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R

Title:

MAARTJE MORTON  
224 BRUNSWICK ROAD, WANGANUI  
LOT 3 DP 2187 BLOCK III WESTMERE SD  
CONSTRUCT NEW DOUBLE GARAGE.

Subject:

LAND USE RESOURCE CONSENT.

File No / Vol No:

4/101/2277

Residence:

Date Opened:

16-05-02

Date Closed:

Retain File:

Indefinitely

Or for

Years:

Vital Record:

Destruct Review:

Previous File No:

2

2

4

Codafile™

WANGANUI DISTRICT COUNCIL

PROCESSING SHEET - NON-NOTIFIED RESOURCE CONSENT

TYPE OF APPLICATION (circle one):

- Land Use
- Subdivision
- Discretionary Activity
- Controlled Activity
- Restricted Discretionary Activity
- Non-Complying Activity

App. No 4/101/2277

Applicant's Name: MAARTJE MORTON (64943)

Address for Service: 224 BRUNSWICK ROAD, RD, WANGANUI

Property - Location: 224 BRUNSWICK ROAD, WANGANUI

- Survey Description: LOT 3 DP 2187 BLOCK 111 WESTMERE SD

- Valuation Ref: 1238049400

Proposed Activity: TO CONSTRUCT A DOUBLE GARAGE TOO CLOSE TO THE FRONT BOUNDARY UNDER BOTH THE PROPOSED & TRANSITIONAL WANGANUI DISTRICT PLANS

Other Consents Required: Yes/No

RECEIPT AND INITIAL ASSESSMENT

Date Officially Received: Date 16/5/02 By LOUISE

Acknowledged Receipt: Date ..... By .....

Further Information Required of Applicant (Section 91 & 92): Date ..... By .....

Further Information as requested received: Date ..... By .....

Site Visit: Date ..... By .....

Notification/Non-notification Decision Made: Date ..... By .....

DECISION: (SECTION 104 & 105)

Decision made: Approved/Declined Date 18-7-02 By WDC

Council decision served on Applicant: Date 19-7-02 By .....

APPEALS:

Appeal Period Closes on: Date .....

Appeals Received: Yes/No

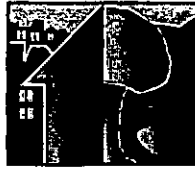
Environment Court Hearing Date: Date .....

Consent Granted by Court: Yes/No

Fees: \$ 115.10 Received Date: ..... Receipt No. ....

RECORDS ENTERED ON REGISTER Date ..... By .....

30 Jun 02



**ENVIRONMENTAL**  
SERVICES

WANGANUI DISTRICT COUNCIL

## Invoice RE3811

GST Registration no. 51-668-324

Debtor

64943  
MRS M J C MORTON  
224 BRUNSWICK RD  
R D 1  
WANGANUI 5021

Invoice Details

Resource Consent to construct a garage too close to the front boundary at 224 Brunswick Road, Wanganui \$118.10

(This invoice includes GST of \$13.12)

Amount now due for payment \$118.10

Please make cheque payable to Wanganui District Council

Environmental Services

Account No. : 64943 MRS M J C MORTON  
Invoice No. : RE3811

Amount now due for payment \$118.10

101 Guyton Street P.O. Box 637 Wanganui New Zealand Phone 06 349 0001 Fax 06 349 0536

● PARKING ● ANIMAL CONTROL ● TOWN PLANNING ● LIQUOR LICENSING ● BUILDING CONTROL ● ENVIRONMENTAL HEALTH

Enhancing the quality of the environment

# Wanganui District Council

Building a better community with the people of the Wanganui District



2

Our Reference: 4/101/2277

If calling contact: Louise Cowan

18 July 2002

Mrs Maartje Morton  
224 Brunswick Road  
RD 1  
WANGANUI

ENTERED

Dear Mrs Morton:

## **Resource Consent: Construction of a garage at 224 Brunswick Road, Wanganui.**

I refer to your resource consent application for the construction of a garage at 224 Brunswick Road, Wanganui. The application was necessary because the location of the proposed garage does not meet the 10 metre set back required from the front boundary in accordance with the Proposed Wanganui District Plan.

The application has been considered as a non-notified application, and the following consent granted.

That pursuant to Sections 9, 105 and 108 of the Resource Management Act 1991, the Wanganui District Council grants its consent to an application for a restricted discretionary activity in accordance with the Proposed Wanganui District Plan to construct a new garage at 224 Brunswick Road, Wanganui being legally described as Lot 3 DP 2187 Block III Westmere SD, subject to the following conditions:

1. The activity shall be in general accordance with the information and plans submitted in support of this proposal.
2. Charges set in accordance with Section 36(1)(c) of the Resource Management Act 1991 shall be paid to the consent authority for the carrying out of its functions in relation to the administration, monitoring and supervision of this resource consent and for the carrying out of its functions under Section 35 of the Act.

Section 36(1)(c) of the Act provides that the Council may from time to time fix charges payable by the holders of resource consents.

After considering Part II of the Resource Management Act 1991, the following are the reasons for this decision:

1. The environmental effects of this proposal will be no more than minor.
2. The proposal is not contrary to the relevant objectives, policies, and other provisions in the Proposed and Transitional Wanganui District Plans.
3. The proposal meets the requirements of the Resource Management Act 1991.
4. All parties whom Council consider to be adversely affected by the application have given their written consent.

Yours faithfully

*Louise Cowan*

**Louise Cowan**  
**Resource Management Planner**

**WANGANUI DISTRICT COUNCIL****RESOURCE CONSENT REPORT**

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**Date:** 18 July 2002

**Subject:** **RESOURCE CONSENT APPLICATION**  
**224 Brunswick Road, Wanganui**

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**File number:** 4/101/2277

**Application Received:** 16 May 2002

**Applicant:** Mrs Maartje Morton

**Legal Description:** Lot 3 DP 2187 Block III Westmere SD

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**1.0 INTRODUCTION**

An application for land use consent has been received from Mrs Maartje Morton to construct a new garage, measuring 6m x 6m to close to the front boundary at 224 Brunswick Road, Wanganui.

The application is necessary because the proposed garage fails to comply with the 10 metre minimum yard requirements set out at Rule 20.5.7 of the Proposed Wanganui District Plan. The plans provided with the application indicate that the proposed garage will be located 6.0 metres from the front boundary.

**2.0 DISTRICT PLAN**

Section 19 of the Resource Management Act 1991 allows the Council to treat those aspects of the Proposed Wanganui District Plan that are not under appeal as if they were operative.

Proposed Wanganui District Plan

The site is zoned **Rural** under this plan. The activity is considered to fit within the definition of a residential activity as defined in Chapter 28 of the Plan. Rule 20.4 lists residential activities as being permitted within the rural zone provided that the activity complies with the relevant terms and conditions of this zone.

An assessment of this application determined that the activity does not comply with the distance to front yard requirement of the Proposed Wanganui District Plan. The activity is considered to be a **restricted discretionary** activity in accordance with Rule 20.7.1 of the Proposed Wanganui District Plan.

#### Transitional Wanganui District Plan

The site is zoned **Rural B** in the Transitional Wanganui District Plan. Residential Activities are a permitted use within this zone provided that the performance standards are met. The proposal complies with all of the relevant standards in this zone.

The activity is therefore considered to be a **permitted** activity in accordance with the requirements of the Transitional Wanganui District Plan.

### 3.0 EFFECTS ASSESSMENT

#### Affected Persons

The written approval of the persons listed in the following table has been obtained. In accordance with section 104 (6) of the Act, where written approval has been obtained from affected parties, the consent authority cannot have regard to the effect of the activity on that person.

Persons	Owner Y/N	Occupier Y/N	Address:	Consent Obtained
Bronwyn and Wayne Gadsby	Yes	Yes	229 Brunswick Road, Wanganui.	2-05-02
Edith Batchelor	Yes	Yes	210 Brinswick Road, Wanganui.	13-04-02
R Owens	Yes	Yes	215 Brunswick Road	13-04-02

#### Effects on the Environment

The following effects assessment only takes into account the effects of the proposal that are relevant under s104 (6). The Courts have determined that the effects of an activity on the environment should be considered in relation to the existing environment. The following assessment of the actual and potential effects of the proposal on the environment has been prepared on the basis that the environment consists of residential dwellings and accessory buildings used in conjunction with rural activities.

Any actual or potential adverse effects on the environment of allowing the activity are considered to be less than minor i.e. "*de minimus*" for the following reasons:

- (i) The garage will be associated with an existing, permitted dwelling unit, and consequently will not appear out of character with the surrounding environment.

- (ii) The land on which the proposed accessory building is to be located is not used for food production and consequently the proposal will have no effect on the productive potential of the site.
- (iii) The effects of the proposed development will not differ appreciably from the effects of a fully complying development.

#### 4.0 RESOURCE MANAGEMENT ACT 1991

Under the Resource Management Act 1991 this Land Use consent application must be considered as a restricted discretionary activity.

In terms of Section 104 of the Act, when considering an application for resource consent and any submission received, the consent authority shall have regard to Part II of the Act, and;

- Any actual and potential effects on the environment of allowing the activity, and
- Any relevant regulations; and
- Any relevant objectives, policies, rules or other provisions of a plan or proposed plan; and
- Any other matters the consent authority considers relevant and reasonably necessary to determine the application.
- When considering an application for resource consent, a consent authority must not have regard to trade competition.

In accordance with Section 104 and 105 of the Act, and subject to Part II of the Act, the Council must consider the effects of the proposal and have regard to any relevant objectives, policies and other provisions in the Transitional and Proposed Wanganui District Plans.

I believe that any effects of this proposal on the environment will be minor. The consent of the adversely affected parties, in terms of the location rule, has been obtained. The adverse effect of constructing the proposed garage within the 10 metre yard space required under the Proposed District Plan is therefore in my view minor.

The objectives and policies within the Proposed Wanganui District Plan relevant to this application seek to define a rural area where the following characteristics are maintained:

1. Choice and diversity for different lifestyle options.
2. A range of complementary activities where the effects are compatible with the predominantly rural character, scale and amenities of the area.
3. Open, low density development, with relatively few structures and signs, which do not detract from rural landscapes.

The proposed garage will be associated with an existing, permitted dwelling unit. The design and appearance of the structure will not be significantly different from development which currently exists on the site, nor will the scale of the activity be of

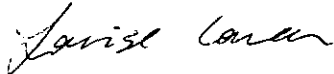
such a proportion that it will detract from the amenities of the surrounding environment.

The application is not considered to be contrary to the objectives and policies of the Proposed and Transitional Wanganui District Plans. There are no other matters that are relevant to the application.

The presumption of the Resource Management Act 1991 is that applications for resource consent will be notified, unless the special provisions of Section 94 apply. In terms of this application for resource consent for a discretionary activity, Section 94 (2) applies. It is my view that this application meets the requirement of both limbs of this 94 (2), in that the adverse effects on the environment of the proposed activity will be minor and the consent of the potentially affected parties has been obtained.

#### **Section 94 Recommendation**

That for the reasons concluded above, this application is processed without notice pursuant to Section 94 of the Act.



Louise Cowan  
**Resource Management Planner**

That the recommendation above be adopted under delegated authority.



Shane McGhie  
**Senior Resource Management Planner**

#### **5.0 CONCLUSION**

The proposed Land Use Consent application meets the requirements of the Proposed and Transitional Wanganui District Plans and the Resource Management Act 1991, and is recommended for approval.

#### **6.0 RECOMMENDATION**

That pursuant to Sections 9, 105 and 108 of the Resource Management Act 1991, the Wanganui District Council grants its consent to an application for a restricted discretionary activity in accordance with the Proposed Wanganui District Plan to construct a new garage at 224 Brunswick Road, Wanganui being legally described as Lot 3 DP 2187 Block III Westmere SD, subject to the following conditions:

1. The activity shall be in general accordance with the information and plans submitted in support of this proposal.

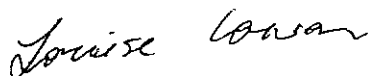
2. Charges set in accordance with Section 36(1)(c) of the Resource Management Act 1991 shall be paid to the consent authority for the carrying out of its functions in relation to the administration, monitoring and supervision of this resource consent and for the carrying out of its functions under Section 35 of the Act.

Section 36(1)(c) of the Act provides that the Council may from time to time fix charges payable by the holders of resource consents.

After considering Part II of the Resource Management Act 1991, the following are the reasons for this decision:

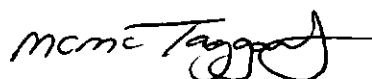
1. The environmental effects of this proposal will be no more than minor.
2. The proposal is not contrary to the relevant objectives, policies and other provisions in the proposed and transitional Wanganui District Plans.
3. The proposal meets the requirements of the Resource Management Act 1991.
4. All parties Council consider to be adversely affected by the application have given their written consent.

Report written by:



Louise Cowan  
**Resource Management Planner**

Reviewed by:

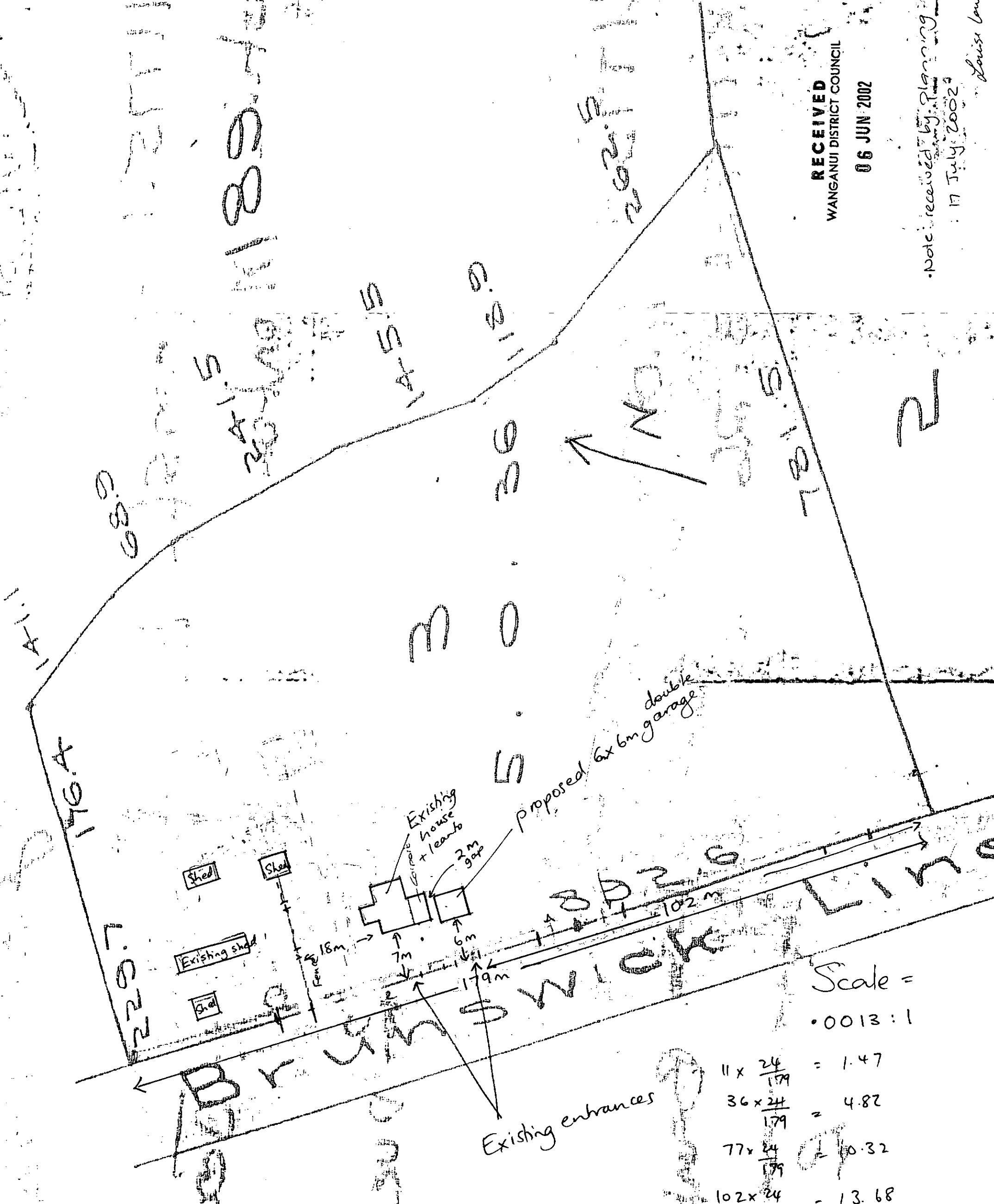


Melanie McTaggart  
**Resource Management Planner**

RECEIVED  
WANGANUI DISTRICT COUNCIL

06 JUN 2002

Note received by Planning  
17 July 2002  
Louise Lowman



MORTON  
PROPOSED DOUBLE  
GARAGE

Scale =  
• 0013 : 1

- $11 \times \frac{24}{179} = 1.47$
- $36 \times \frac{24}{179} = 4.82$
- $77 \times \frac{24}{179} = 10.32$
- $102 \times \frac{24}{179} = 13.68$
- $7 \times \frac{24}{179} = 0.94$
- $6 \times \frac{24}{179} = 0.8$
- $18 \times \frac{24}{179} = 2.41$
- $2 \times \frac{24}{179} = 0.27$

ENTERED

Form 5  
Reg 8

RESOURCE MANAGEMENT ACT 1991  
APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88  
(LAND USE CONSENT/COASTAL PERMIT)

To: Wanganui District Council.

RECEIVED  
WANGANUI DISTRICT COUNCIL

I, Maartje J. C. Morton  
apply for the resource consent(s) described below:

18 MAY 2002

- The names and addresses of the owner and occupier (other than the applicant) of any land to which the application relates are as follows:  
Peter Morton
- The location to which this application relates is:  
Lot 3 DP 2187 224 Brunswick Road RD  
Block 111 Westmeir SD WANGANUI
- The type of resource consent(s) sought is/are:  
Land Use consent.
- A description of the activity to which the application relates is:  
Construction of a double garage less than 10 metres from the road boundary.
- The following additional resource consents are required in relation to this proposal and have or have not been applied for:  
.....
- I attach an assessment of any effects that the proposed activity may have on the environment in accordance with the Fourth Schedule of the Act.
- I attach other information (if any) required to be included in the application by the district or regional plan or regulations.
- I attach information in accordance with Section 88(7) of the Act to show the area proposed to be reclaimed, including its size and location, and the proportion of the area (if any) to be set apart as an esplanade reserve.

Address for service of applicant:

224 Brunswick Road  
RD WANGANUI  
Telephone No. 06 343 6588  
Facsimile No. 06 343 6590

Maartje Morton  
Signature  
(of applicant or person authorised to sign on behalf of applicant).

1 May 2002  
Date

Annexures

- An assessment of the effects on the environment in accordance with the Fourth Schedule to the Act.
- Any other information required by the district plan or regional plan or Act or regulations to be included.
- Other information in accordance with Section 88(7) of the Act.

Resource Management Act 1991  
**CONSENT OF AFFECTED PERSONS**  
(In Relation to a Resource Consent Application - Land Use)

Name of Affected Party: R. OWENS

Address of Affected Party: 215 BRUNSWICK R.D.I.

**RECEIVED**  
WANGANUI DISTRICT COUNCIL

Telephone: 343 8903

**16 MAY 2002**

Fax: N/A

**TO THE WANGANUI DISTRICT COUNCIL**

I/We, being the owner/owners of the property situated at the above address have no objection to the activity of (description of proposed activity) DOUBLE GARAGE

proposed by (name of person/persons proposing the activity) Maartje Morton

on the property being, 224 Brunswick Road RD Wanganui  
(address of site of application)

providing the activity is undertaken in accordance with the details in the attached application form, site plan and additional information.

I/We also acknowledge that in granting this approval the Council shall take no account of the effect of the activity on my/our property when considering the application.

Signed: 

Name R. J. OWENS  
(Please print)

Date: 13.4.2002

Signed: N/A

Name ..  
(Please print)

Date: ..

**(All owners must sign this form)**

**ADVICE TO AFFECTED PERSONS**

The Wanganui District Council recommends that any persons requested to sign this form should clearly identify the effect of the request upon their property before signing. It is also suggested that a copy of the application form and any site plan should be attached to this form and signed and dated in a clear place.

If any aspect of the proposed application is of concern, this should be discussed and resolved with the applicant prior to signing this form.

If any further explanation of your rights is required, please contact the Senior Planner, Environmental Services, Wanganui District Council, Guyton St, Phone (06) 3490001.

Resource Management Act 1991  
**CONSENT OF AFFECTED PERSONS**  
(In Relation to a Resource Consent Application - Land Use)

Name of Affected Party: E. M. Batchelor

Address of Affected Party: 210 Brunswick Rd

101 Rd Wanganui

Telephone: 3637522

Fax: .....

**RECEIVED**  
WANGANUI DISTRICT COUNCIL

16 MAY 2002

**TO THE WANGANUI DISTRICT COUNCIL**

I/~~We~~, being the owner/~~owners~~ of the property situated at the above address have no objection to the activity of (description of proposed activity) E. M. Batchelor

proposed by (name of person/persons proposing the activity) .....

M. J. Morton

on the property being, .....  
(address of site of application)

providing the activity is undertaken in accordance with the details in the attached application form, site plan and additional information.

I/We also acknowledge that in granting this approval the Council shall take no account of the effect of the activity on my/our property when considering the application.

Signed: E. M. Batchelor

Name  
(Please print)

EDITH MAY BATCHELOR

Date:

13-4-2002

Signed: .....

Name  
(Please print)

Date: .....

(All owners must sign this form)

**ADVICE TO AFFECTED PERSONS**

The Wanganui District Council recommends that any persons requested to sign this form should clearly identify the effect of the request upon their property before signing. It is also suggested that a copy of the application form and any site plan should be attached to this form and signed and dated in a clear place.

If any aspect of the proposed application is of concern, this should be discussed and resolved with the applicant prior to signing this form.

If any further explanation of your rights is required, please contact the Senior Planner, Environmental Services, Wanganui District Council, Guyton St, Phone (06) 3490001.

**CONSENT OF AFFECTED PERSONS**

(In Relation to a Resource Consent Application - Land Use)

Name of Affected Party: Bronwynne & Wayne Gadsby

Address of Affected Party: Rural No 229

RDI

Telephone: Brunswick Rd Wanganui

Fax: 06 3439550

**RECEIVED**

WANGANUI DISTRICT COUNCIL

**16 MAY 2002**

**TO THE WANGANUI DISTRICT COUNCIL**

We, being the owner/owners of the property situated at the above address have no objection to the activity of (description of proposed activity) Erection of double

garage

proposed by (name of person/persons proposing the activity) Maartje Mark

on the property being, 224 Brunswick Road RD  
(address of site of application) Wanganui

providing the activity is undertaken in accordance with the details in the attached application form, site plan and additional information.

We also acknowledge that in granting this approval the Council shall take no account of the effect of the activity on my/our property when considering the application.

Signed: [Signature]

Name (Please print) \_\_\_\_\_

Date: 2.5.02

Signed: \_\_\_\_\_

Name (Please print) \_\_\_\_\_  
Date: \_\_\_\_\_

**(All owners must sign this form)**

**ADVICE TO AFFECTED PERSONS**

The Wanganui District Council recommends that any persons requested to sign this form should clearly identify the effect of the request upon their property before signing. It is also suggested that a copy of the application form and any site plan should be attached to this form and signed and dated in a clear place.

If any aspect of the proposed application is of concern, this should be discussed and resolved with the applicant prior to signing this form.

If any further explanation of your rights is required, please contact the Senior Planner, Environmental Services, Wanganui District Council, Guyton St, Phone (06) 3490001.

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**ENVIRONMENTAL**  
SERVICES  
WANGANUI DISTRICT COUNCIL

Contact: Louise Cowan

16 May 2002

Mrs M Morton  
224 Brunswick Road  
RD  
WANGANUI

Dear Madam:

**RESOURCE CONSENT: CONSTRUCTION OF A DOUBLE GARAGE CLOSE TO THE FRONT BOUNDARY AT 224 BRUNSWICK ROAD, WANGANUI.**

Thank you for your Resource consent application to construct a double garage 4 metres from the front boundary at 224 Brunswick Road, Wanganui, which was received by the Wanganui District Council on 16 May 2002.

Following a conversation with you at the counter on Monday 13 May 2002 and discussion with the Senior Resource Consents Planner, it has been decided that the pen drawing you have provided is not a sufficient site plan.

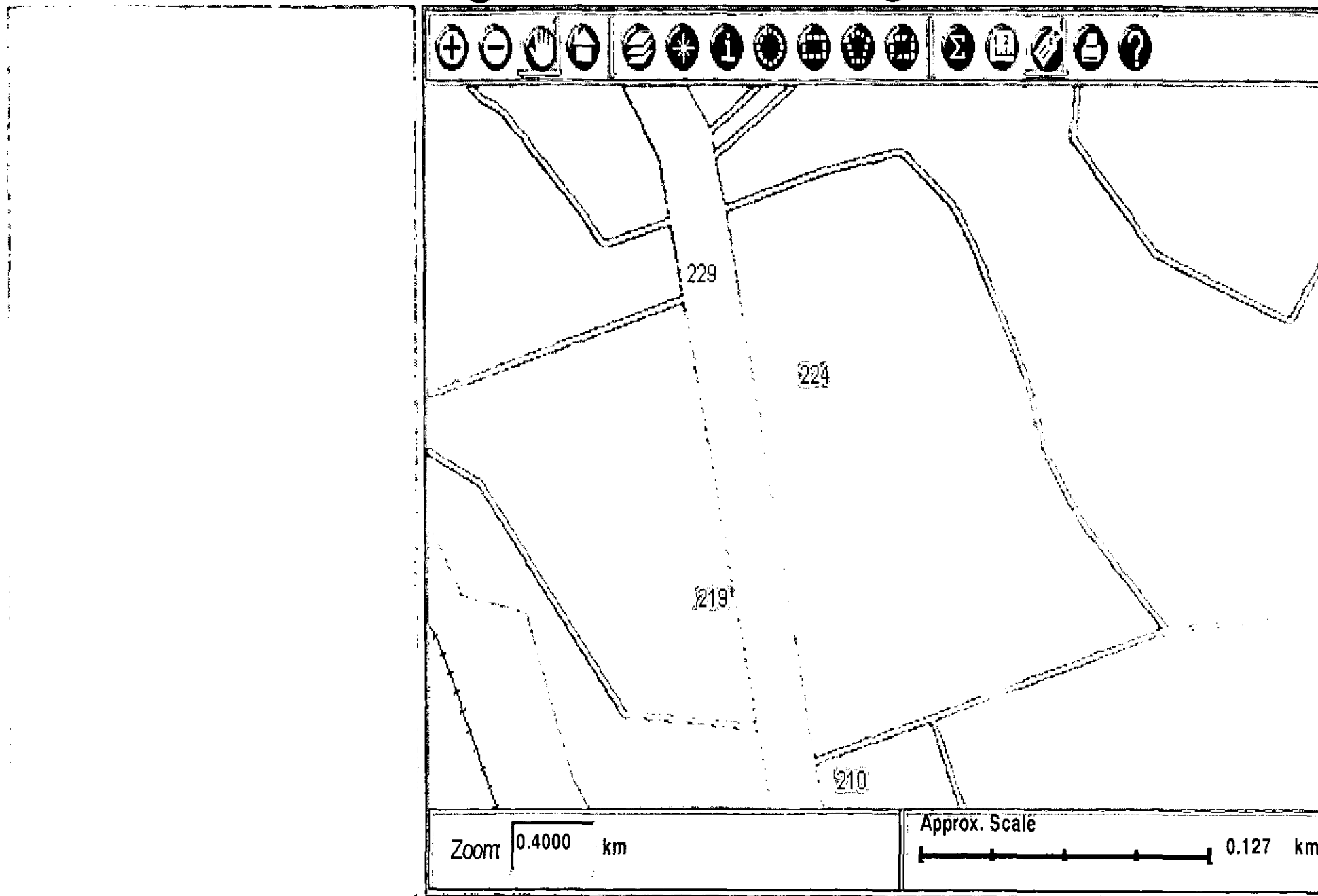
You will need to provide a scale site plan showing the existing buildings, the proposed buildings, the access ways, distances to boundaries, road frontage, and a north point. A copy of a current certificate of title would also be helpful. Your application is to be placed on hold under Section 92 of the Resource Management Act 1991 until the site plan is received.

We apologise for any inconvenience to you in determining exactly what was required. It is of great assistance to us if a complete scale site plan is provided. Scale site plans assist in the determination of your application. They also allow for any future changes to the property to be recorded on an accurate and detailed site plan. Copies of this plan can also be kept in the plan packet relating to this property so that they are available for future reference.

If you require any further information, or wish to discuss this letter in more detail, please do not hesitate to contact me at the Wanganui District Council.

Yours faithfully

Louise Cowan  
Resource Management Planner



10 3 MAY 2002



# APPLICATION for P.I.M/Building Consent

This application is for a: (tick the appropriate box)

- Project Information Memorandum - PIM (preliminary application for a Building Consent)
- Building Consent
- Alteration to Approved Plan

BC# 21490

(A) Owner 64943  
 Name: M. J. C. Morton  
 Mailing Address: 224 Brunsvick Road RD  
 Phone: 06 343 6588 Fax: .....

(B) Designer  
 Name: Ideal Carages  
 Mailing Address: PO Box 5108, Wanganui  
 Phone: 06 343 5007 Fax: .....

(C) Builder  
 Name: I. Bloor  
 Mailing Address: 5 Burt's Road  
 Phone: 345 3157 Fax: .....

(D) Craftsman Plumber .....

(E) Registered Drainlayer .....

CONTACT PERSON i.e. (A) B C D E (Circle one)

Project  
 Description of PROJECT and USE: Double Garage

Project Location  
 Street Address/Rural No: 224 Brunsvick Rd

Durable Life of Project (i.e. 5, 15, 50+ years)  
 50yrs

Value of Project Work  
 (include all labour & materials)

- X \$ 5500-6000 (Incl. GST)
- X Consent Fees to be paid by? Owner 64943

Code Compliance Certificate to be sent to? .....

FLOOR AREA OF PROJECT  
 New Residential Dwellings or  
 New Commercial Only ..... m<sup>2</sup>

LEGAL DESCRIPTION  
 WDC Property No. 17247  
 Valuation Roll No. 1288 049 400  
 Lot(s) 3 DP 2187  
 Section ..... Block 111  
 Survey District Westmere

Signed by (on behalf of) the applicant  
 Signature: *M. J. C. Morton*  
 Owner, builder, plumber, designer, agent  
 (circle one)

Date: 10/4/02

FEES APPLICABLE (office use only)	
Building Consent Application	\$ 100-00
Building Consent Issue	\$ .....
P.I.M	\$ .....
Non-notified Appl. Fee	\$ .....
Prepaid Crossing	\$ .....
Prepaid Sewer Connection	\$ .....
Prepaid Water Connection	\$ .....
Stormwater Connection	\$ .....
BIA Levy	\$ .....
Additional Charges	\$ .....
<b>Total Fees (Incl. G.S.T)</b>	<b>\$ 100.00</b>

PTO

The information will be included in a Public Register of Consents issued which is available for public perusal under the Privacy Act 1993, section 54. This may result in receipt by the Owner of trade advertising.

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# Development Checksheet

## Residential

Property Address: 224 Brunswick Road.

Project: New garage.

Site Area:

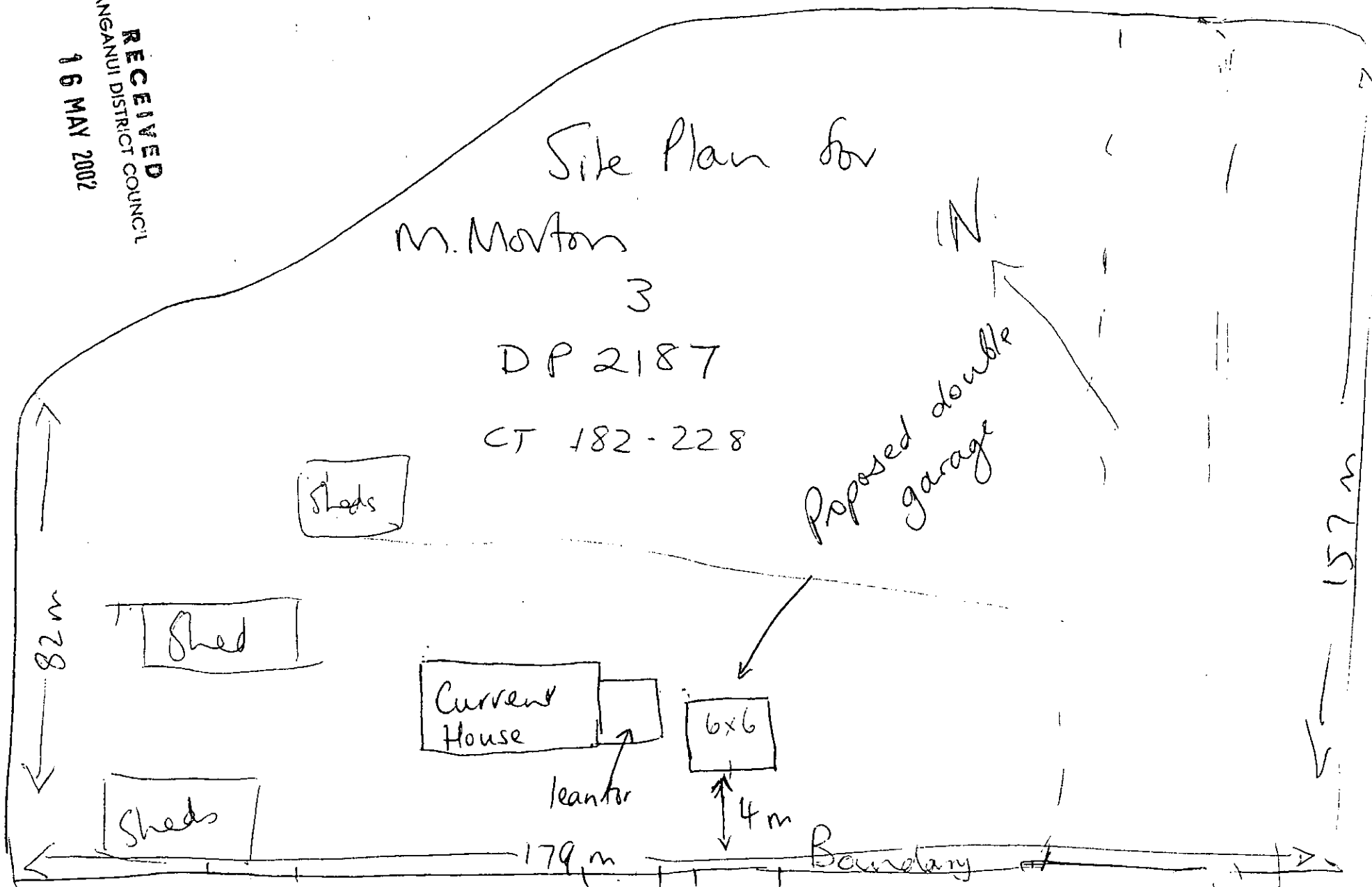
	Rural B Operative Plan			Rural Proposed Plan		
Rule	Required	Provided	O.K.	Required	Provided	O.K.
Coverage						
Maximum Height	3m + horizontal 7m	3m	✓	10m	3m	✓
9m x 9m Triangle						
Front Boundary	6m	4m	x	10m	4m	x
Side Boundary	3m			10m		
Side Boundary	3m			10m		
Rear Boundary	6m			10m		
Separation of Units						
Outdoor Living						
Storage						
Parking						
Access						
Dimensions/ Easements						

Comments: requires resource consent.

Levise 16/5/02

RECEIVED  
WANGANUI DISTRICT COUNCIL  
16 MAY 2002

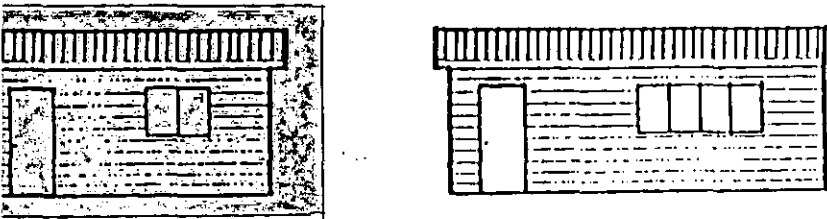
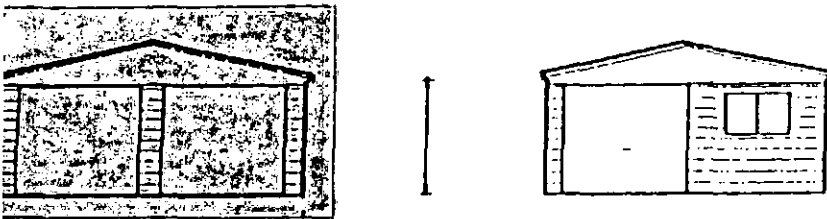
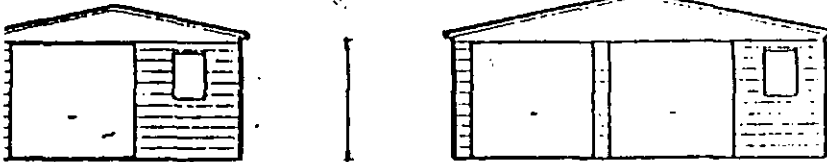
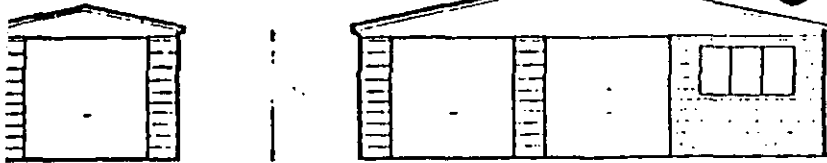
Site Plan for  
M. Morton  
3  
DP 2187  
CT 182-228



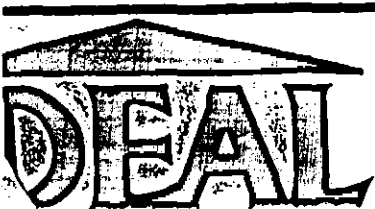
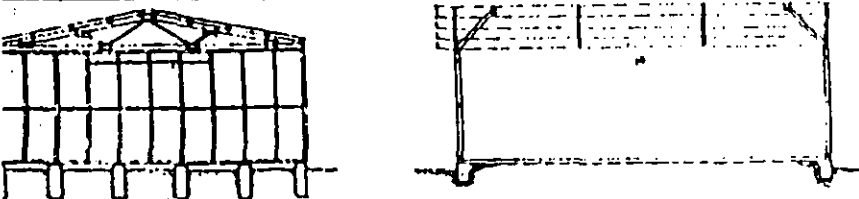
Brunswick Road,

Cran verge

**TYPICAL ELEVATIONS**



**TYPICAL CROSS-SECTIONS**

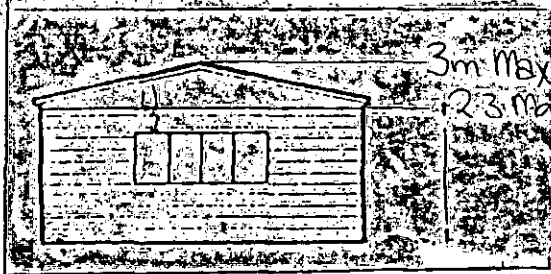
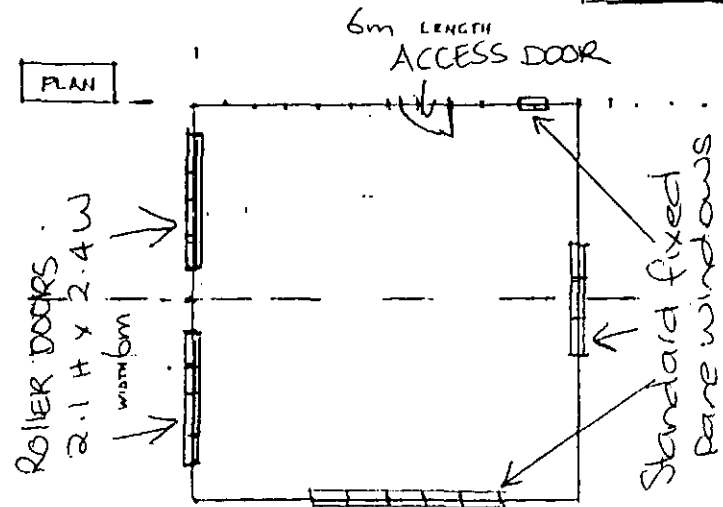


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 24 Gibson Street, Wanganui  
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16 MAY 2002

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 WANGANUI DISTRICT COUNCIL

**PLAN**



**SPECIFICATIONS**

- FOUNDATIONS**
- ~~240mm x 200mm Concrete piles @ 1200mm max. crs.~~
  - ~~125mm x 125mm H5 Square piles @ 1200mm max. crs.~~
  - Concrete slab w/ footings & mesh reinf.
  - Other (specify)
- FRAMING**
- PLATES** - 100mm x 50mm H1 Pinus rad. 150mm clear of ground.
- STUDS** - 100mm x 50mm H1 Pinus rad. @ 600mm crs.
- NOGS** - 100mm x 50mm H1 Pinus rad. 1 row / 2 rows
- PURLINS** - 100mm x 50mm H1 Pinus rad. on edge.  
 Checked 25mm over truss cords. Installed @ 750mm max crs.
- ROOF TRUSSES**  
 PRYDA nail plate trusses (ref. A2962)  
 by IDEAL GARAGES LTD. Installed @ 2400mm maximum centres
- CLADDING**
- ROOF** - ~~1/2 BMT Galvanised steel/ Colorsteel G II Corrugated profile/ Troline profile~~
- WALLS** - ~~1/2 BMT Galvanised steel/ Colorsteel G II Traditional 100mm v/b. Superceded w/b Troline vertical profile.~~

# Setting Out Concrete Floor Boxing

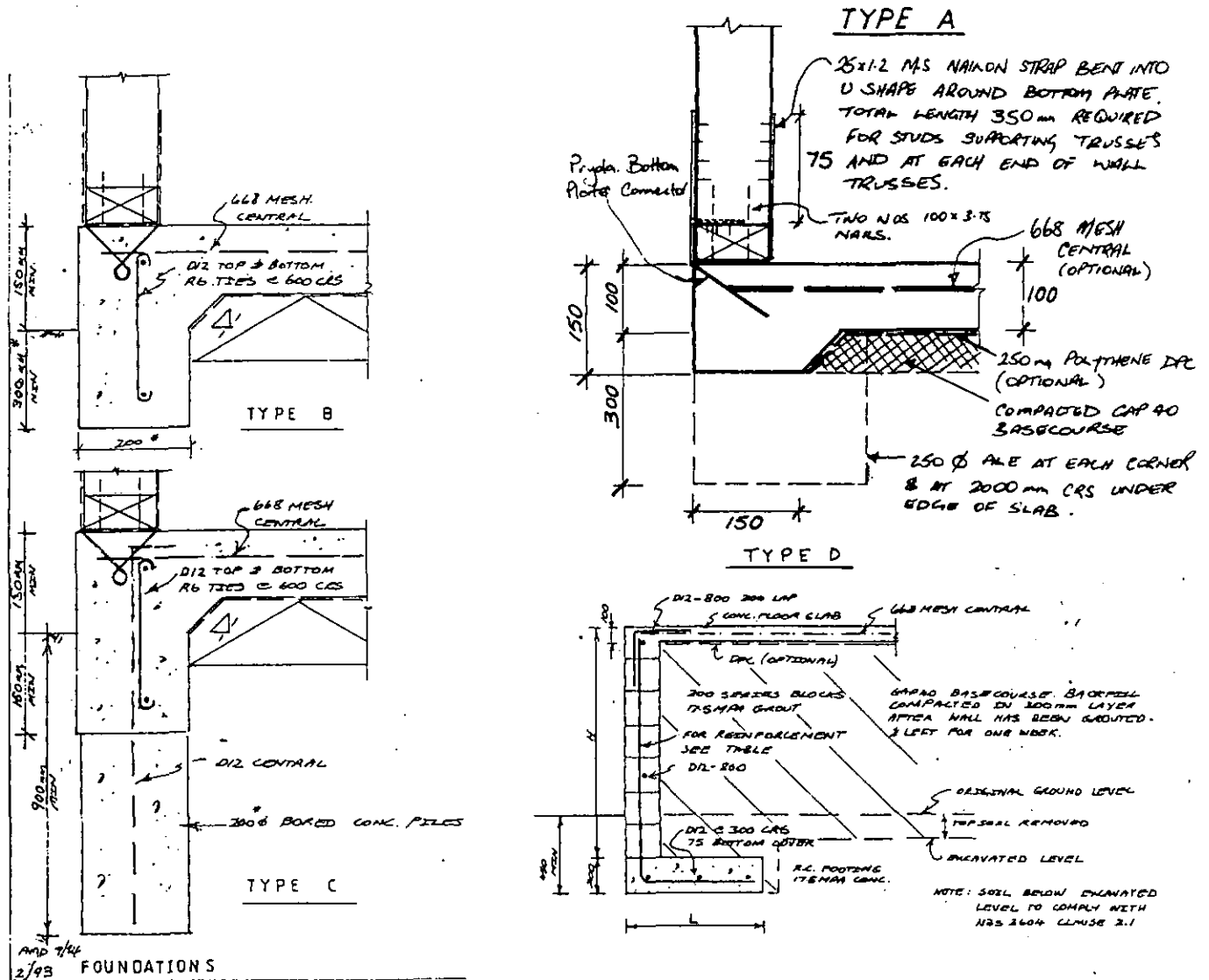
To erect a concrete floor for a garage ensure that you have an approved foundation design stamped by council authority.

Define your foundation type ie: A B, C etc or your own design, please note the footing depth and relative F.F.L finished floor height required above existing ground level.

Note usually minimum 150mm Garage floor

usually minimum 225mm Habitable floor eg House, Granny Flat.

Please note examples of footing designs below standard Ideal designs.



As you see above depending on the geographical location of the building site and composition of the building base ie soil, clay, fill, -local council may require a more substantial footing design.

Designs range from type A through to type C ie Type C is for less stable building sites ;Type D is designed for retaining purposes.

## Setting Out Concrete Floor....Continued

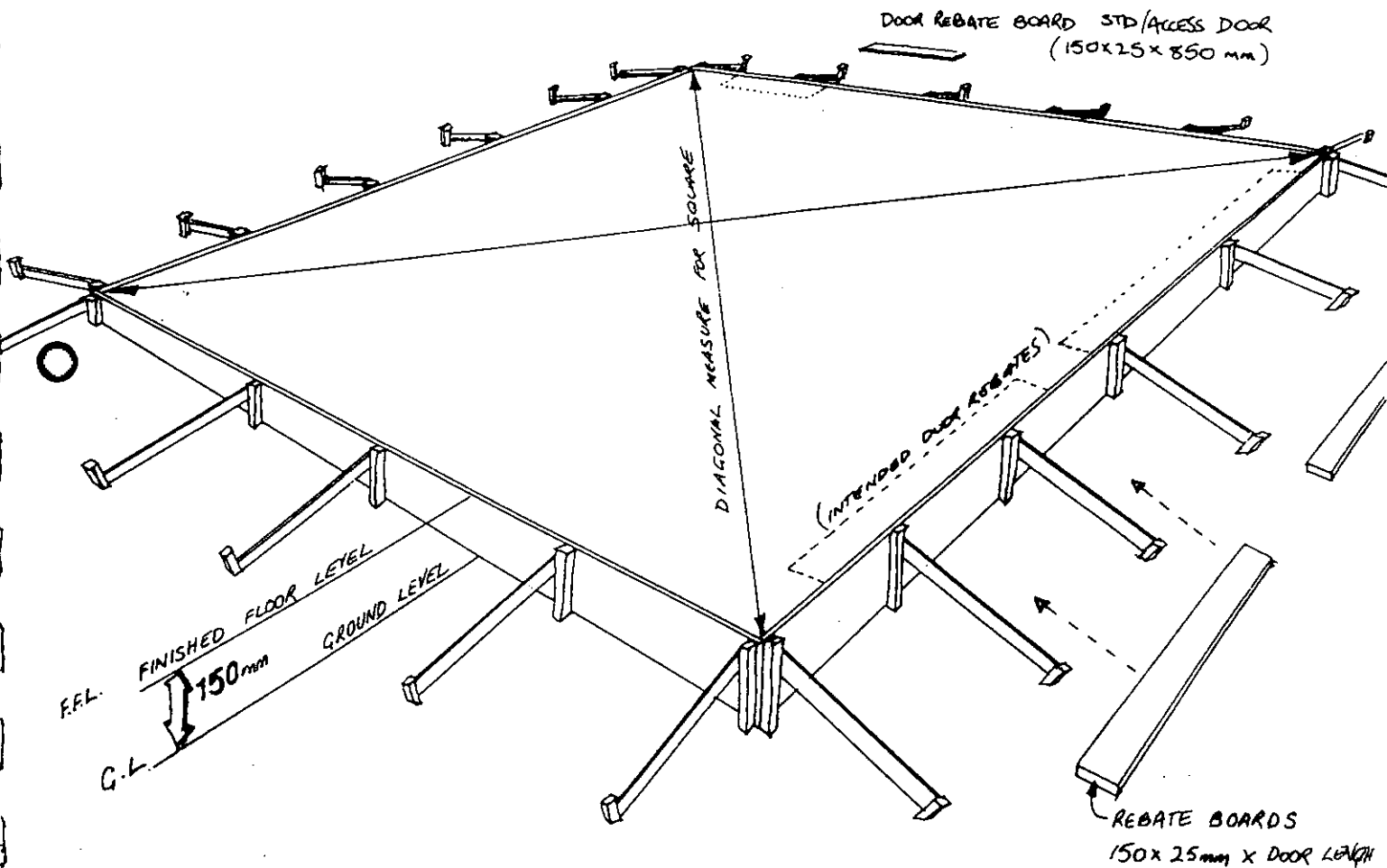
For a standard type A footing design which is predominately used by Ideal buildings; this design requires the Finished Floor Level (F.F.L) to be 150mm above existing ground level G.L. Thus boxing should be set out accordingly, profile timbers should first be erected to define the dimensions of the floor and relative positioning.

Placement of boxing should be fixed to pegs driven into the ground. Ensure that the boxing is plumb and that the overall dimensions are square. If your site is out of level and the boxing is over 150mm in height ensure that you have adequate support bracing the boxing.

Important Please check that the top of the boxing is level in relation to each side ie front wall level = side walls & back walls.

Measure the diagonal dimensions of the boxing to ensure the floor will be square, both measurements from each diagonal should be the same.

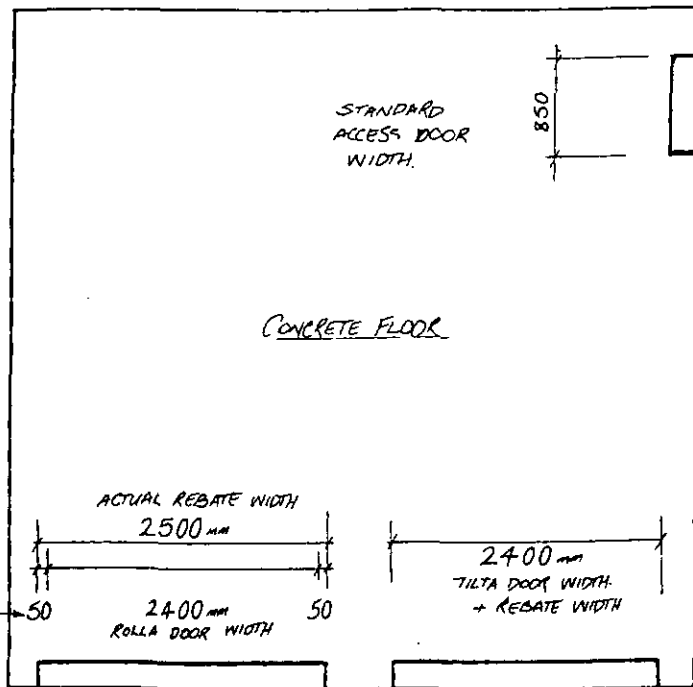
Please read Door Rebates -(Important)



## Door Rebates

If your building has a Rolla Door, Tilta Door or an Access Door you will be required to insert a 150mm x 25mm Recess into the concrete floor. The rebate is required for weatherproofing.

Please note there are different rebate lengths for Rolla Doors compared to an Access door & Tilta door rebate. Read below to determine set out length!



Note 50mm  
Added to Both  
sides of Door  
Owing to  
accommodate  
Curtain Track (Rolla Door)

*Example Only*

Rebate Lengths for Tilta Doors & Access Doors are the same length as the Door.

### Important Note .....Rolla Door Rebate Lengths.

The Length of Door rebate = the length of the door ie (say a standard door width 2400mm)

Add 50mm to each side of the rebate to accommodate the curtain track on each side of the Rolla Door. Note the total overall rebate length will now become 2500mm.