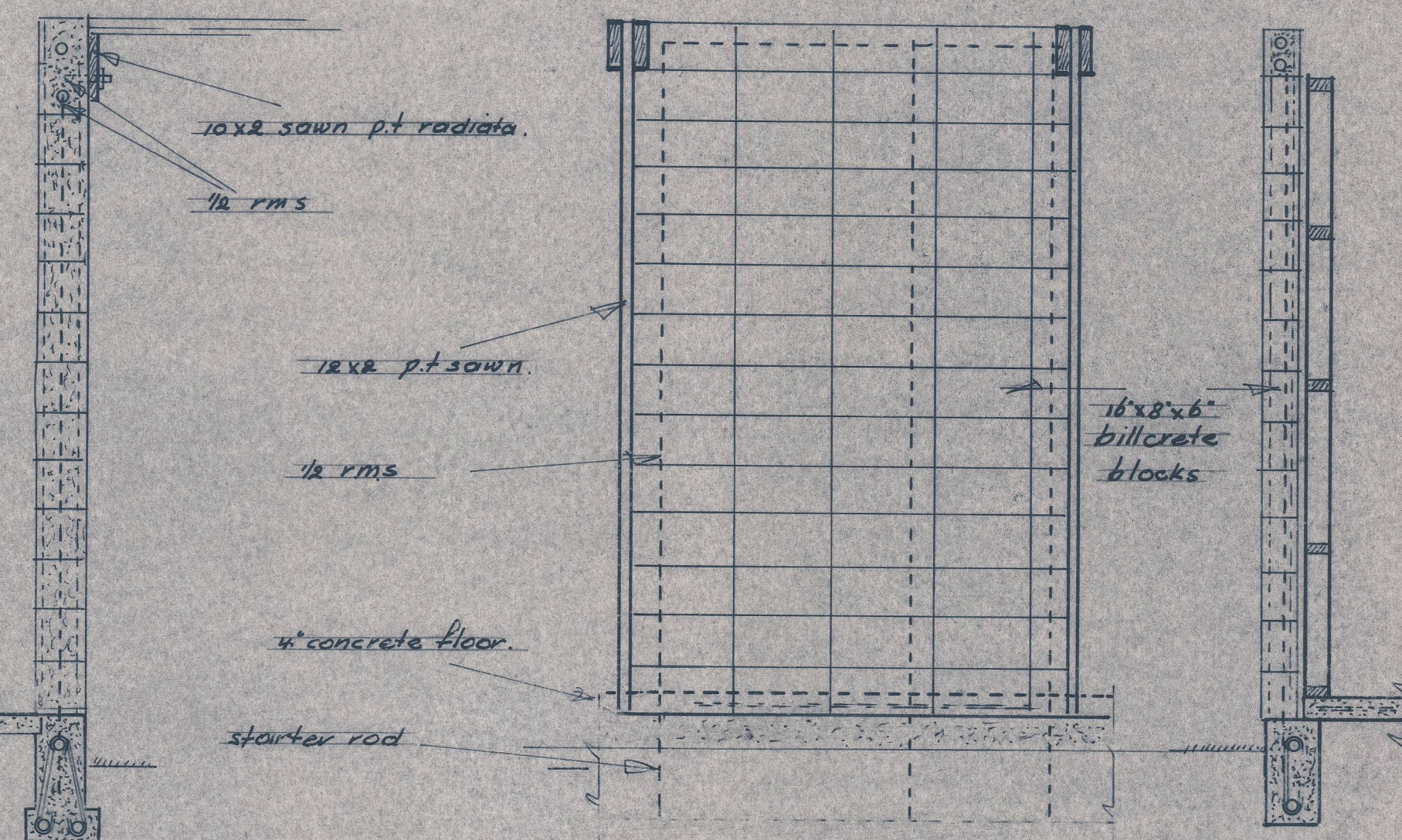




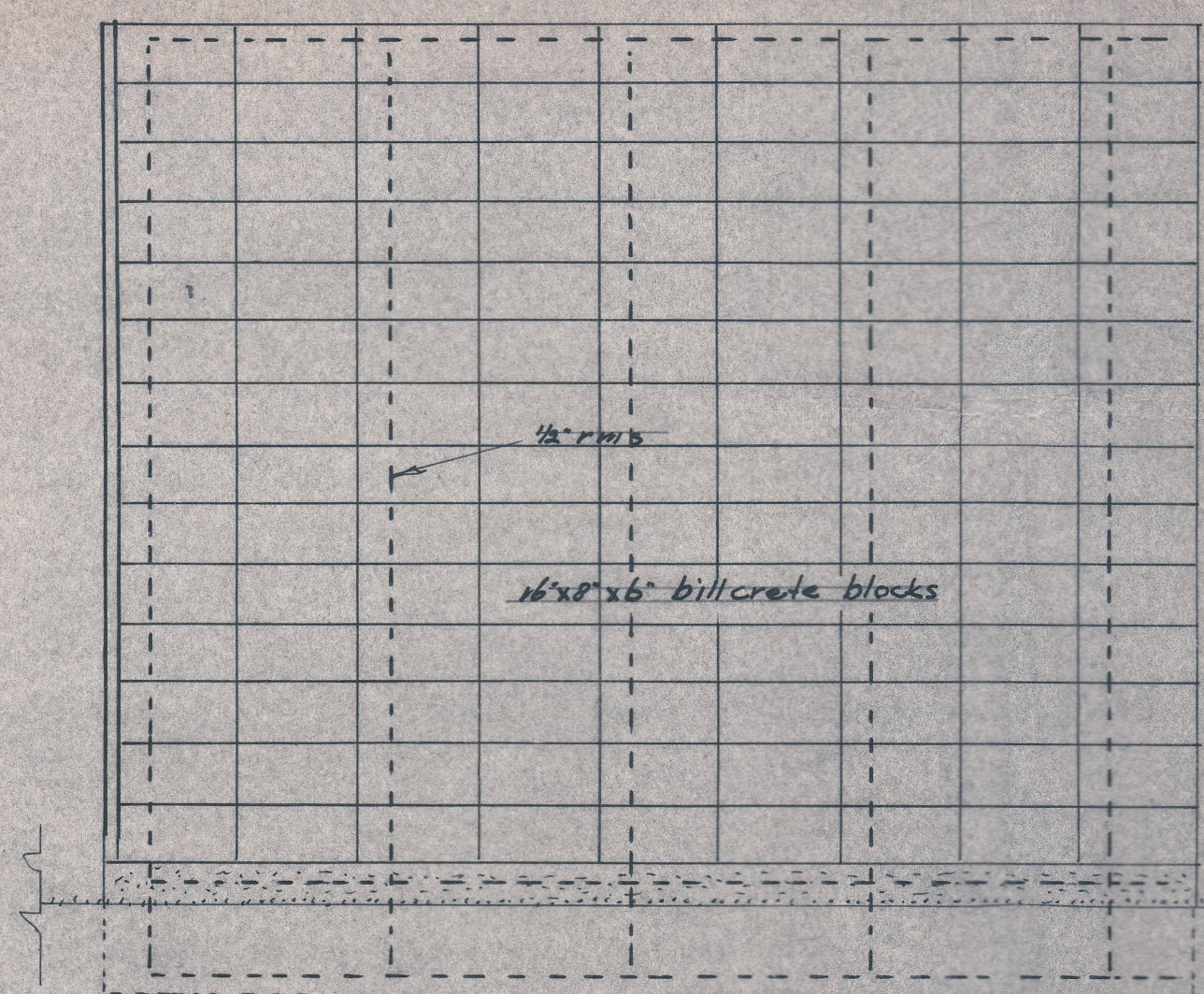




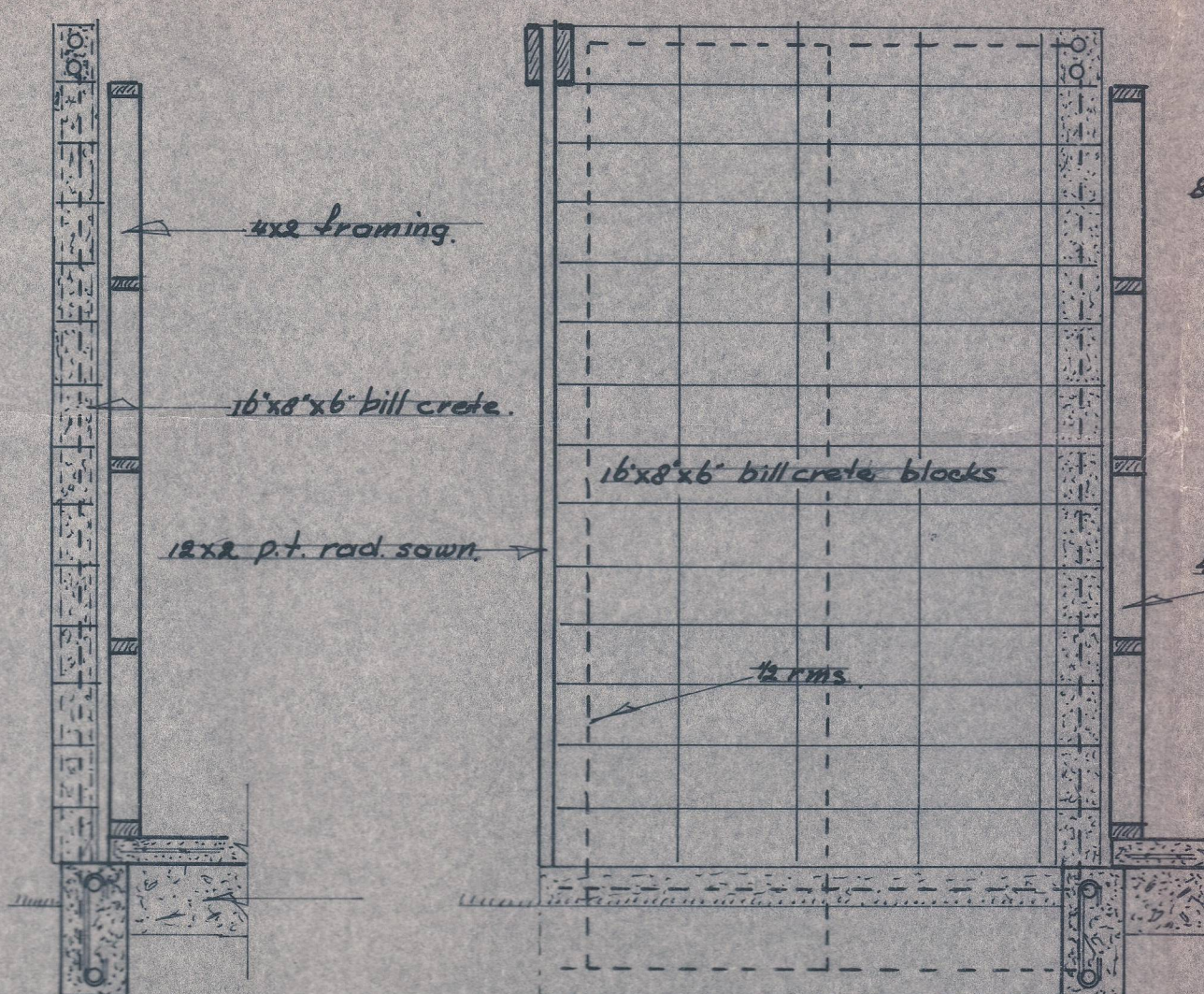
DETAIL ONE



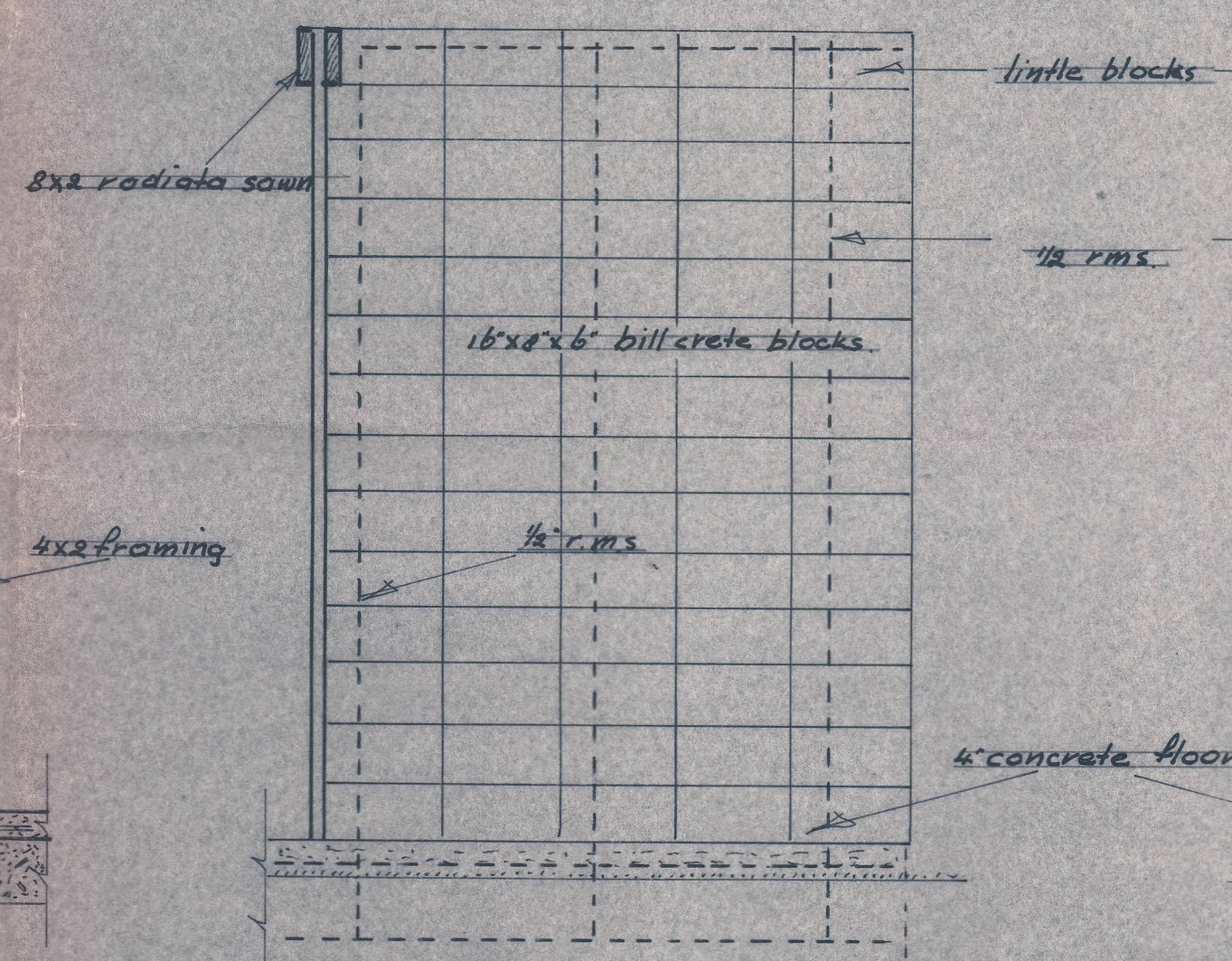
DETAIL 3-4-5



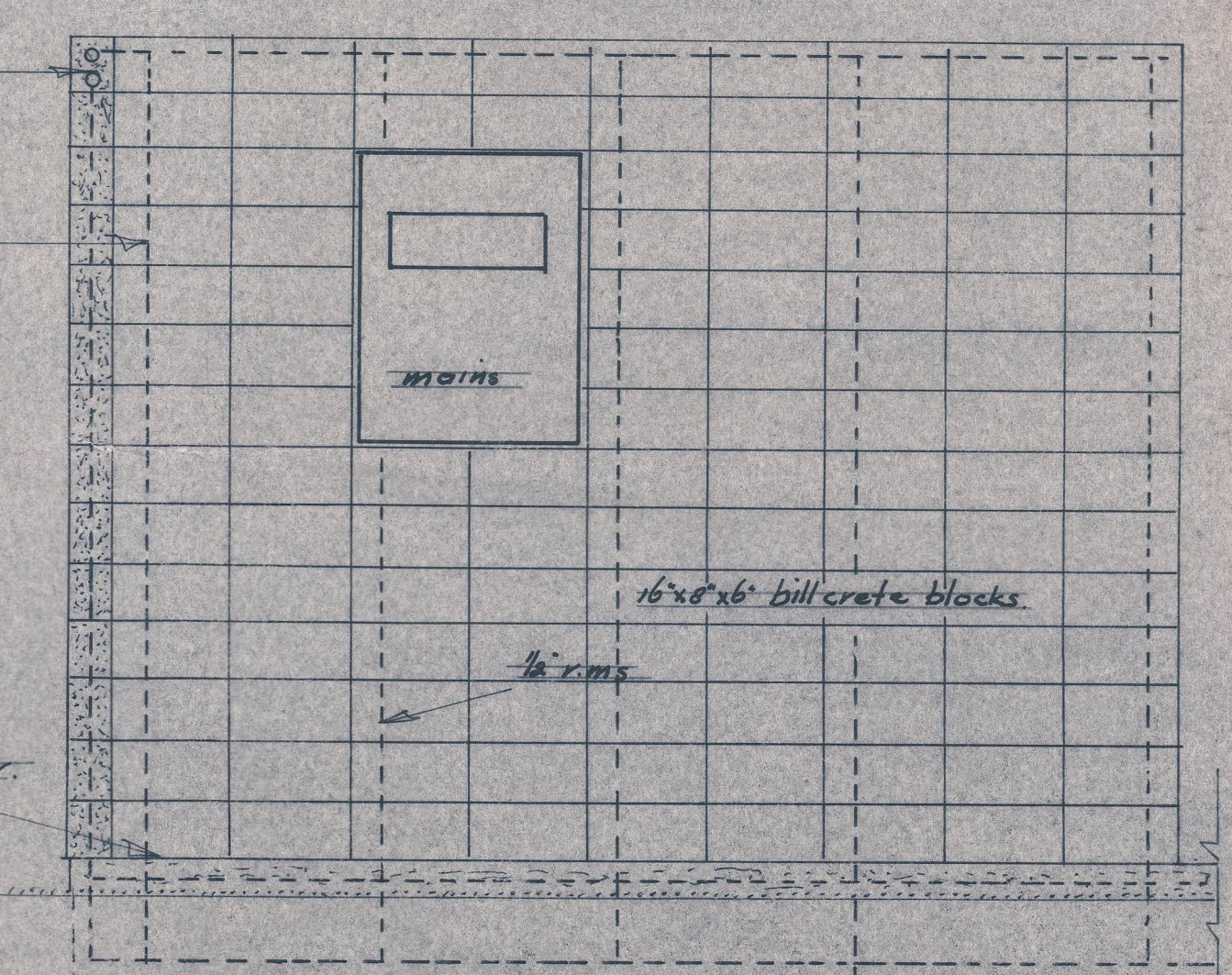
DETAIL SIX



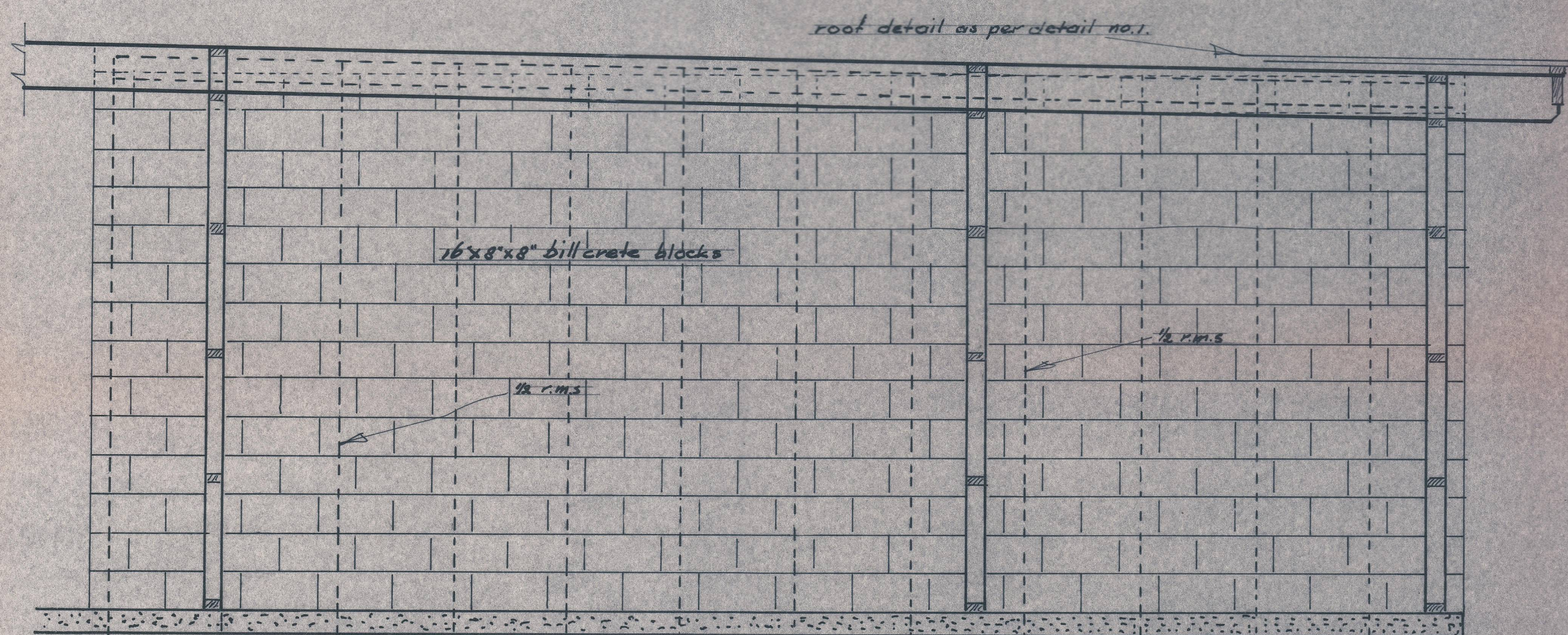
DETAIL 7 Note return wall.



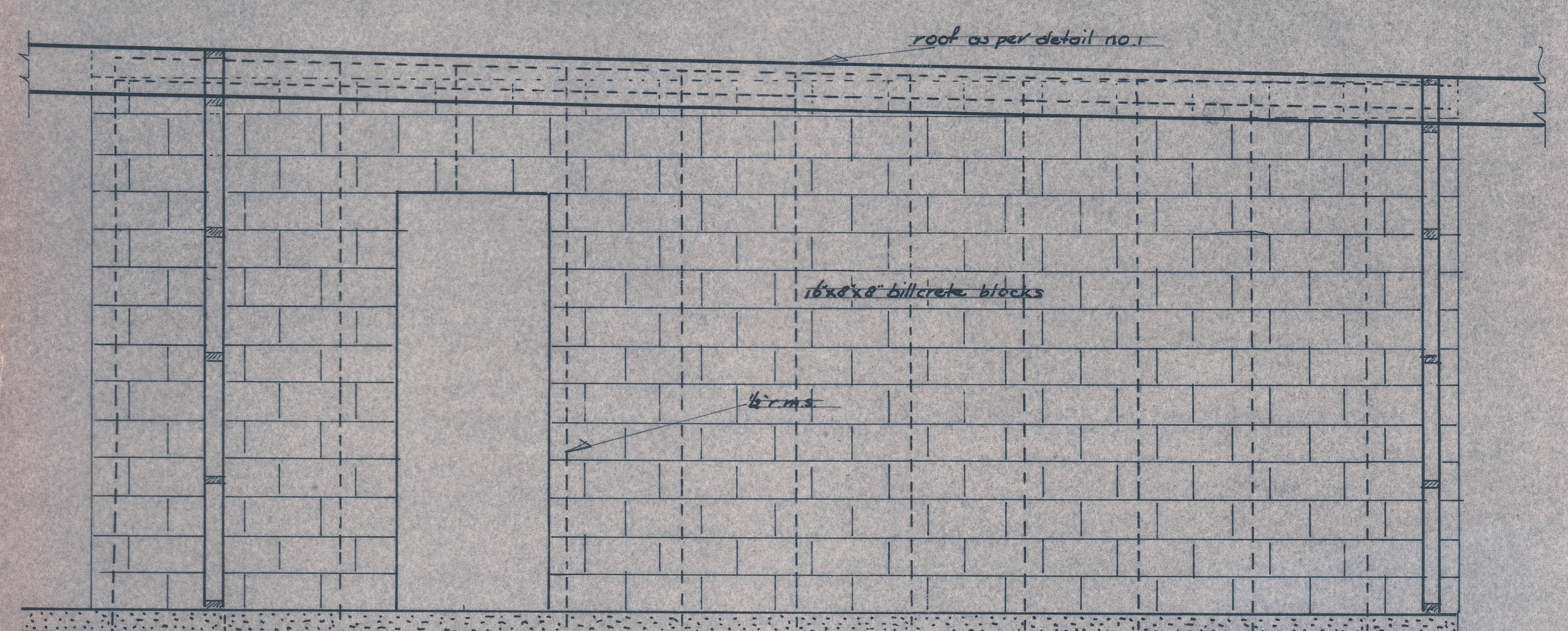
DETAIL 8



DETAIL 9

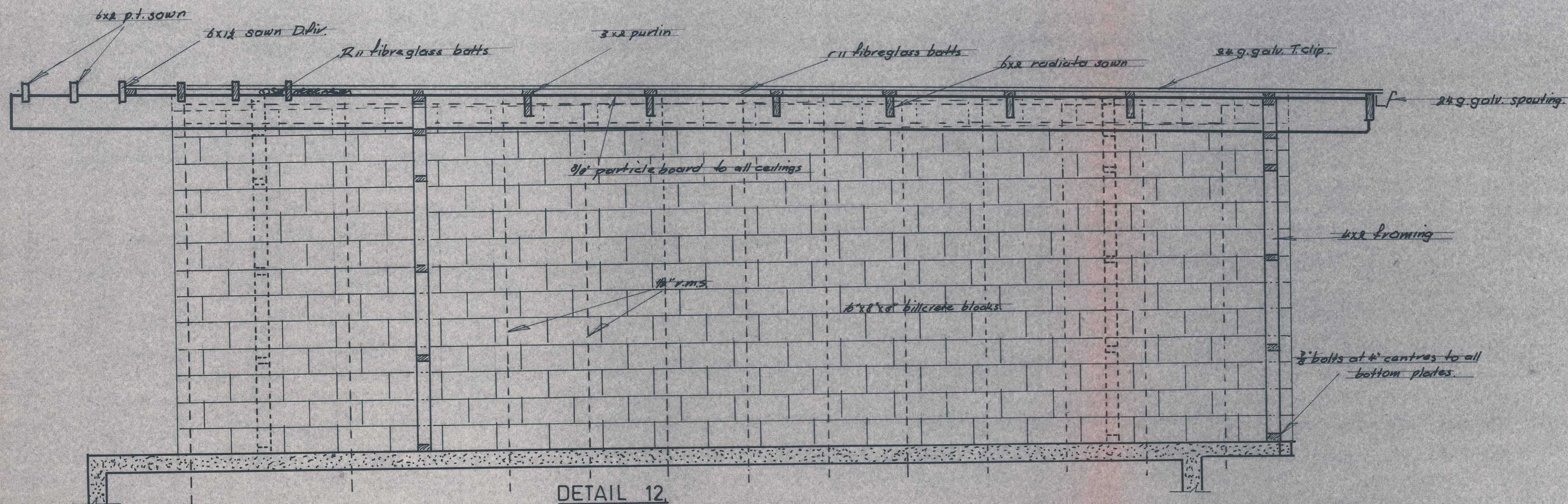


DETAIL 10

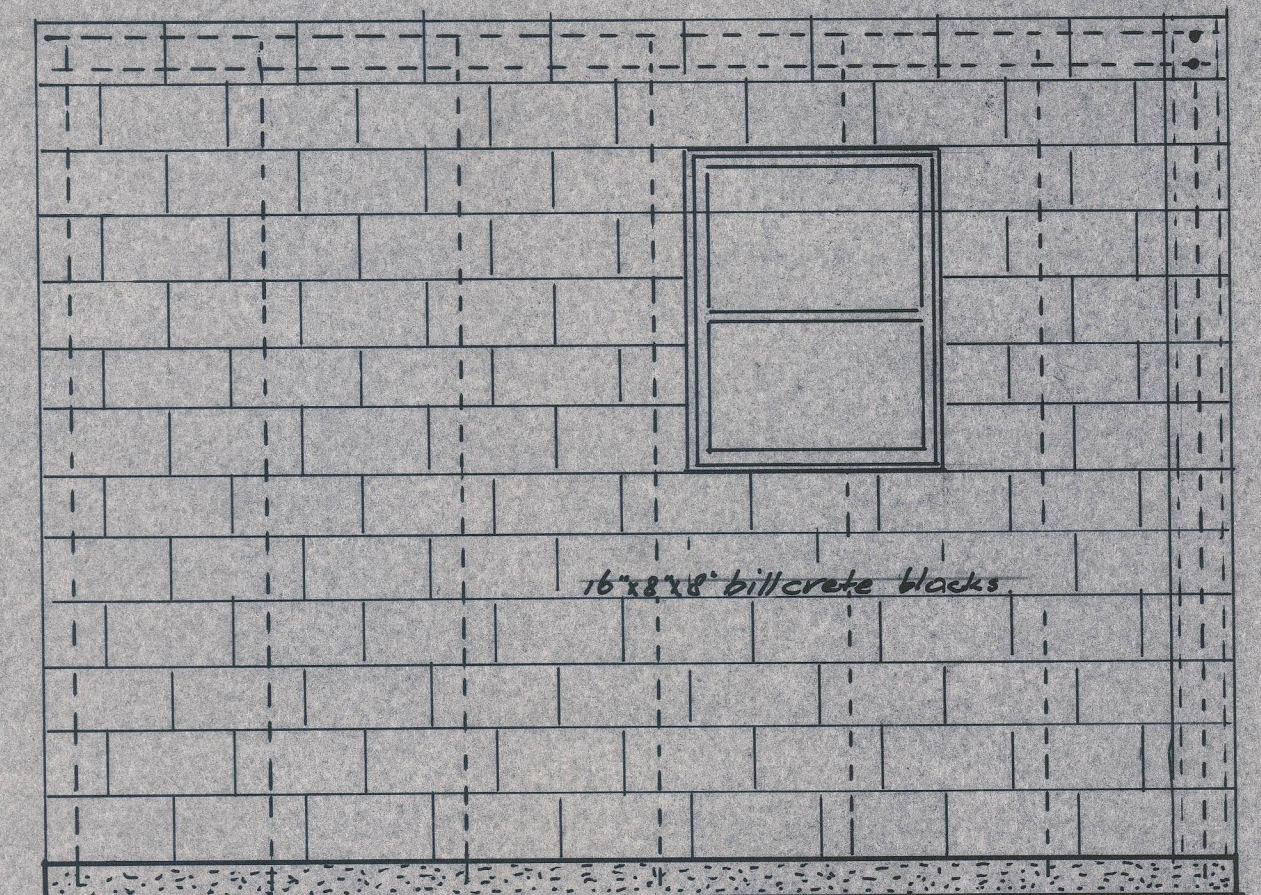


DETAIL 11

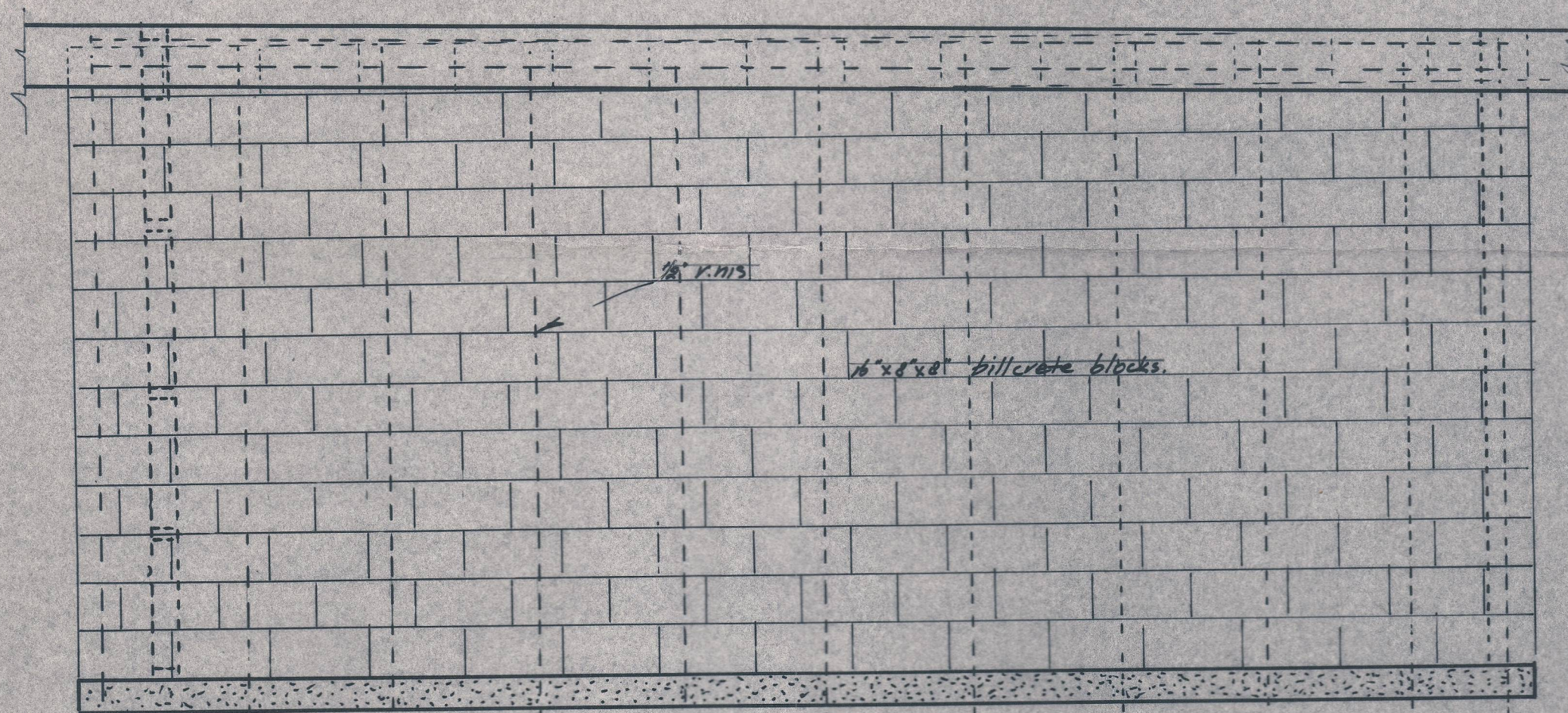




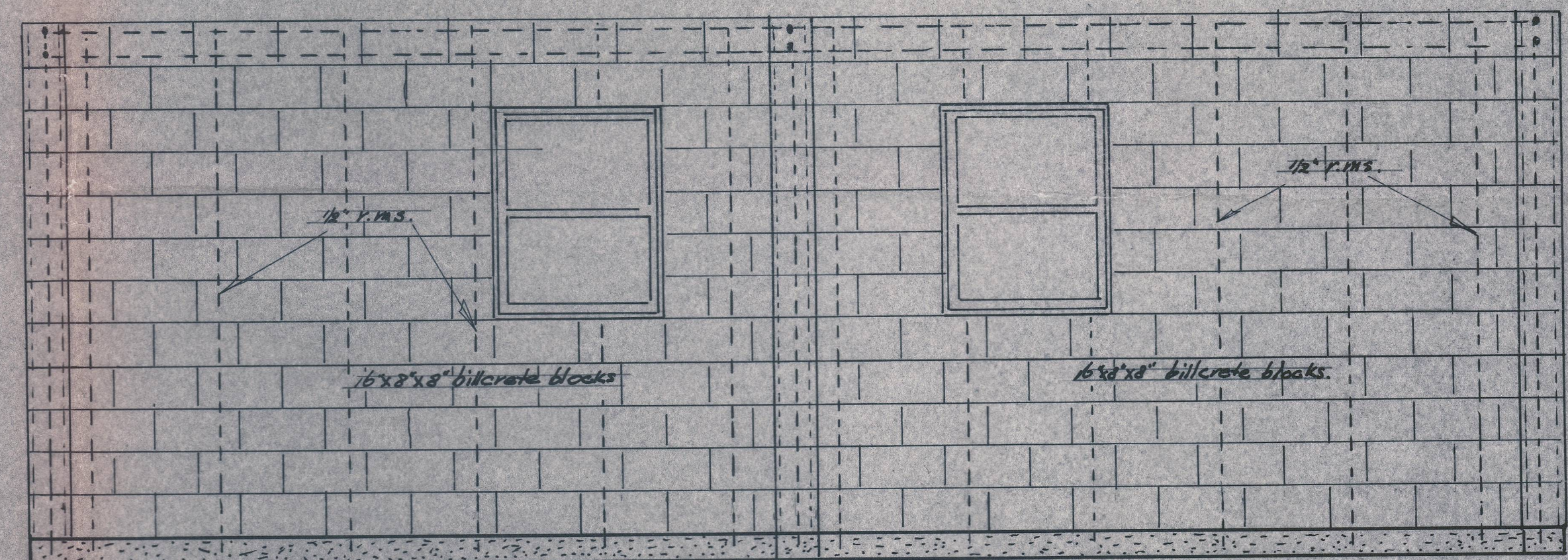
DETAIL 12.



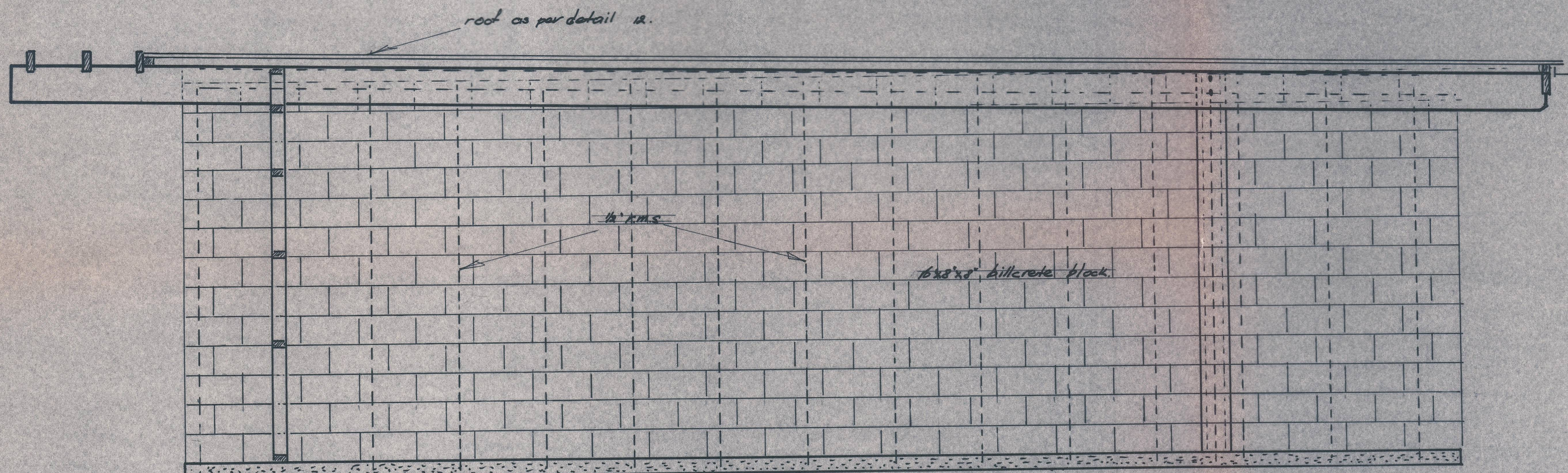
BACKWALL TO STORE 4.



DETAIL 13.

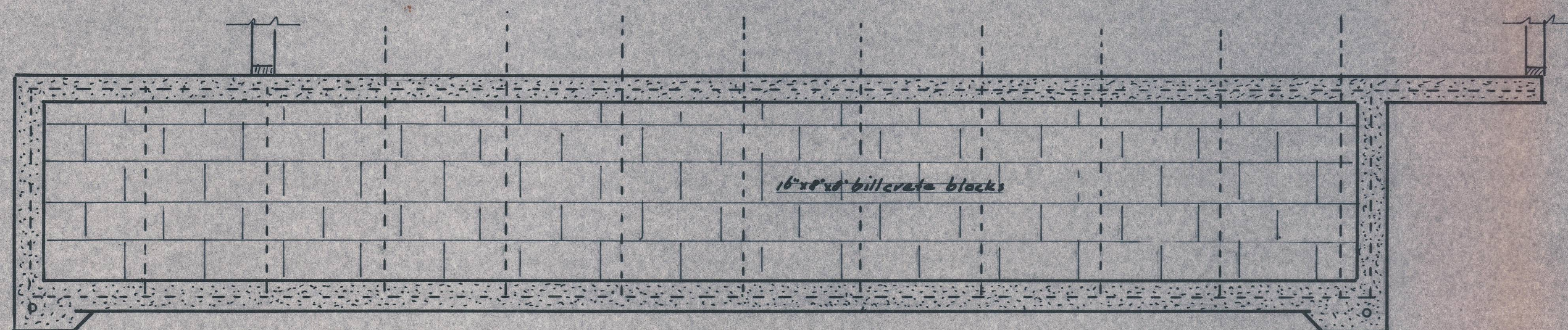


BACKWALL TO TWIN UNITS.

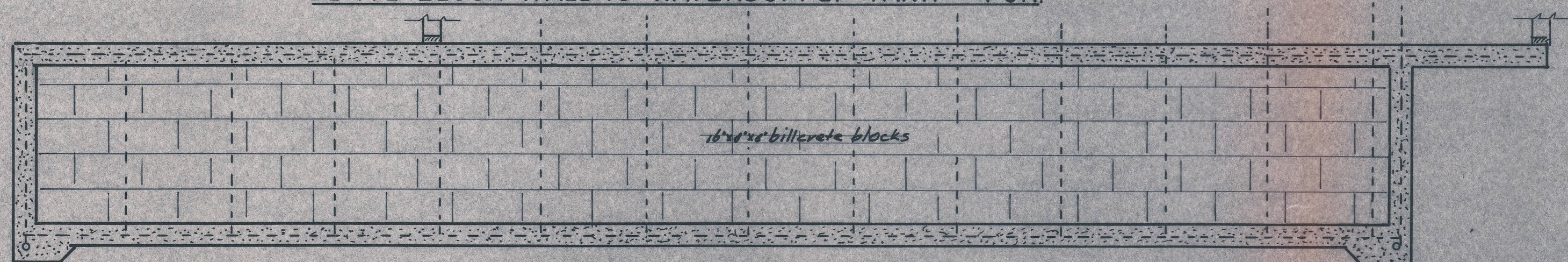


DETAIL 14.

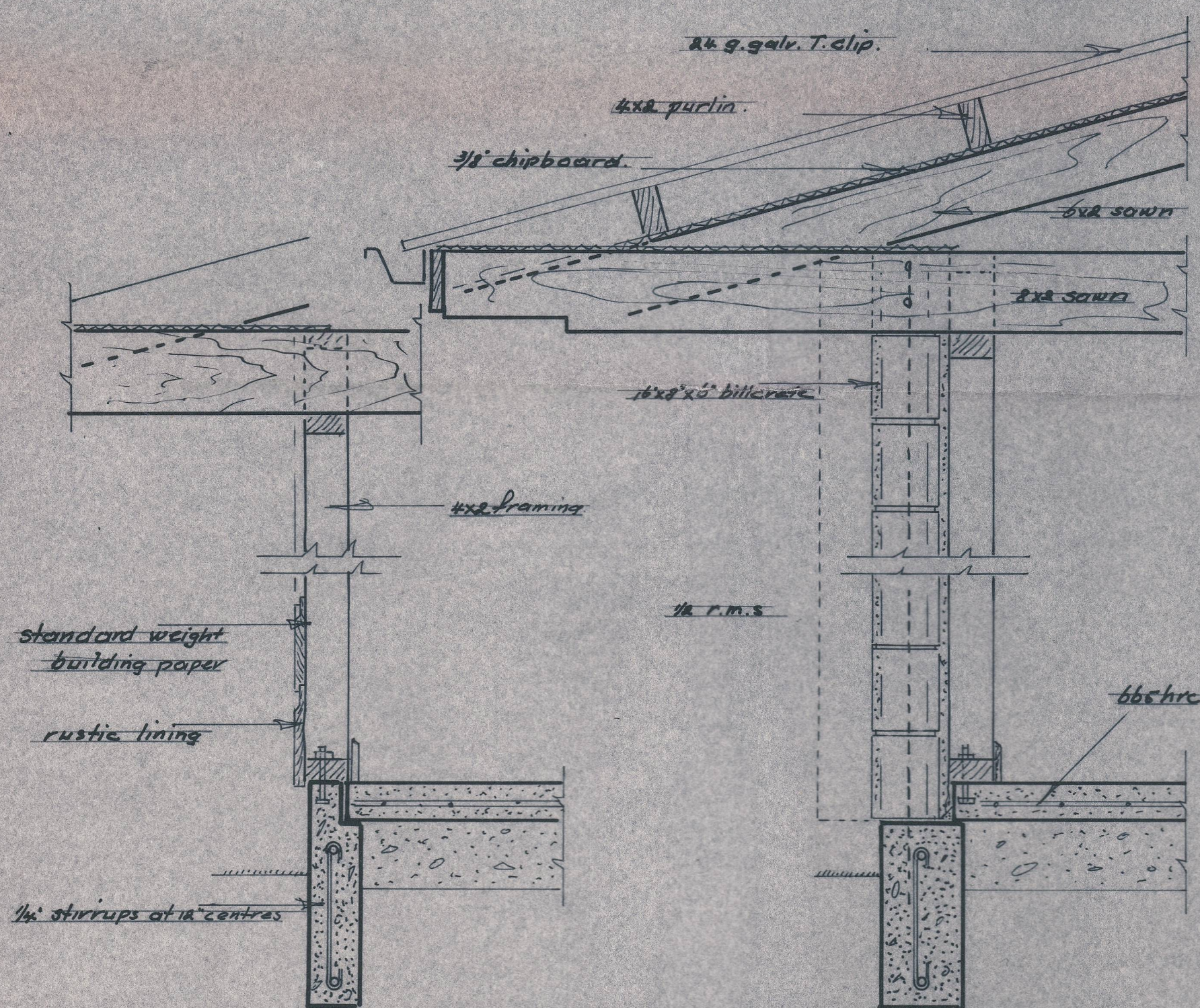




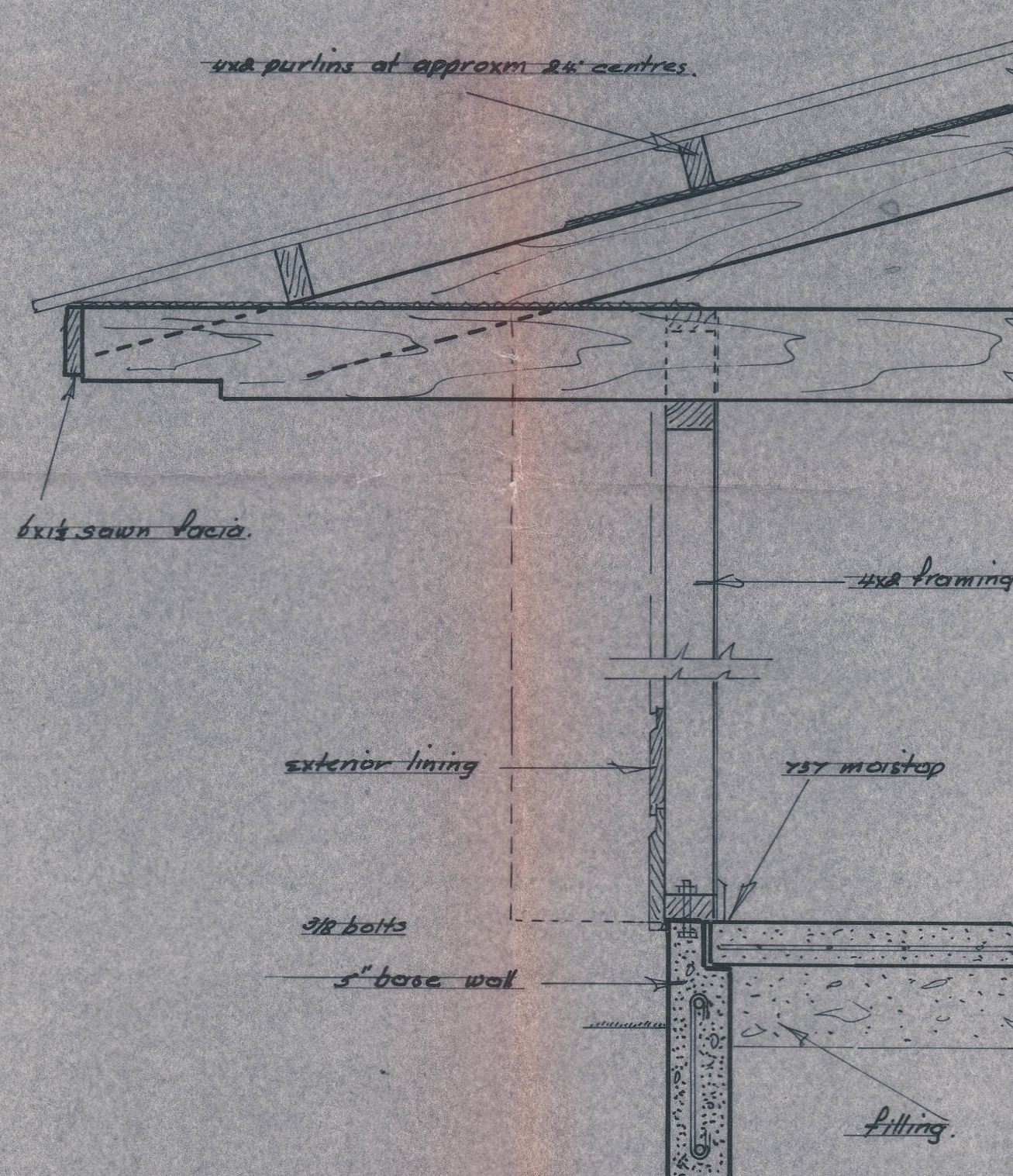
DETAIL BLOCK WALL TO WATERSUPPLY TANK 4 off.



DETAIL BLOCK WALL TO WATERSUPPLY TANK 1 off.

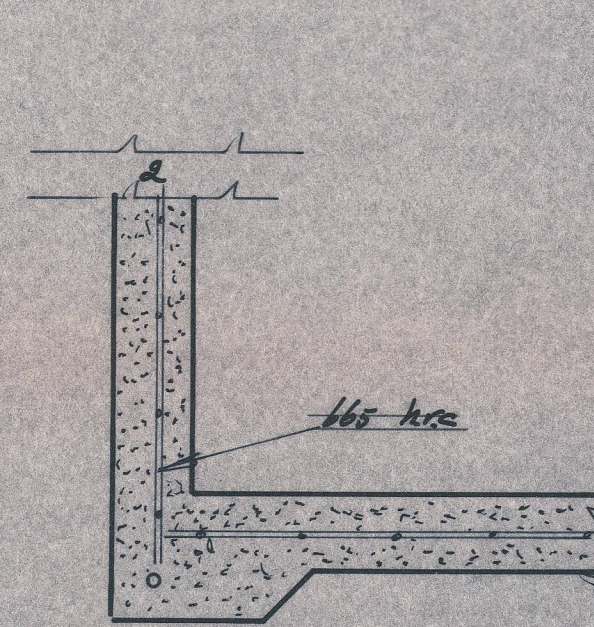


DETAIL WALL no.2

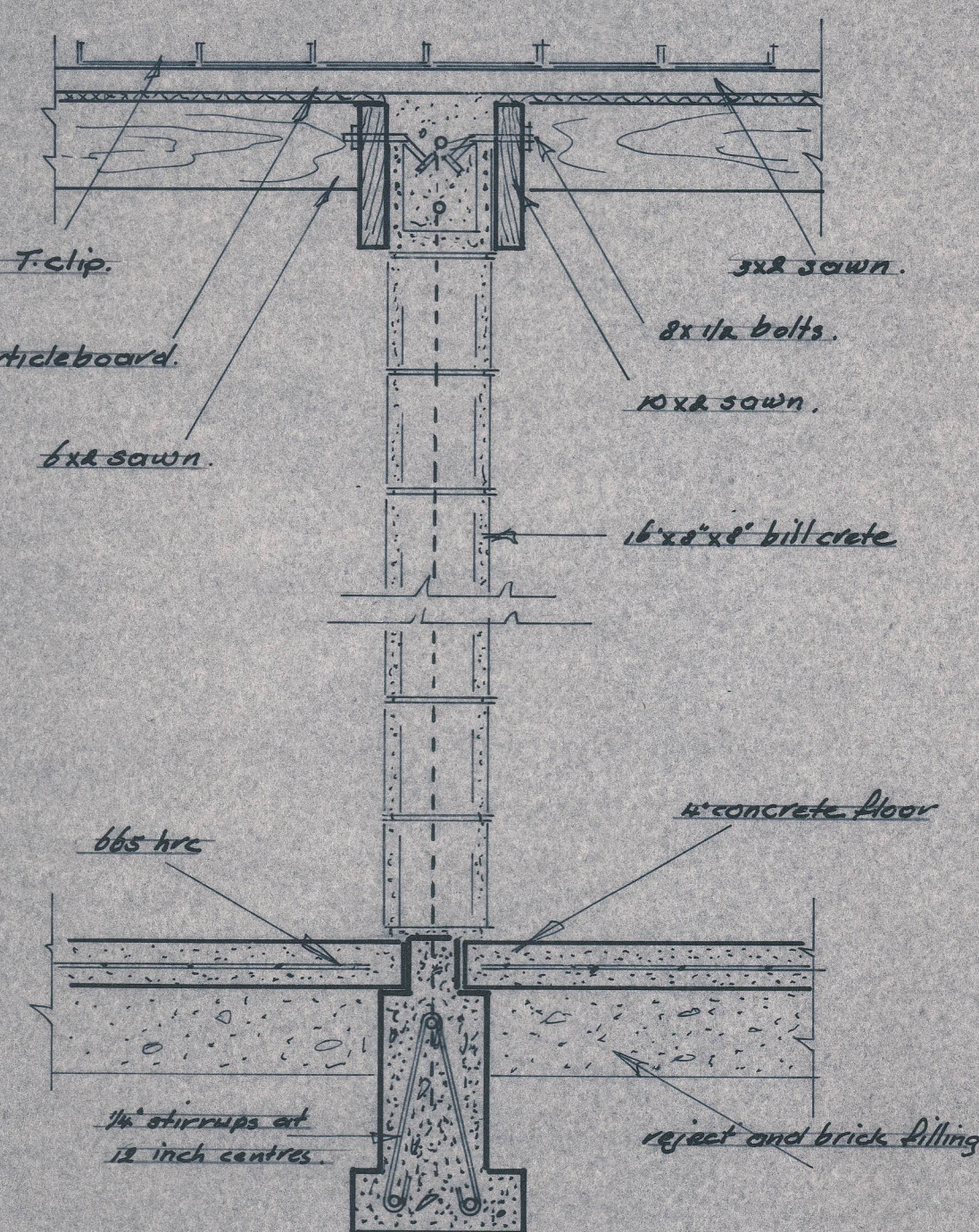
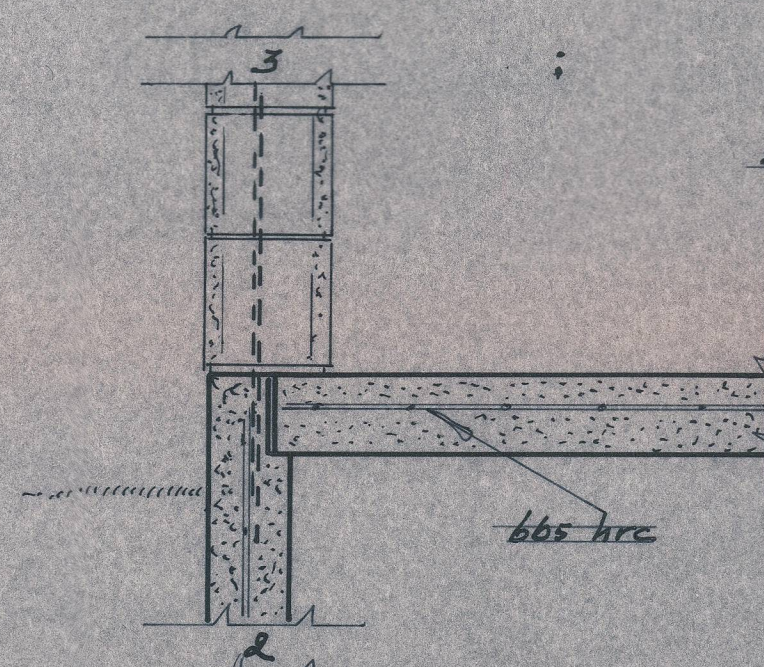


DETAIL KITCHEN AND OFFICE.

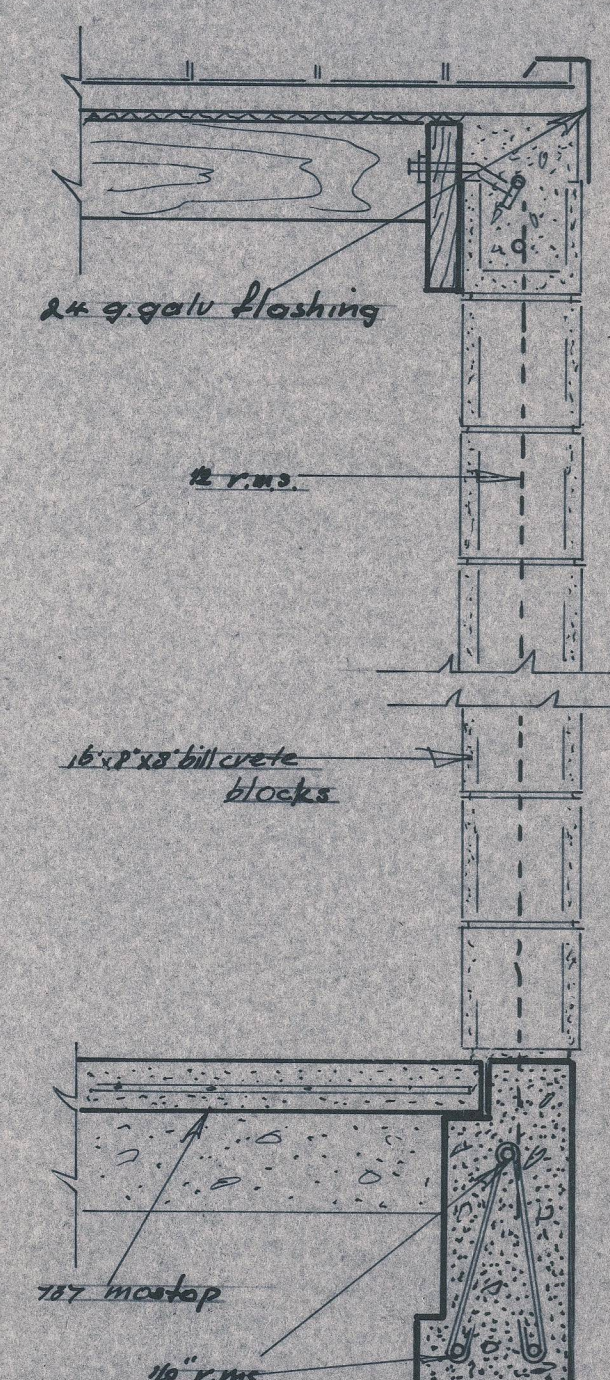
DETAIL WALLS no.3-4-5-6-7-8-9-



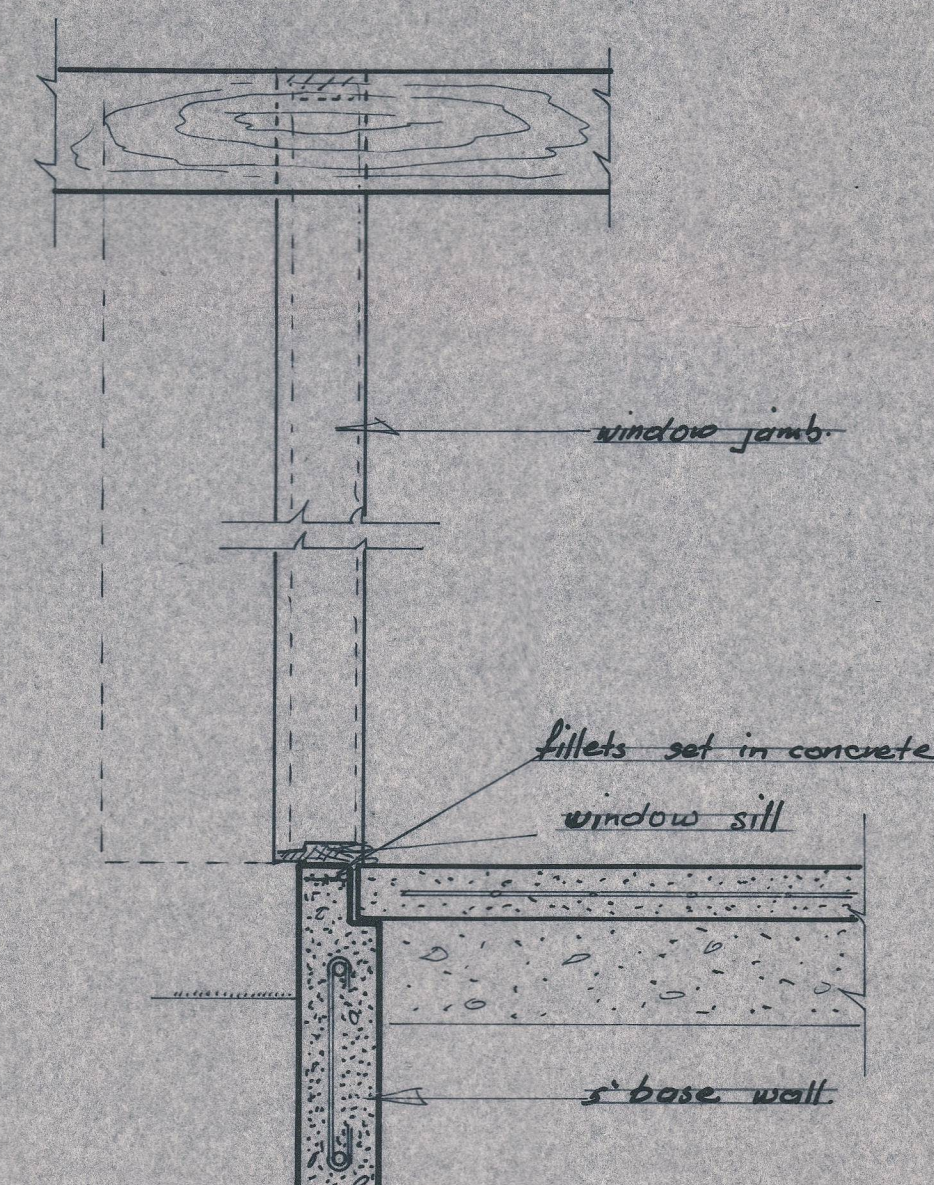
DETAIL EXTERIOR WALL 10-13-14.



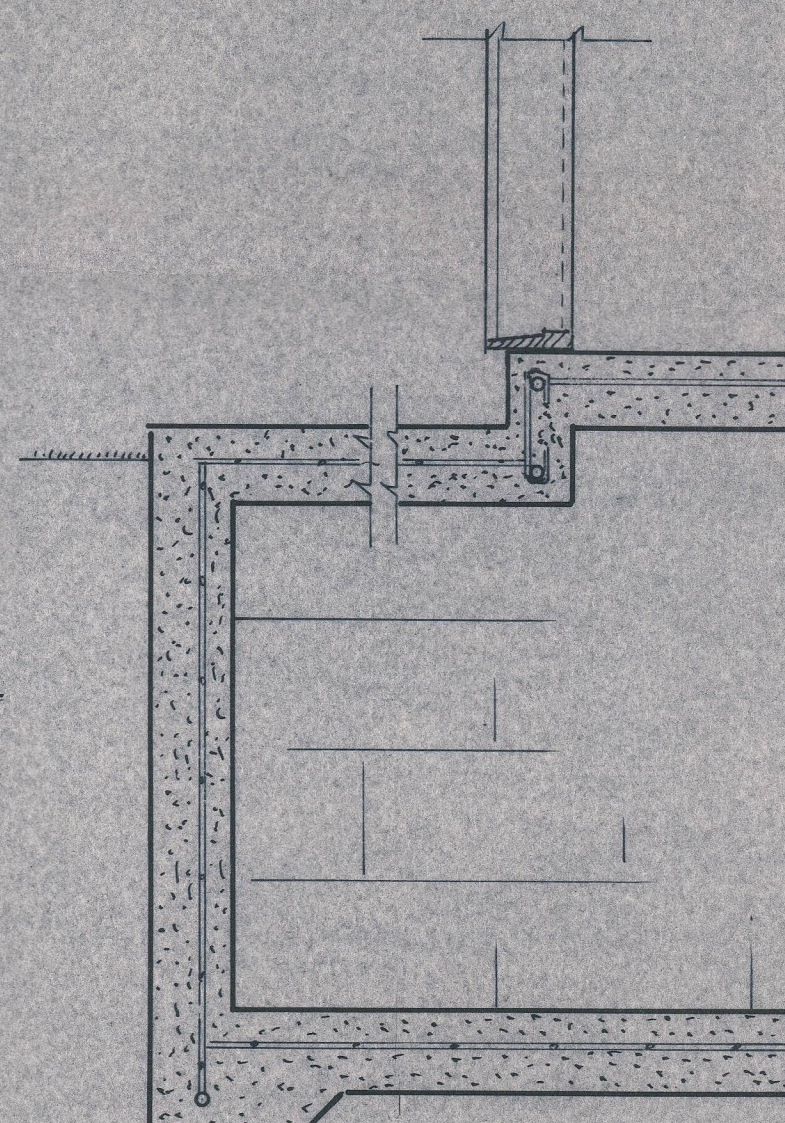
DETAIL WALL no.1.



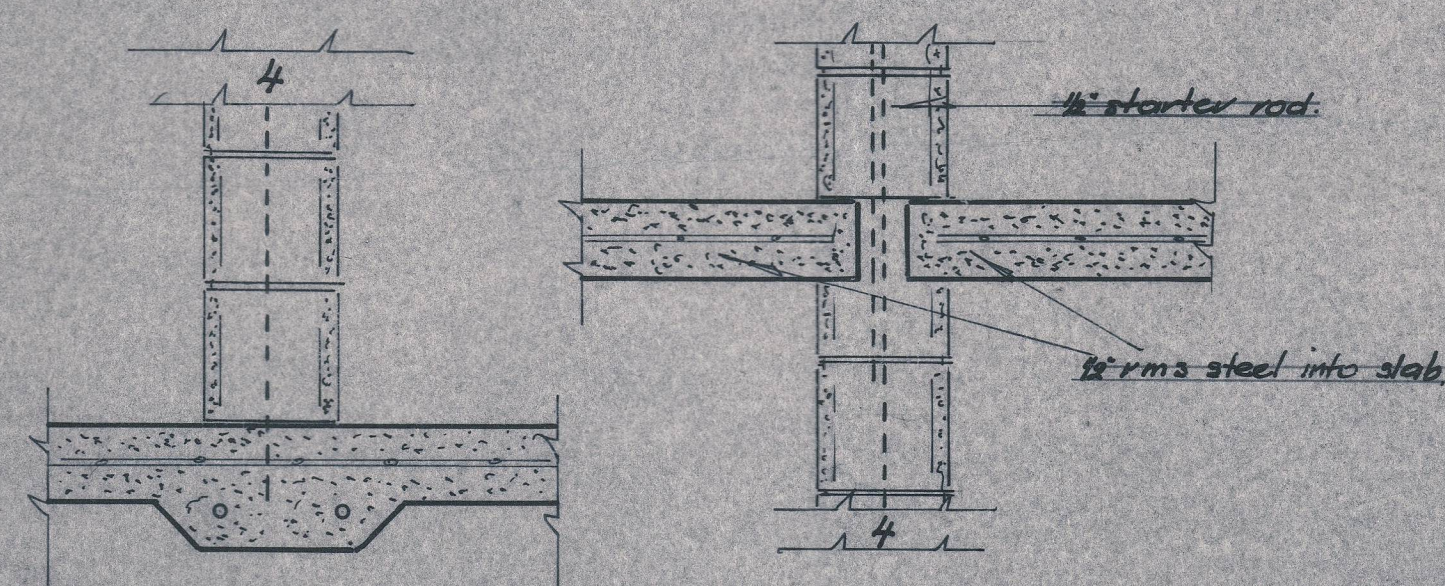
DETAIL WALL no.1.



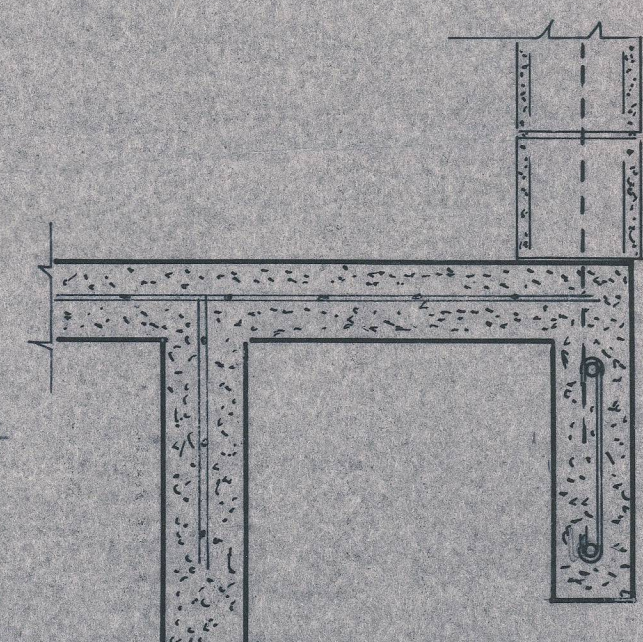
FIXED WINDOW DETAIL RESTAURANT AND D11.



DETAIL D.12

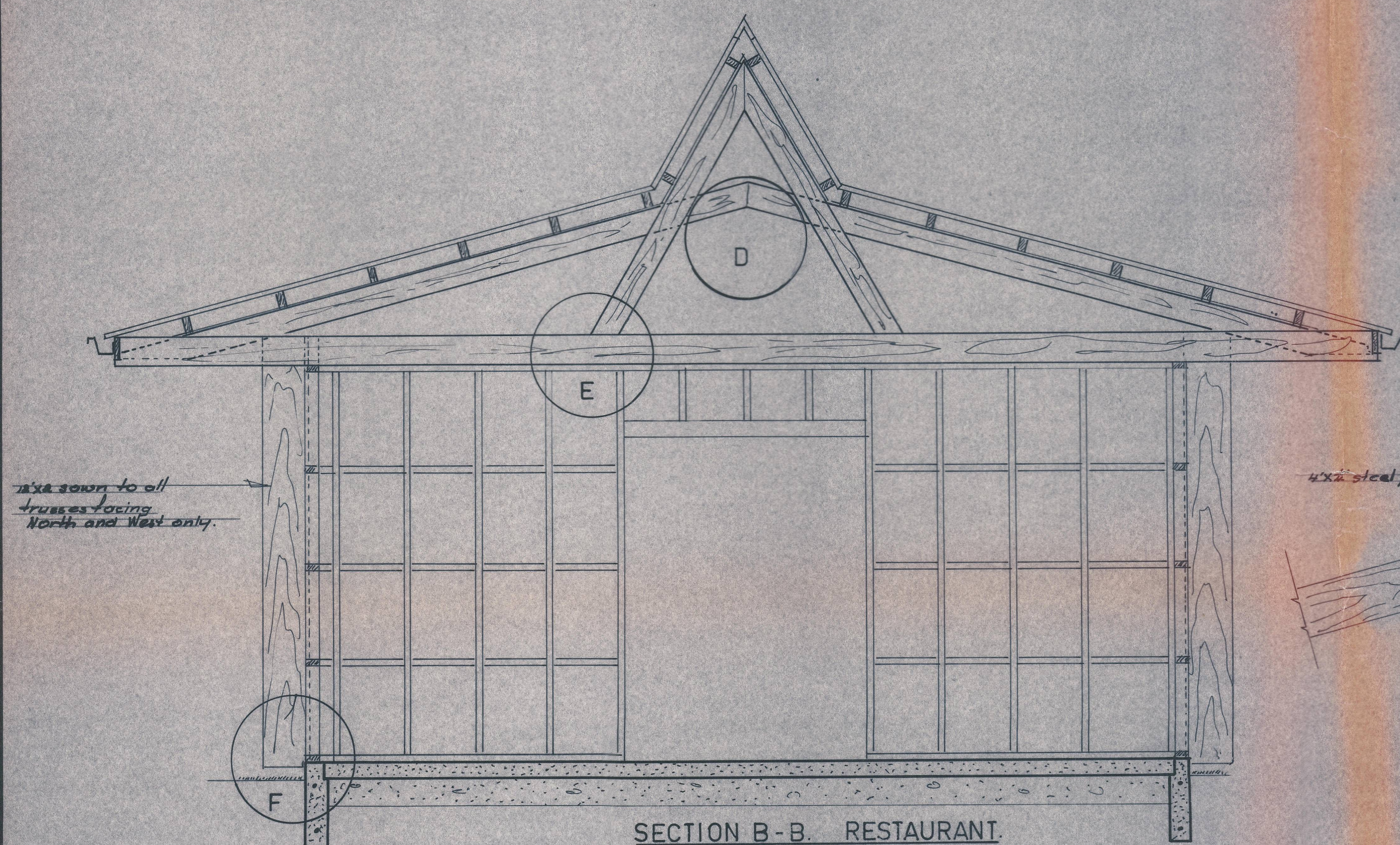
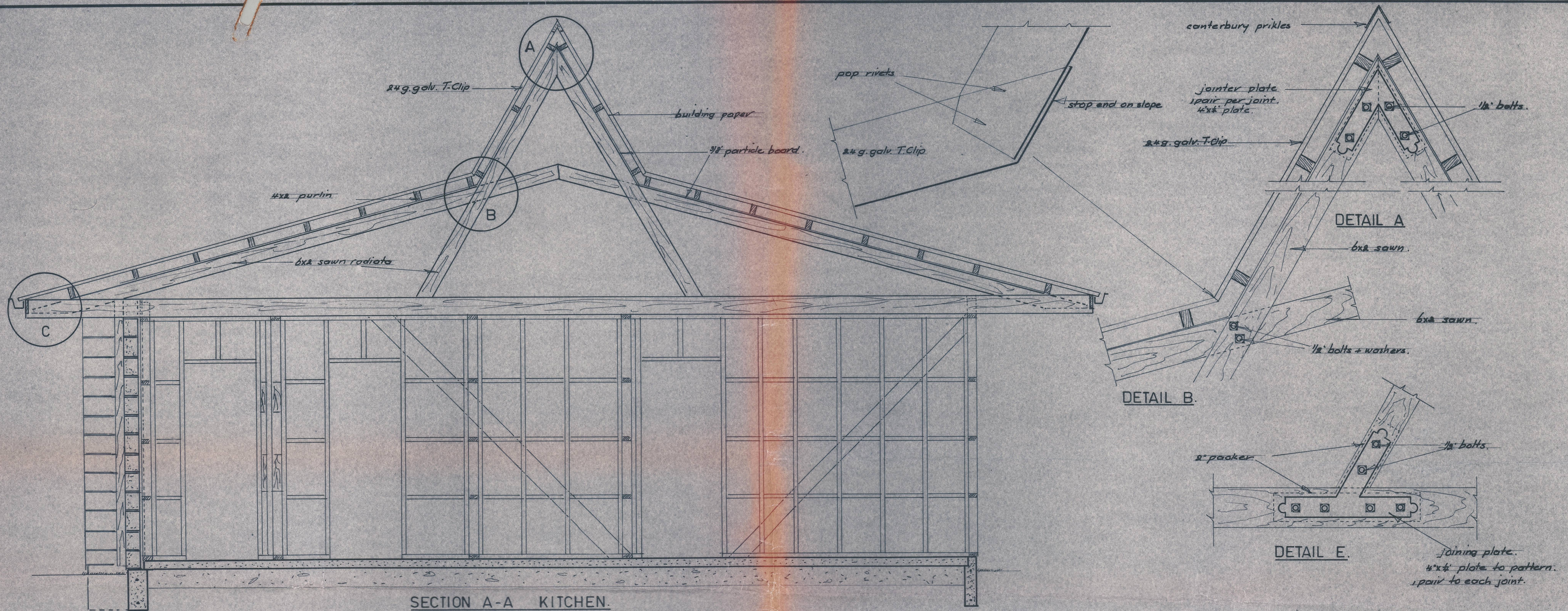


DETAIL WALLS 10 11 12



DETAIL BACK WALL TWIN UNIT.







## SITE PLAN

## FOR MINOR WORKS ONLY

Show position of building to ALL other buildings on the site.

Distance of building from ALL boundaries MUST be shown, also drains and septic tank, if applicable.

### Manner of Stormwater disposal.

## FRONT BOUNDARY

Name of Street and House Number

EACH SQUARE = 2 Feet.

[illegible]

## SITING OF BUILDINGS FOR RESIDENTIAL ZONE

### Minimum Distance from Boundaries

Type of Building	Front Boundary	Rear Boundary	Side Boundary
DWELLINGHOUSE - - - - -	10ft.	25ft.	4ft.
ACCESSORY BUILDINGS (Car Sheds, etc.) - - -	10ft.	1ft.	1ft.
OTHER BUILDINGS - - - - -	15ft.	25ft.	10ft.

**SPECIAL PROVISIONS APPLY IN COMMERCIAL AND INDUSTRIAL AREAS.**

N.B.—DWELLINGS: No Eaves within 2ft. of Side Boundary. CAR SHEDS, ETC.: No eaves within 6in. of Side Boundary.



# Hunterville Town Council

## GUIDE TO OBTAINING BUILDING PERMIT

A building permit is required when the following work is contemplated:

- (a) Erection of a building.
- (b) Re-erection of a building.
- (c) All alterations, additions and structural repairs to any existing building other than those exempted in the Building By Laws.
- (d) Removal of a building from any place within or without the Township to land within the Township.

### **Deposit of Plans**

Plans and specifications in duplicate for any of the above work should be submitted, along with the application form.

### **Plans Required**

1. BUILDING PLAN, drawn to scale of  $\frac{1}{8}$ " or  $\frac{1}{4}$ " to 1' and must show the following details —

- (a) Floor plan of each floor.
- (b) Section through building giving construction details of foundations, sub-floor timbers, framework and roof.  
A section is required of any flue construction and adjacent timber detail of any space heaters or free standing heating stoves that may be installed.
- (c) At least two elevations, one of which should be to street frontage.

2. LOCALITY PLAN, drawn to scale of between 16' and 40' to one inch should show exact location of proposed building, alteration, etc., in relation to the section boundaries and any other buildings. All distances from boundaries and other buildings to be clearly shown also near walls of buildings on adjoining sections.

Plans should be drawn on tracing cloth or drawing paper or be permanent black line prints of original tracing or drawing.

The position of all Sanitary Fittings to be shown and the proposed line of new drains where applicable.

### **Specifications**

Specifications should be type-written or written in ink and should include the following information:

- (a) Description of materials to be used.
- (b) Mode of construction.
- (c) Details of all equipment and appliances proposed to be installed.

### **Issue of Permits**

Permits will be issued as soon as possible but major works may require 14 days to check.

### **Service Connections**

An indication of where and when water and sewerage services will be required would be helpful to all concerned.