

RECEIVED
WANGANUI DISTRICT COUNCIL

13 MAY 2002



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

APPLICATION for P.I.M/Building Consent

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
- Building Consent
- Alteration to Approved Plan

BC # 21490

(A) Owner 64943
Name: M. J. C Morton

Mailing Address: 224 Brunswick Road RD
Phone: 06 343 6588 Fax:

(B) Designer
Name: Ideal Carages

Mailing Address: PO Box 5108, Wanganui
Phone: 06 343 5007 Fax:

(C) Builder
Name: I. Blood

Mailing Address: 5 Burts Road
Phone: 345 3157 Fax:

(D) Craftsman Plumber

(E) Registered Drainlayer

Code Compliance Certificate to be sent to?

FLOOR AREA OF PROJECT

New Residential Dwellings or
New Commercial Only m²

LEGAL DESCRIPTION

WDC Property No. 17247
Valuation Roll No. 1288 049 400
Lot(s) 3 DP 2187
Section Block III
Survey District Westmere

Signed by (on behalf of) the applicant

Signature: *[Handwritten Signature]*

Owner, builder, plumber, designer, agent
(circle one)

Date: 10/4/02

CONTACT PERSON i.e. (A) B C D E (Circle one)

Project
Description of PROJECT and USE: Double Garage

Project Location
Street Address/Rural No: 224 Brunswick Rd

Durable Life of Project (i.e. 5, 15, 50+ years)
50yrs

Value of Project Work
(include all labour & materials)

X \$ ~~5500~~ 6000 (Incl. GST)

X Consent Fees to be paid by? Owner 64943

FEES APPLICABLE (office use only)

Building Consent Application	\$ 100.00
Building Consent Issue	\$
P.I.M	\$
Non-notified Appl. Fee	\$
Prepaid Crossing	\$
Prepaid Sewer Connection	\$
Prepaid Water Connection	\$
Stormwater Connection	\$
BIA Levy	\$
Additional Charges	\$
Total Fees (Incl. G.S.T)	\$ 100.00

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993 section 54. This may result in receipt by the 'Owner' of trade advertising.

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Project Details

The project involves the following

(tick each applicable box, if any, and attach two(2) copies of any relevant information)

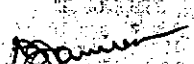
- (1) Location in relation to legal boundaries and external dimensions of new, relocated or altered buildings
- (2) New provisions to be made for vehicular access and on-site parking, ie. a new crossing
- (3) Provisions to be made in building over or adjacent to any road or public place, ie. hoardings, signs
- (4) New provisions to be made for disposing of stormwater and wastewater
- (5) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
- (6) New connections to public utilities, ie. new drainage or water connections
- (7) Provisions to be made for any demolition work ie. the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- (8) Any cultural heritage significance of the building or building site, including whether it is on a marae

Project Documents (provided with this application)

- Plans and specifications
- (22) Producer Statements (ie. truss design, design review) - specify:
- (23) Other Documents - specify:

Inspections

- (26) By Wanganui District Council
- (27) Other - specify (ie. Design Engineer):

For office use only							
Unit	Checks				Inspections: No.	Approved	
	Initials	Date	Initials	Date		Initials	Date
Administration	LC	14/5					
Planning	ZC	16/5					
Fire Design							
Building	PL	20/5				CS	18/7
Drainage							
Water							
Structural							
Plumbing/Drainage	CS	18/7				CS	24/7
Roading							
Health							
Dangerous Goods							
Approved for issue of PIM/Building Consent							
District Building Controller: 						Date: 29 JUL 2002	

Development Checksheet

Residential

Property Address: 224 Brunswick Road.						
Project: New Garage.				Site Area:		
	Rural B Operative Plan			Rural Proposed Plan		
Rule	Required	Provided	O.K.	Required	Provided	O.K.
Coverage						
Maximum Height	3m + horizontal 7m	3m	✓	10m	3m	✓
9m x 9m Triangle						
Front Boundary	6m	4m	x	10m	4m	x
Side Boundary	3m			10m		
Side Boundary	3m			10m		
Rear Boundary	6m			10m		
Separation of Units						
Outdoor Living						
Storage						
Parking						
Access						
Dimensions/Easements						

Comments: Requires resource consent. Revise 16/5/02

Wanganui District Council

Building a better community with the people of the Wanganui District



Our Reference: 4/101/2277

If calling contact: Louise Cowan

18 July 2002

Mrs Maartje Morton
224 Brunswick Road
RD 1
WANGANUI

BC 21490.

Dear Mrs Morton:

Resource Consent: Construction of a garage at 224 Brunswick Road, Wanganui.

I refer to your resource consent application for the construction of a garage at 224 Brunswick Road, Wanganui. The application was necessary because the location of the proposed garage does not meet the 10 metre set back required from the front boundary in accordance with the Proposed Wanganui District Plan.

The application has been considered as a non-notified application, and the following consent granted.

That pursuant to Sections 9, 105 and 108 of the Resource Management Act 1991, the Wanganui District Council grants its consent to an application for a restricted discretionary activity in accordance with the Proposed Wanganui District Plan to construct a new garage at 224 Brunswick Road, Wanganui being legally described as Lot 3 DP 2187 Block III Westmere SD, subject to the following conditions:

1. The activity shall be in general accordance with the information and plans submitted in support of this proposal.
2. Charges set in accordance with Section 36(1)(c) of the Resource Management Act 1991 shall be paid to the consent authority for the carrying out of its functions in relation to the administration, monitoring and supervision of this resource consent and for the carrying out of its functions under Section 35 of the Act.

Section 36(1)(c) of the Act provides that the Council may from time to time fix charges payable by the holders of resource consents.

After considering Part II of the Resource Management Act 1991, the following are the reasons for this decision:

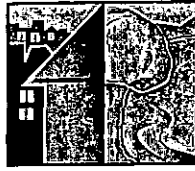
1. The environmental effects of this proposal will be no more than minor.
2. The proposal is not contrary to the relevant objectives, policies and other provisions in the Proposed and Transitional Wanganui District Plans.
3. The proposal meets the requirements of the Resource Management Act 1991.
4. All parties whom Council consider to be adversely affected by the application have given their written consent.

Yours faithfully

Louise Cowan

Louise Cowan
Resource Management Planner

20 May 2002



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

Maarjite Joanne Christine Morton
224 Brunswick Rd
RD 1
WANGANUI

Dear Sir or Madam

RE: 224 BRUNSWICK RD WANGANUI

To build a new Ideal garage.

I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

- 1. Please supply a decent site plan and a construction plan which is not cropped on one side.
(Paul McKenna - Building Control Officer)**

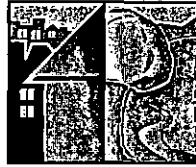
Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 21490.

Yours faithfully

Environmental Services Business Unit.

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19 Jul 2002



ENVIRONMENTAL
SERVICES
WANGANUI DISTRICT COUNCIL

Maarjte Joanne Christine Morton
224 Brunswick Rd
RD 1
WANGANUI

Dear Sir or Madam

RE: 224 BRUNSWICK RD WANGANUI

To build a new Ideal garage.

I acknowledge receipt of your building application for the above work. A perusal of the plans and specifications raises the following comments.

1. **Please show how the stormwater is to be disposed. (Graham Wait - Building Control Officer)**

Receipt of your advice regarding the above comments will enable your application to be further considered. Please quote project number 21490.

Yours faithfully

Environmental Services Business Unit.

Setting Out Concrete Floor Boxing

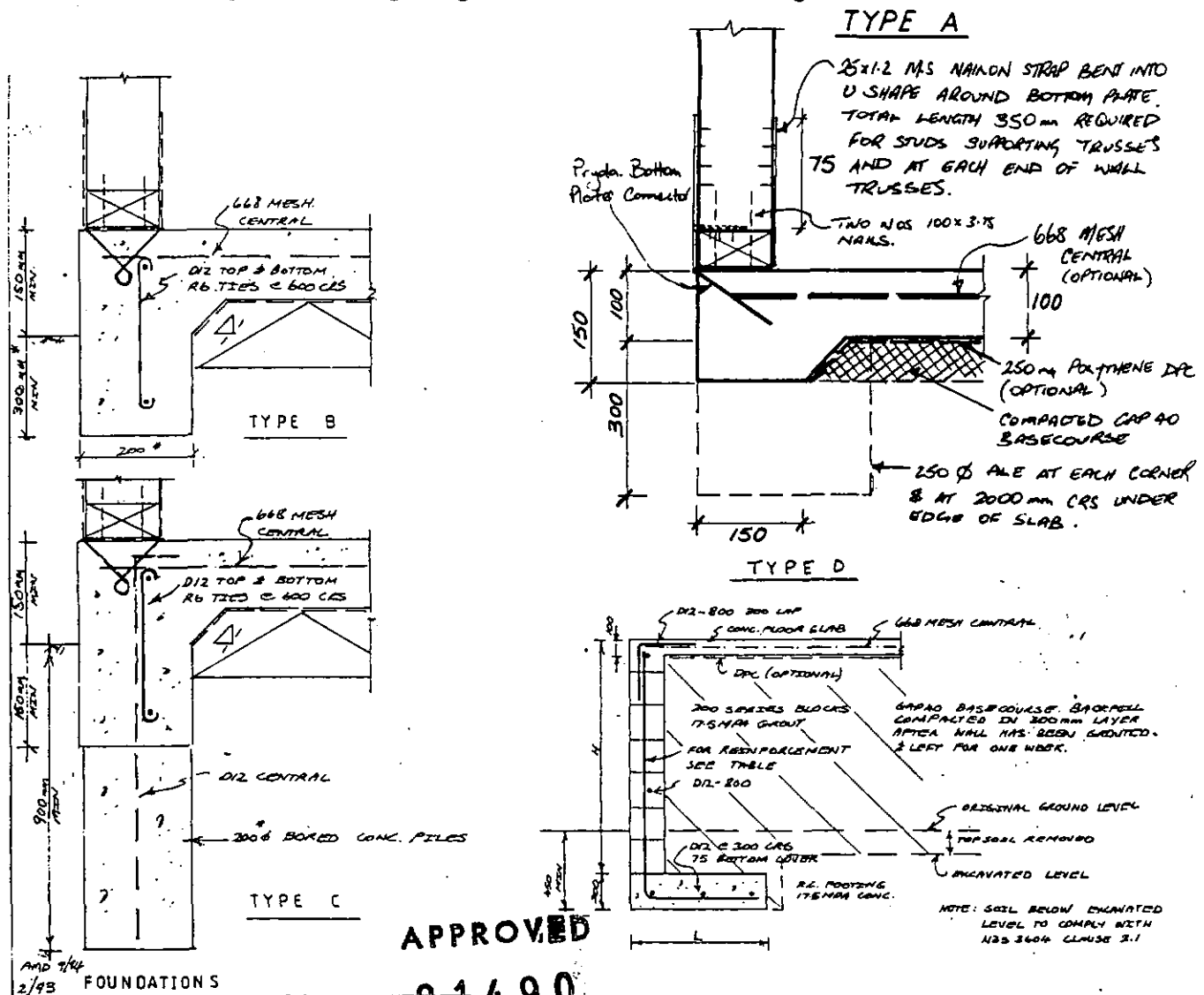
To erect a concrete floor for a garage ensure that you have an approved foundation design stamped by council authority.

Define your foundation type ie..A B, C etc or your own design, please note the footing depth and relative F.F.L finished floor height required above existing ground level.

Note usually minimum 150mm Garage floor

usually minimum 225mm Habitable floor eg House, Granny Flat.

Please note examples of footing designs below standard Ideal designs.



As you see above depending on the geographical location of the building site and composition of the building base ie soil, clay, fill, -local council may require a more substantial footing design. Designs range from type A through to type C ie Type C is for less stable building sites ;Type D is designed for retaining purposes.

Setting Out Concrete Floor...Continued

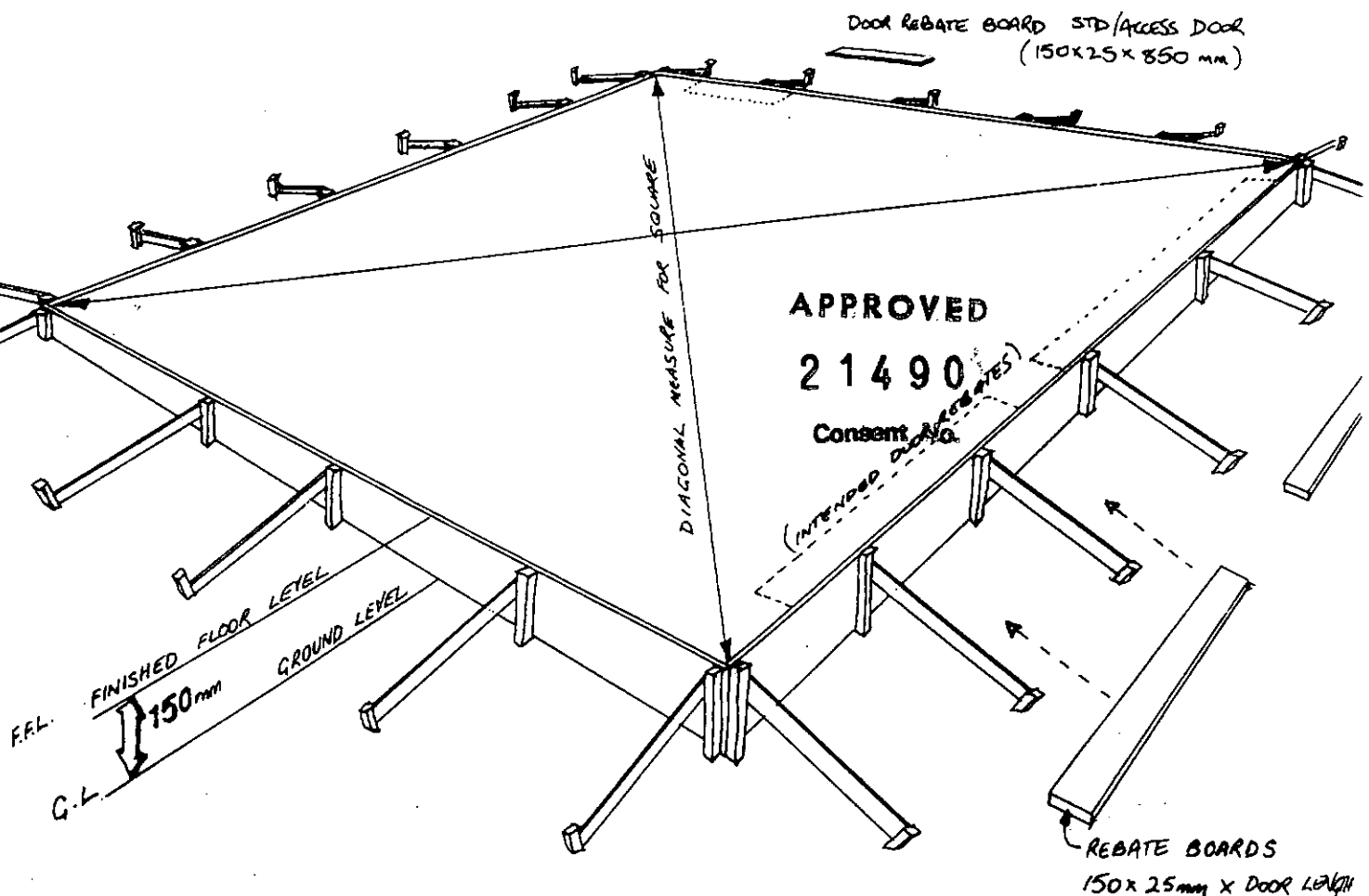
For a standard type A footing design which is predominately used by Ideal buildings; this design requires the Finished Floor Level (F.F.L) to be 150mm above existing ground level G.L. Thus boxing should be set out accordingly, profile timbers should first be erected to define the dimensions of the floor and relative positioning.

Placement of boxing should be fixed to pegs driven into the ground. Ensure that the boxing is plumb and that the overall dimensions are square. If your site is out of level and the boxing is over 150mm in height ensure that you have adequate support bracing the boxing.

Important Please check that the top of the boxing is level in relation to each side ie front wall level = side walls & back walls.

Measure the diagonal dimensions of the boxing to ensure the floor will be square, both measurements from each diagonal should be the same.

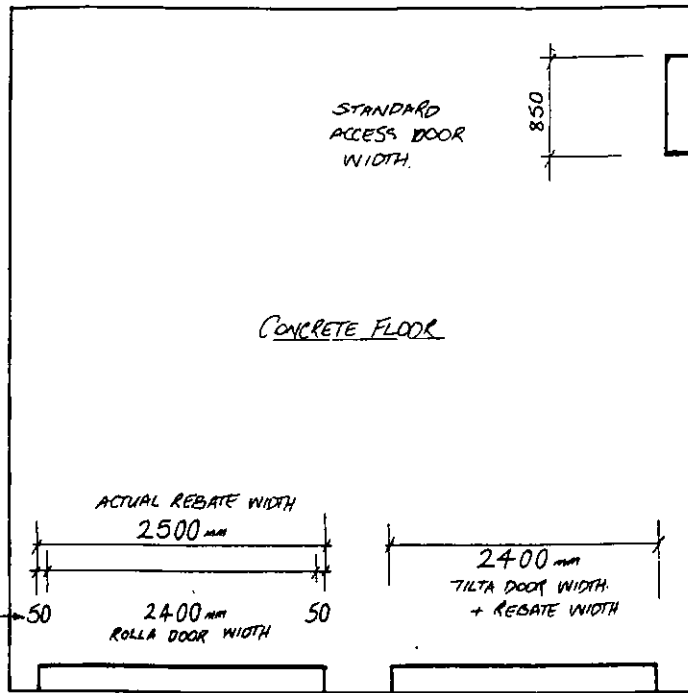
Please read Door Rebates -(Important)



Door Rebates

If your building has a Rolla Door, Tilta Door or an Access Door you will be required to insert a 150mm x 25mm Recess into the concrete floor. The rebate is required for weatherproofing.

Please note there are different rebate lengths for Rolla Doors compared to an Access door & Tilta door rebate. Read below to determine set out length!



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21490
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Note 50mm
Added to Both
sides of Door
Opening to
accommodate
Curtain Track (Rolla Door)

Example Only

Rebate Lengths for Tilta Doors & Access Doors are the same length as the Door.

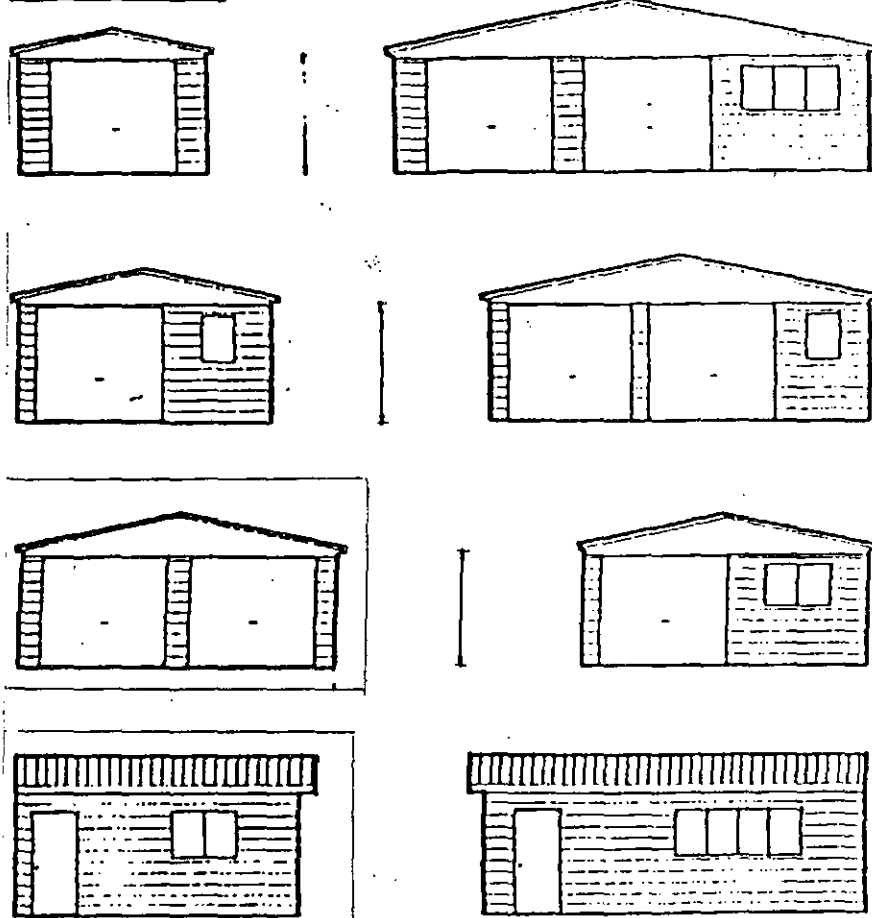
Important NoteRolla Door Rebate Lengths.

The Length of Door rebate = the length of the door ie (say a standard door width 2400mm)

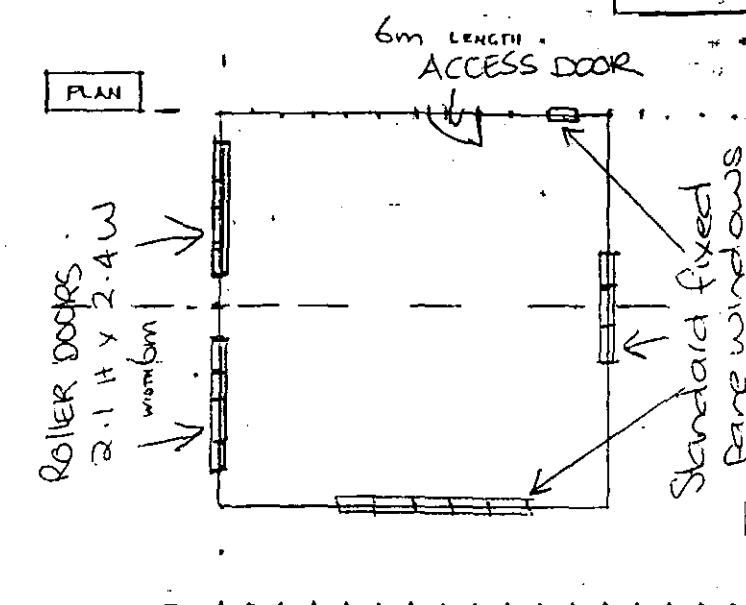
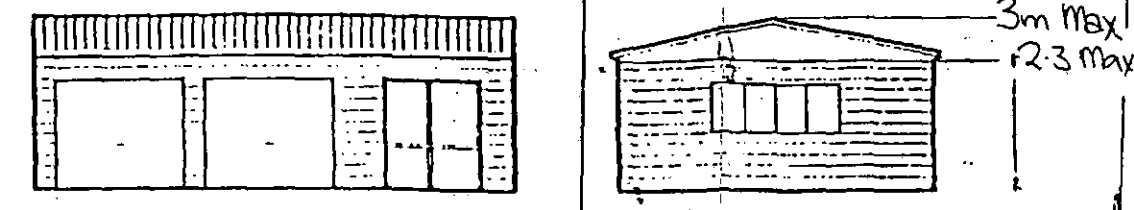
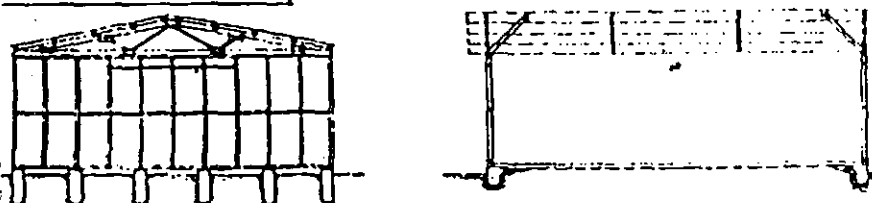
Add 50mm to each side of the rebate to accommodate the curtain track on each side of the Rolla Door. Note the total overall rebate length will now become 2500mm.

JOB: MORTON - 224 BRUNSWICK ROAD

TYPICAL ELEVATIONS



TYPICAL CROSS-SECTIONS



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Consent No.

SPECIFICATIONS

- FOUNDATIONS - ~~200mm x 200mm Concrete piles @ 1200mm max. crs.~~
- ~~125mm x 125mm H5 Square piles @ 1200mm max. crs.~~
(delete n/a) - Concrete slab w/ footings & mesh reinf.
- Other (specify)
- FRAMING PLATES - 100mm x 50mm H1 Pinus rad. 150mm clear of ground.
STUDS - 100mm x 50mm H1 Pinus rad. @ 600mm crs.
NOGS - 100mm x 50mm H1 Pinus rad. 1 row / 2 rows
PURLINS - 100mm x 50mm H1 Pinus rad. on edge.
Checked 25mm over truss cords. Installed @ 750mm max crs.
- ROOF TRUSSES - PRYDA nail plate trusses (ref. A2962) by IDEAL GARAGES LTD. Installed @ 2400mm maximum centres
- CLADDING ROOF - ~~4 BMT Galvanised steel/ Colorsteel G II~~
Corrugated profile/ ~~Tetraline profile~~
(delete n/a) WALLS - ~~4 BMT Galvanised steel/ Colorsteel G II~~
Traditional 100mm w/b, ~~Superceded w/b~~
~~Tetraline vertical profiler~~



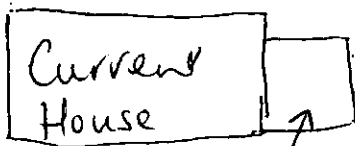
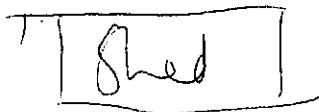
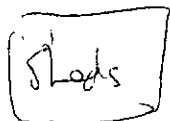
Jamie O'Leary Builders Ltd.
24 Gibson Street, Wanganui
Ph. 06 343-5007 Fax 06 343-5002

Site Plan for
M. Morton

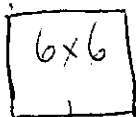
3

DP 2187

CT 182-228



lean-to



4m

Proposed double garage
N

157m

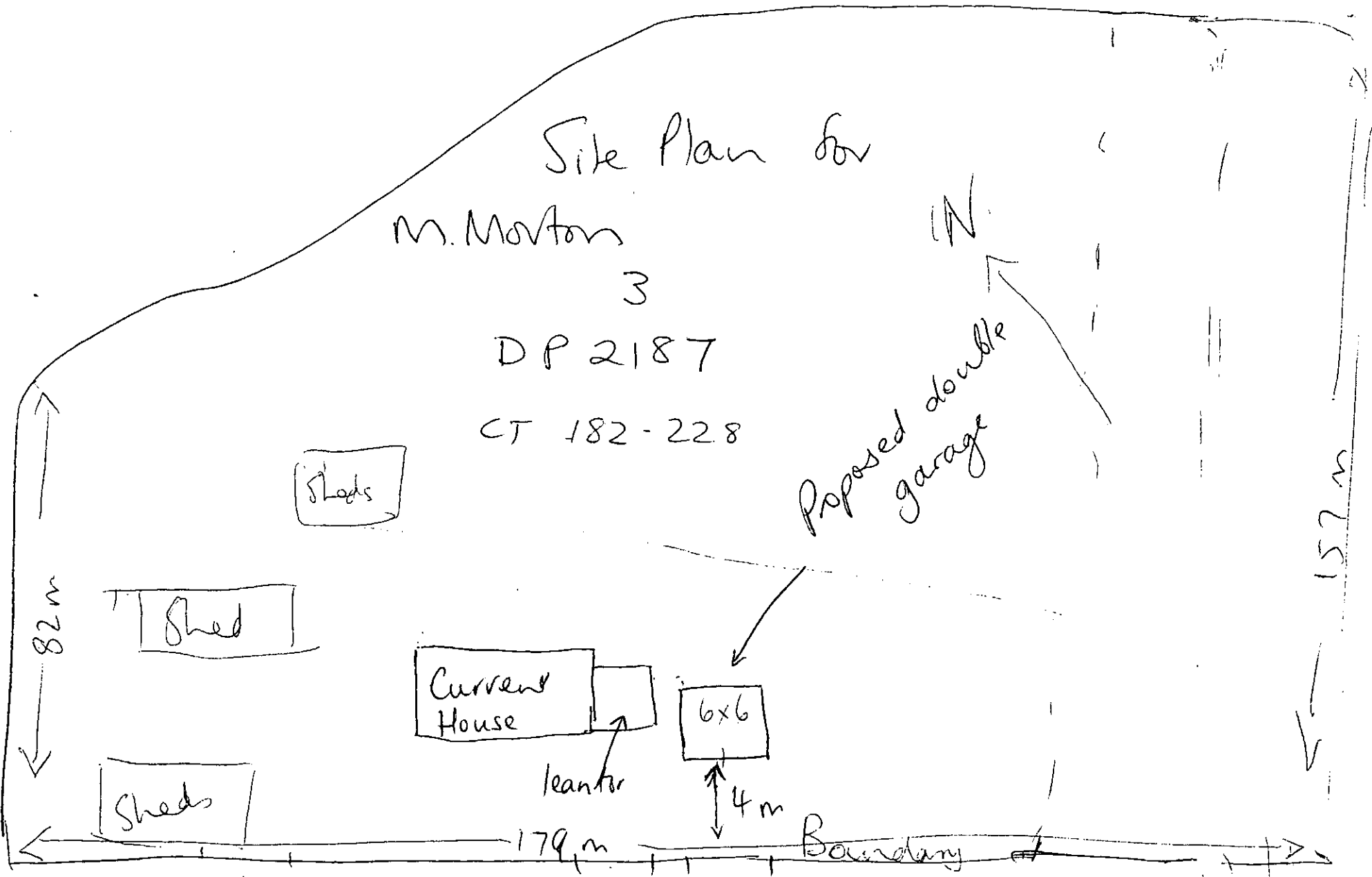
82m

179m

Boundary

Brunswick Road,

Cran verge



Reference: Vol. 141, folio 260
Transfer No. 41654

Register-Book 06 JUN 2002
Vol. 182, folio 228



CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT.

This Certificate, dated the fifteenth day of April one thousand nine hundred and nine, under the hand and seal of the District Land Registrar of the Land Registration District of Wellington witnesseth that Thomas Gurney Philpot of Wanganui Grocer

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written or indorsed hereon, subject also to any existing rights of the Crown to take and lay off roads under the provisions of any Act of the General Assembly of New Zealand) in the land hereinafter described, as the same is delineated by the plan hereon bordered red, be the several admeasurements a little more or less, that is to say: All that parcel of land containing five acres and thirty six perches Being Lot 3 on Deposited Plan No. 2181 part Section 228 Right bank Wanganui River



Edwin Bayly
District Land Registrar

Transfer 110667 produced 16 November 1917 at
Thomas Gurney Philpot to Leslie Withers of
Wanganui Labourer

Mortgage 112039 produced 27 May 1918 at 11 am
Leslie Withers to Phillip Snowden Taylor.

Transfer 132389 produced 9th March 1920 at 11 am
Leslie Withers to John Edward Fothergill of
Wanganui Painter

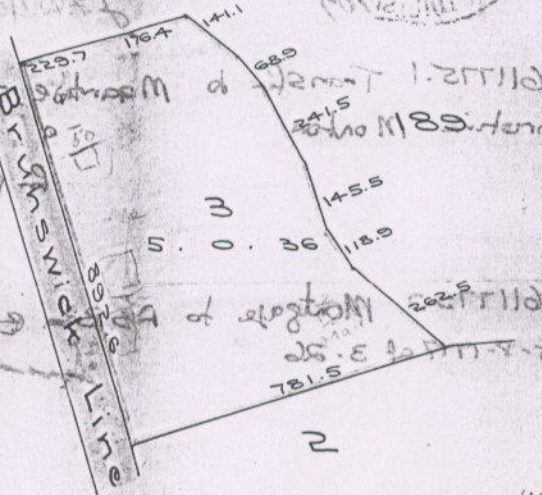
Mortgage 131001 produced 9th March 1921 at 11 am
John Edward Fothergill to The Wanganui
Trust Company Limited

Mortgage 131963 produced 9th March 1921 at 11 am
John Edward Fothergill to Leslie Withers.

Mortgage 133685 produced 8th June 1921 at 10 am
John Edward Fothergill to The Trustees of a
Branch or Court of Executors known as the Court of
Richmond

Mortgage 133606 produced 11th June 1921 at 10 am
John Edward Fothergill to Leslie Withers.

Richmond



Scale 3 chains to an inch

Transfer 162 479 produced 15th 18th 1924 at 11:27 am. Coim. Goddard. Fothergill to William Henry Smith Billing of Wanganui. A.L.R.

Mortgage 155 133 produced 19th 20th 1924 at 11:30 am. William Henry Smith Billing. 213-111043 adya. A.L.R.

Discharge of mortgage 13366 produced 10th June 1926 at 11:15 pm. A.L.R.

Transmission 674829 to Lillian Alice Forsythe of Waitotara married woman and Phyllis Audrey Freda Bertie and Kathleen Jean Hood both of Wanganui married women as executrices - 29. 6. 1966 at 2.18 pm. A.L.R.

Transfer 674836 to Raymond Leonard Robottom of Wanganui - 29. 6. 1966 at 2.20 pm. A.L.R.

Mortgage 674837 to Wanganui Budget Accounts Limited - 29. 6. 1966 at 2.21 pm. A.L.R.

Mortgage 674838 to Wanganui Budget Accounts Limited - 29. 6. 1966 at 2.22 pm. A.L.R.

Mortgage 739281 to Luanice Leila Somerville Robottom - 21. 3. 1968 at 12.17 pm. A.L.R.

Mortgage 984714 to Edwin Frederick Rison and Tone McIntyre in shared - 10.7.1973 at 1.32 pm. A.L.R.

Mortgage 984715 to Anvil Finance Corporation (Wanganui) Limited - 10.7.1973 at 1.33 pm. A.L.R.

NO: 984716 Memorandum of Priority making Mortgages 984714, 984715 and 739281, First, Second and Third mortgages respectively - 10.7.1973 at 1.34 pm. A.L.R.

058072.1 Variation of Mortgage 984715 - 6.11.1974 at 10.45 am. A.L.R.

134423.1 Variation of Terms of Mortgage 984714 - 19.11.1975 at 9.57 am. A.L.R.

Transfer 253407.1 Alan Lloyd Cook of Wanganui, Driver and Janice Mary Cook his wife - 12.6.1978 at 11.44 a.m. A.L.R.

Mortgage 253407.2 to ANZ Savings Bank (New Zealand) Limited - 12.6.1978 at 11.44 a.m. A.L.R.

Mortgage 358772.1 to ANZ Banking Group (New Zealand) Limited - 9.5.1980 at 1.40 p.m. A.L.R.

Transfer 414935.4 to William Greenwood of Wanganui, School Teacher and Irene Greenwood his wife - 2.10.1980 at 2.15 p.m. A.L.R.

Mortgage 414935.5 to Wanganui Rangitikei Permanent Building Society - 2.10.1980 at 2.15 p.m. A.L.R.

497434.2 Transfer to Michael Russell Mues Mason of Wanganui horticulturalist and Mary Catherine Mason his wife - 21.6.1982 at 11.28 am. A.L.R.

Transfer 510416.2 to Michael Russell Miles Mason of Wanganui, Horticulturalist and Mary Catherine Mason his wife - 16.8.1982 at 11.39 a.m. A.L.R.

192728 CERTIFICATE OF TITLE, Vol. 1, folio 4, 109. B313426.1 Transfer to Charles Edward Perry of Wanganui Retired and Joyce Margaret Perry his wife produced 8/10/1993 at 12.37 p.m. and entered 27/10/1993. J.F.D. Patterson. A.L.R.

B611775.1 Transfer to Maartse Jeanne Christine Monton R Due. B611775.2 Mortgage to ASB Bank Lmi 8.8.1997 at 3.26 R Due.

RECEIVED WANGANUI DISTRICT COUNCIL

06 JUN 2002

Noting of entries E 210



26 January 2006

**Mrs Maartje Morton
224 Brunswick Rd
R D 1
Wanganui 5021**

Dear Sir or Madam:

Application Number: BC02/21490
Location: 224 Brunswick Rd WANGANUI 5001
Description: To build a new Ideal garage.

Our records show that the inspections required as part of the above building consent have not been completed.

If all the work is now complete on the project, a final inspection will indicate whether the full Code Compliance Certificate (CCC) can be issued. The CCC is an important and valuable document, particularly should you contemplate selling your property.

In addition, until the CCC is issued, your rateable value (formally known as a Government Valuation) will not be adjusted to include your project. You may also find your insurance cover is compromised.

The NZ Building Act requires that a reasonable amount of progress is made on a project or the consent may be considered to have lapsed. Once lapsed you would be required to re-apply for a new building consent to complete the work and be issued with a CCC.

Please contact me within 10 working days of the date of this letter to arrange a suitable time for an inspection.

Yours sincerely

Gina Wroe
Building Support Officer