



WAIMAKARIRI
DISTRICT COUNCIL

215 High Street
Private Bag 1005
RANGIORA 8254
New Zealand

Phone: (03) 313 6136
or: (03) 327 6834
Fax: (03) 313 4432

Building Consent

Website: www.waimakariri.govt.nz

Section 35, Building Act 1991

Application

HENDRICKUS & LEIGH KOBUSSEN	No.	041096
43A CRIDLAND STREET	Issue date	26/01/05
KAIAPOI 8252	Application date	26/01/05

Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages NEW DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$265,000
Location	32 ALLISON CRES
Legal Description	Lot 186 R015451 DP 342273
Valuation No.	21611222 220332

Builder: OWNER
Designer: WAYNE WORRALL 62A CASS STREET KAIAPOI : 3277733
Drainlayer: MARK HAYES : 3555630
Plumber: WAYNE NUTTALL GOVERNORS BAY ROAD LYTTELTON : 3299663

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	1,617.50
Building Research Levy	\$	265.00
Dept of Building & Housing Levy	\$	172.25
Total	\$	2,054.75

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent.

THIS IS A VALUABLE DOCUMENT AND SHOULD BE KEPT IN A SAFE PLACE. YOU MAY WISH TO PRODUCE THIS CONSENT WHEN YOU DECIDE TO SELL THE PROPERTY.

Signed for and on behalf of the Council:

Name:

SLM/ndoe

Date: 26.1.05

1. This consent is issued subject to the attached Building Inspection Works Schedule:
2. Please note that the consent fees allow for a single inspection of construction stages of the project as specified in the inspection schedule. Any extra inspections required will be invoiced before a code compliance certificate is issued.
3. Please note that any deviation from the approved documents is subject to a new Building Consent.
4. Completion inspection required prior to issue of an interim or final Code Compliance Certificate. Please make application for inspection on the appropriate form.
5. Any special conditions of consent endorsed on the Building Consent and/or documents **MUST** be drawn to the attention of the subcontractors.
6. The duplicate copy of the approved consent documents and inspection schedule are to remain on site during construction
7. All electrical work associated with this consent is subject to compliance with the requirements of the Electricity Act 1968.
8. Plumbing and/or drainage tradespersons should be on site during inspections.
9. **24 HOURS NOTICE MUST BE GIVEN:** - Prior to pouring ANY concrete - Prior to laying ANY floor - Prior to fixing ANY wall or ceiling lining - On completion of the building Provision must be made to allow the building inspector access.
10. All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.
11. **STORMWATER & FOULWATER DRAINS** must be installed by a **LICENCED DRAINLAYER** and inspected **PRIOR** to backfilling, **AND** when the works are **COMPLETED**. One working days notice required before **COVERING UP**.

REFERRAL FORM

Client N°

2004-8843

TA:

041096

PIM prev. issued N°

INFORMATION TO COME & COMMENTS		CONSENT TYPE	
		PIM ONLY	
		FAST TRACK - P&D only	
		FAST TRACK - Nil return	
		MINOR WORKS with PIM	
		MAJOR WORKS with PIM	

N° of Inspections

8

PROCESS REQUIRED		Initial & Date When Complete	
	VETTING WITH CLIENT		STANDARD CONDITIONS: 00, 01, 02, 05, 08, 12, 19, 22, 28, 33, 35
	PRE PROCESSING Site Inspection		PRODUCER STATEMENTS:
	LOG IN / ADMIN. PROCEDURES		Truss Certificate a layout.
	B1 - PROCESS	C.D.ym 25/1/05	
	PDI - PROCESS		SPECIAL CONDITIONS:
	EHO - PROCESS		
	FIRE REVIEW		
	STRUCTURAL REVIEW		
	LOG FIRE		
	PEER REVIEW/ Other		
	Other		
	VALIDATION	25/1/05	PIM Requirements
			PIM Requirements
	ISSUE		



**WAIMAKARIRI
DISTRICT COUNCIL**

215 High Street, Private Bag 1005, Rangiora
Tel. 03 313 6136
Fax. 03 313 4432

CONSENT NO:

BC041096

DATE STAMP

RECEIVED

12 AUG 2004

**APPLICATION FOR A BUILDING CONSENT
NON COMMERCIAL PROJECTS**

Section 33, Building Act 1991

(Please attach all relevant documents in triplicate)

2004-8843

1. OWNER

Name: Hendrikus & Leigh Kobussen

Postal Address: 43A Cridland Street

Kaipoi

Phone No.: 327-7219

Fax No: _____

2. AGENT (Owner's Representative)

Contact Name: _____

Postal Address: _____

Phone No.: _____

Fax No: _____

ACCOUNT TO:

OWNER ☒

AGENT ☐

3. PROJECT LOCATION (32)

Street Address: Allison Crescent, Moorcraft, Kaipoi

4. LEGAL DESCRIPTION

Valuation Number: 2161122101

Property ID:

OFFICE USE ONLY

Lot(s) Lot 186
(Section) Moorcraft

DP/S
(Block)

Lot Area(s)

700 square metres
hectares

5. PROJECT

5.1

☒ New Building

☐ Alteration

☐ Relocation

☐ Demolition

5.2

Intended Life:

☒ Indefinite but not
less than 50 years

OR specified

as _____ years

5.3 PROJECT (Description of Work) New Building

5.4 INTENDED USE (Use of Building): Residential Home

5.5 FLOOR AREA (New Building Work):

235 m²

5.6 WORK VALUE (GST Inc.) Total Estimated Value: \$ 265,000

6. KEY PERSONNEL

(Give names, addresses, telephone numbers. Give relevant registration numbers (if known))

6.1 Builder: Owner

6.2 Craftsman Plumber: Wayne Nuttall, Governors Bay Road, Lyttelton - 329-9463

6.3 Registered Drainlayer: Mark Hayes, 3555630

6.4 Designer: Wayne Nuttall, 62A Cass Street, Kaipoi 327-7733

☐ Application for Building Consent only, in accordance with Project Information Memorandum No: _____

☐ Application for Building Consent and Project Information Memorandum – please complete 7. PROJECT DETAILS on page 2

PLEASE NOTE: When specified in the Project Information Memorandum vehicle crossings must be cut/installed before any building operations commence. All vehicles must use that crossing. Any damage to the property's frontage will be repaired by the Council and charged directly to the property owners.

Signed by or for and on behalf of the owner

Signature: [Signature]

Name: Leigh Kobussen
(Please Print)

Date: 10/08/04

7. PROJECT DETAILS

- Complete only if you have NOT applied separately for a Project Information Memorandum.

Please tick the matters below applicable to your project and attach relevant information in duplicate.

✓

A.		Location in relation to legal boundaries and external dimensions of new relocated, or altered buildings (site plan with elevations, topography, drawn to scale)
B.		Details of any known or potential erosion, avulsion (rapid removal of soil by water), falling debris, filled ground, subsidence, slippage, alluvium (deposit of soil and sand left by rivers or floods), inundation, hazardous contaminants on or near the site.
C.		Provisions to be made for vehicular access, including parking. (To be shown on site plan)
D.		Do you need a vehicle crossing? (Please ✓ if one needs to be constructed)
E.		Provisions to be made in building over or adjacent to any road or public place.
F.		Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan)
G.		Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
H.		New connections to public utilities, i.e. water supply, stormwater system, wastewater system.
I.		Provisions to be made in any demolition work for the protection of the public suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
J.		Details of any cultural or heritage significance of the building or building site, including whether it is on a marae, or waahi tapu.
K.		Copy or reference to, any resource consent or planning approval for this project.
L.		Details of volume of Proposed excavations: include volumes for site preparation, basement and driveway.

BUILDING CONTROL USE ONLY

Signatures

Building Officer: _____

Plumbing & Drainage: _____

Senior Building Officer: _____

Zone: _____

Date: 25/1/15

Date: _____

Date: 25/1/15

COUNCIL USE ONLY

Date Received: _____ Receipt No. _____

PAYMENT TYPE: Cash ☐ Cheque ☐ Eftpos ☐

Prepaid Fee: _____

Receiving Officer: _____

PROJECT INFORMATION MEMORANDUM CHECKLIST

Application No: 0411096

Date: 21/12/04

Map ☐C/T ☐

Valuation No: 21611-222-208

32 Allerton Cre
Lot 156 of S4 LC 015451

N/A 700

83 Enquiry Screen ☐Property File ☐Drainage ☐

	1	2	3	Authorisations Approved 4	Authorisations Required 5	Authorisations Refused 6
PBP <input checked="" type="checkbox"/>	Wind WM	Environ Cnty	SE ✓	PTD	Min PL of 3.2 mmsl	
PREC <input checked="" type="checkbox"/>	Snow S4	Transpower	ST ✓		as per R/W & POP rule	
PCOV <input checked="" type="checkbox"/>	Earthquake (EB)	Clear Air	WS ✓		28.1.1.12	
P2M <input type="checkbox"/>	Hazard H	GA	WR -			
PCA <input type="checkbox"/>	Fill *	Historic Place			- BE cannot be effected until	
PCT <input checked="" type="checkbox"/>	Ground Instability				224 has been approved	
	Public Drains				& all outst. S/D cond.	

have be audited etc.

Comments:

223 plan only
C/W. MEL

C/T reqd to be forwarded

Htz. N/I.

T/Fill. < 1500 net D/O reqd

- V/C. reqd.

S/hy

Loc. OK. Area P1 OK

Cov. - 235/700

Services:

Sewer: - Connect to lot.

appt to provide int. to con

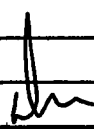
W/S: -

S/W: -

V/C app approval reqd.

Plans Accepted: Yes ☐No ☐

Vetted by:

 6/12/04.

PIM authorised for issue:



Customer Services Officer PIMS

Date:

21/12/04

Project Information Research Checklist for Dwellings and Major Construction

	Information Relevant to Project YES / NO	Information Attached	Information Available
Zoning		Phes 2	
Road Widening	-		
Designations	-		
Limited Access Road Frontage	-		
Historic Buildings	-		
Protected Trees	-		
Easements			
Site Subject to Flood Hazard	Fin PL	3.2 m m/s	
- APP21 HCC			
- Rural 3/C Zone	/		
Property File / Domestic Drainage Plan			
Resource Consent 015451	283 lot st	S/D	
- Land Use No: 045319	To meet Area		
- Subdivision No: 025256	ELW		
- Cross Lease No:			
Land Fill			
Overhead Power Lines			
Known Natural Hazards	LO		✓
Site Subject to Flood Hazard – not in District Plan			
Environment Canterbury Advice Received – Flood Hazard	-		
Harmful Contaminants, eg Asbestos, Timber Treatment Chemicals	-		
Availability and Location Water Supply / Sewer – Council Service	W / S		
- Well Water Supply	-		
- Septic Tank	✓		



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RANGIORA
NEW ZEALAND
TEL: (03) 313 6136
FAX: (03) 313 4432
DIRECT LINE FROM
KAIAPOI: 327 6834

Our Ref
Your Ref
Valn No

PIM 041096

21611-221-01 (Lot 186, S 4 moorecroft)

For Attention :	Mr Hendrikus
Company :	
Fax :	
Date :	Friday, 13 August 2004
No of Pages :	1
From :	Jamie Woods
Subject :	PIM "ON HOLD"

If you do not receive all the pages please call back as soon as possible. Our FAX and PHONE numbers are at the top of the page. The information contained in this facsimile message is CONFIDENTIAL INFORMATION and may also be LEGALLY PRIVILEGED. It is intended only for the individual or entity named above. If you are not the intended recipient, you are hereby notified that any use, review, dissemination, distribution or copying of this document is strictly prohibited. If you received this document in error, please immediately notify us by telephone (call collect to the person and number above) and destroy the original message.

Just to let you know that this PIM is on hold until the survey plan for the sub-division has been approved and/or the compliance certificate has been requested. Processing will be able to continue once this has been confirmed.

Regards
Jamie Woods

Not Faxed



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RECEIVED

12 AUG 2004

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Kaipoi

Phone No.: 327-7219

Fax No:

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Postal Address:

Phone No.:

Fax No:

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OWNER ☒

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Signed by or for and on behalf of the owner

Signature: [Signature]

Name: Leigh Kobussen
(Please Print)

Date: 10/08/04



BUILDING CONSENT DOCUMENTATION INFORMATION REQUIRED

Customer Name: <u>Hendrikus & Leigh Kobussen</u>	BC:
Site Address: <u>Lot 186, Marrett, Kaiapo</u>	
Project (Description of Work): <u>Build new residential home</u>	
APPLICATION DETAILS	
1. Building Consent Application, fully completed	<input checked="" type="checkbox"/>
2. Recent copy of Certificate of Title for building site.	<input type="checkbox"/>
3. Copy of Resource Consent if applicable RC N^o	<input type="checkbox"/>
4. Vehicle Entrances: When specified in the Project Information Memorandum vehicle crossings must be cut/installed <u>before</u> any building operations commence. All vehicles must use that crossing. Any damage to the property's frontage will be repaired by the Council and charged directly to the property owners.	<input checked="" type="checkbox"/>
5. PLANS & SPECIFICATIONS - 2 Sets Specifications <input checked="" type="checkbox"/> 4 Sets of Plans <input checked="" type="checkbox"/> • Council preference is A3 or A4 scaled plans	
6. Site Plan Dimensions: Fully detailed and dimensions Site Plan, including site levels, floor height above finished ground level and all existing buildings. Water bodies (drains, streams etc) and other relevant features	<input checked="" type="checkbox"/>
7. Floor Plan, Elevations, Cross Sections & Construction Details: Fully detailed and dimensioned plan showing position of all sanitary fittings and provide a layout plan of water supply pipes, waste pipes and soil pipe installations.	<input checked="" type="checkbox"/>
8. Specification: Detailed Specification covering the building, plumbing and drainage works in accord with the Building Code.	<input checked="" type="checkbox"/>
9. Schedule of Materials: Fully detailed schedule confirming durability expectations.	<input type="checkbox"/>
10. Roof Trusses: Layout plan and design details from an approved manufacturer. <i>to be provided by Rga Timber & Trusses to P.A.M.</i>	
11. Wall & Subfloor Bracing calculations, schedule and layout plan - In accordance with NZS 3604:1999 (Note: Subfloor bracing only for piled foundations).	<input checked="" type="checkbox"/>
12. Drainage Plan: Fully detailed Drainage Plan with discharge points, i.e. Sewer and stormwater, including gutter and downpipe size and location. In rural areas provide Design Details of Septic Tank and effluent disposal system, including well location. (See Info. Sheet QS-M540-AD). Include site details to support selection of effluent disposal method. Name of the designer and qualifications, and/or specifier.	<input checked="" type="checkbox"/>
13. Water Quality: Test results confirming a potable supply from domestic wells in rural areas, i.e. bacteriological and chemical.	<input type="checkbox"/>
14. Hot Water System: type, storage, capacity and location on floor plan.	<input checked="" type="checkbox"/>
15. Producer Statements for Design / Construction: eg Geotechnical, Structural, Specialist Systems, OR detailed written report & calculations.	<input type="checkbox"/>
16. Hazardous Substances/Processes: Any proposed storage of hazardous substances/ processes.	<input type="checkbox"/>
17. Fire Safety Design: Summary and/or specific fire engineering design.	<input type="checkbox"/>
18. Log Fire: Log Fire Installation instructions including flue details.	<input type="checkbox"/>

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE: 10 November 2003

VENDOR: Meadow Estates Ltd

PURCHASER: H.W. & L.K. Kobussen, 33 Feldwick Drive - Karapoi

PROPERTY

Address of property: Main North Road - Kaiapoi

Estate: FEE SIMPLE ~~LEASEHOLD~~ ~~CROSSLEASE~~ ~~UNDEVELOPED~~ (if none is deleted fee simple)

Legal Description:

Area: 700m² Lot: 186 DP: CT:

subject to survey being a subdivision of part Lot 3 DP 17065 on CT 730/2 as shown on the attached plan.

PURCHASE PRICE

Purchase Price: \$ 74,000 Seventy Four Thousand Dollars

~~EXCLUSIVE~~ (if any) OR Inclusive of GST (if any).
If neither is deleted the purchase price includes GST (if any).
GST date: (refer clause 12)

Deposit: (refer clause 2) \$ 7300 payable to A M Turner Realty on acceptance of this agreement.

Balance of purchase price to be paid or satisfied as follows:

In full on possession date.

POSSESSION (refer clause 3)

Possession date: 5 working days after issue of title for Lot 186 Interest rate for late settlement: 12 % p.a.

CONDITIONS (refer clause 8)

Financial condition (if any):
Lender: To suit purchaser.
Amount required:

LIM required: Yes/~~NO~~
OIA Consent required: ~~YES~~/No

Finance date: 10 working days from the date of this agreement. Land Act/QIA date:

TENANCIES (if any): Nil - vacant possession
Name of tenant:

Bond: Rent: Term: Right of renewal:

CHATELS

The following chattels if now situated on the property are included in the sale.

(strike out or add as applicable):
~~STOVE~~ ~~APPLIANCES~~ ~~FIXED FLOOR COVERINGS~~ ~~BLINDS~~ ~~CURTAINS~~ ~~SHRUBS~~
~~TELEPHONES~~ ~~LIGHT FIXINGS~~

Sale by (name of real estate agent):

Ray White
REAL ESTATE

A M Turner Realty Ltd
R.A.C.
H.W.
L.K.

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, and the General and Further Terms of Sale

BEFORE SIGNING THE AGREEMENT

- It is recommended both parties seek professional advice before signing. This is especially so if:
 - There are any doubts. This is a binding contract with only restricted rights of termination.
 - The property is sold as a going concern.
 - Property such as a hotel or a farm is being sold. The agreement is designed primarily for the sale of residential and commercial land.
 - The property is vacant land in the process of being subdivided or there is a new cross lease or unit title to be issued. In these cases additional clauses may need to be inserted.
 - There is any doubt as to the position of the boundaries.
- The purchaser should investigate the status of the property under the Council's District Plan. The property and those around it are affected by zoning and other planning provisions regulating their use and future development.
- The purchaser should investigate whether necessary permits and certificates have been obtained from the Council where building works have been carried out by an earlier owner. This investigation can be assisted by obtaining a LIM from the Council. The vendor's warranties under the agreement may not extend to such works.
- The purchaser should compare the title plans against the physical location of existing structures where the property is a cross lease or unit title. Structures or alterations to structures not shown on the plans may result in the title being defective.
- In the case of a unit title, the purchaser should inquire whether the body corporate holds funds for deferred maintenance of common property.
- The vendor should ensure the warranties and undertakings in clauses 6 and 7:
 - are able to be complied with; and if not
 - the applicable warranty is deleted from the agreement and any appropriate disclosure is made to the purchaser.
- Both parties should ensure the chattels list at the bottom of the front page is accurate.
- If the property is sold as a "going concern", the vendor should ensure the purchase price is stated on the front page as "PLUS GST (if any)".

THE ABOVE NOTES ARE NOT PART OF THIS AGREEMENT AND ARE NOT A COMPLETE LIST OF MATTERS WHICH ARE IMPORTANT IN CONSIDERING THE LEGAL CONSEQUENCES OF THIS AGREEMENT.

PROFESSIONAL ADVICE SHOULD BE SOUGHT REGARDING THE EFFECT AND CONSEQUENCES OF ANY AGREEMENT ENTERED INTO BETWEEN THE PARTIES.

THE PURCHASER IS ENTITLED TO A COPY OF ANY SIGNED OFFER AT THE TIME IT IS MADE.

Dated: 10 Nov 2003

BETWEEN

Meadow Estates Ltd

Ph.(Bus.) 3322022

(Pvt.)

Vendor

AND

H.W. & L.K. Kobussen

Ph.(Bus.)

(Pvt.) 327 7219

Purchaser

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

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Corcoran French - Mr Lane McPhail**Box 13001****Ph 3794660 Fax 3794614**

Vendor's solicitor (indicate individual acting)

San McVishBox 174 Karapiro327 7937 fx 327 5720

Purchaser's solicitor (indicate individual acting)

Deposit paid to

Amount: \$

Date paid:

SALE BY

Ray White**REAL ESTATE**

Member of the Real Estate Institute of New Zealand

Office: AvonsideAddress: 57 Woodham RoadChristchurchTelephone: 03 3890000Fax: 03 3890000Manager: Alan TurnerPat Curry

Salesperson:



Plumbers,
Gasfitters and
Drainlayers Board

ANNUAL LICENCE 2004-2005

Wayne T Nuttall
Registration No. 04384
Licence(s) held

EXPIRY DATE 31 MARCH 2005

Craftsman Plumber
Craftsman Gasfitter

Approved Application

Plan PIM 041096.....

FIG. 26 WINDOW HEAD - Aluminium

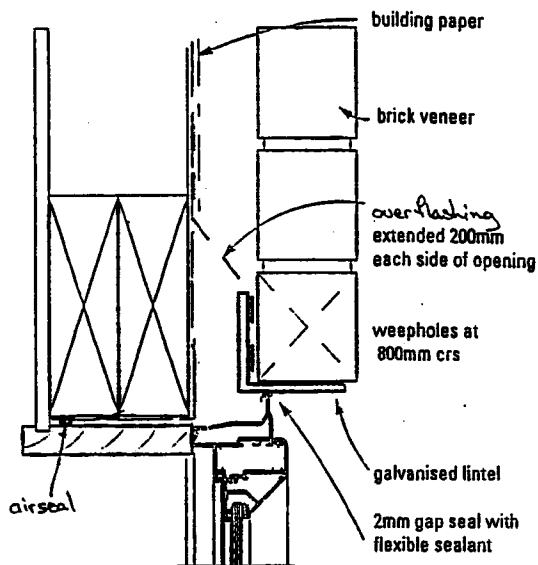


FIG. 42 BRICK DOOR SILL

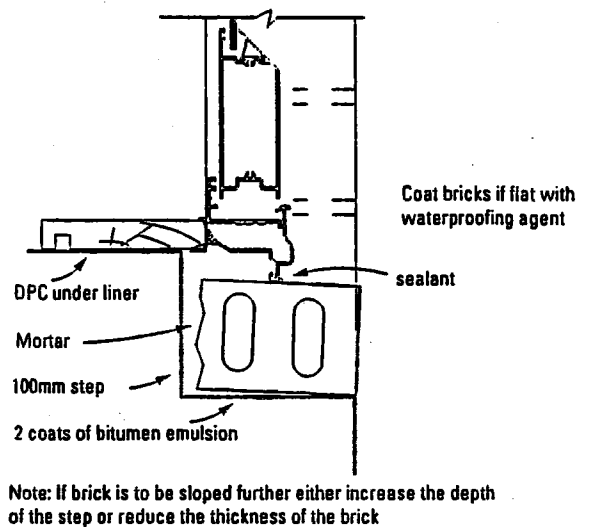


FIG. 37 WINDOW JAMB - Aluminium

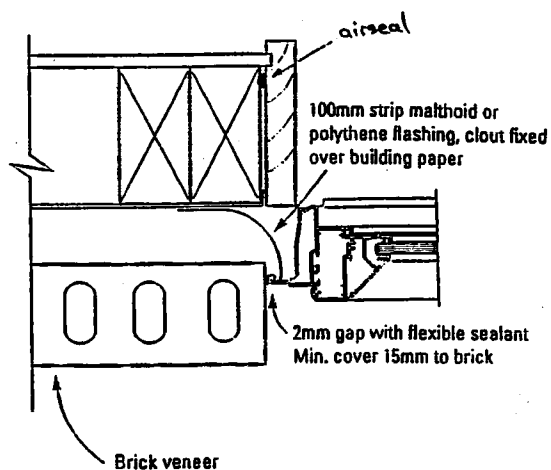


FIG. 41 DOOR JAMB - Aluminium

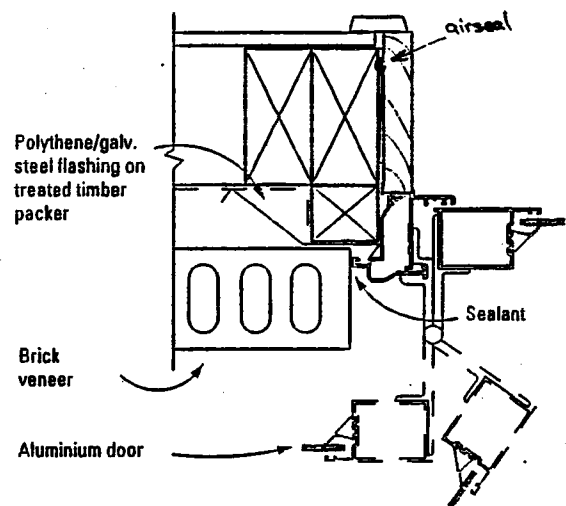
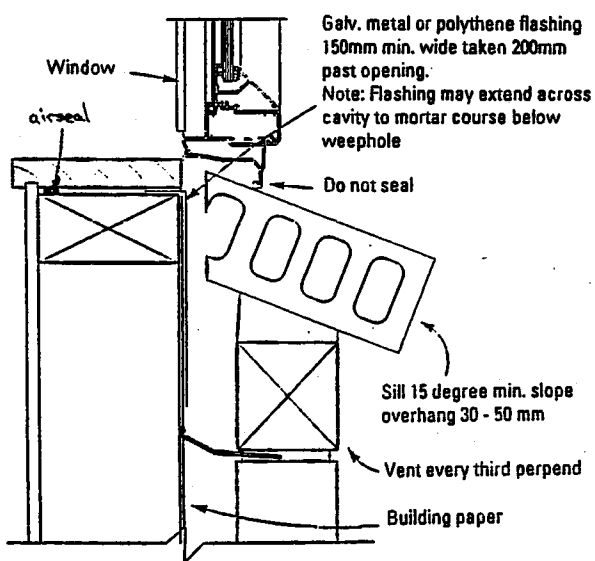
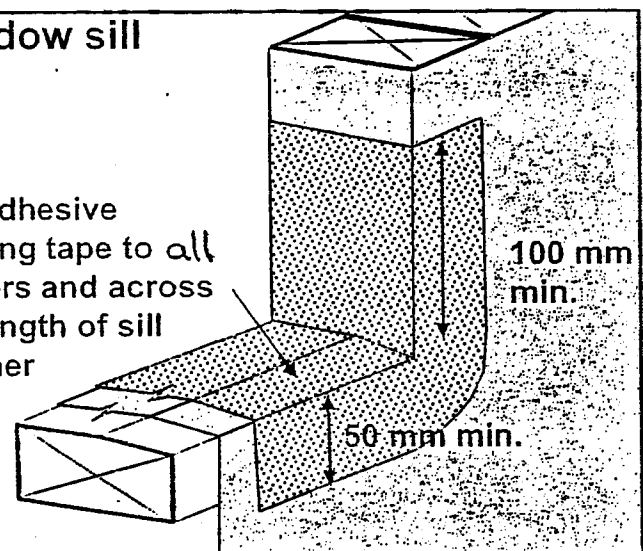


FIG. 39 WINDOW SILL - Aluminium



Window sill

self-adhesive
flashing tape to all
corners and across
full length of sill
trimmer



26/08 '04 THU 08:17 FAX 84 3 3329168

CHUBB BLD SERV CH-CH

Art Banda.

H W Kobussen

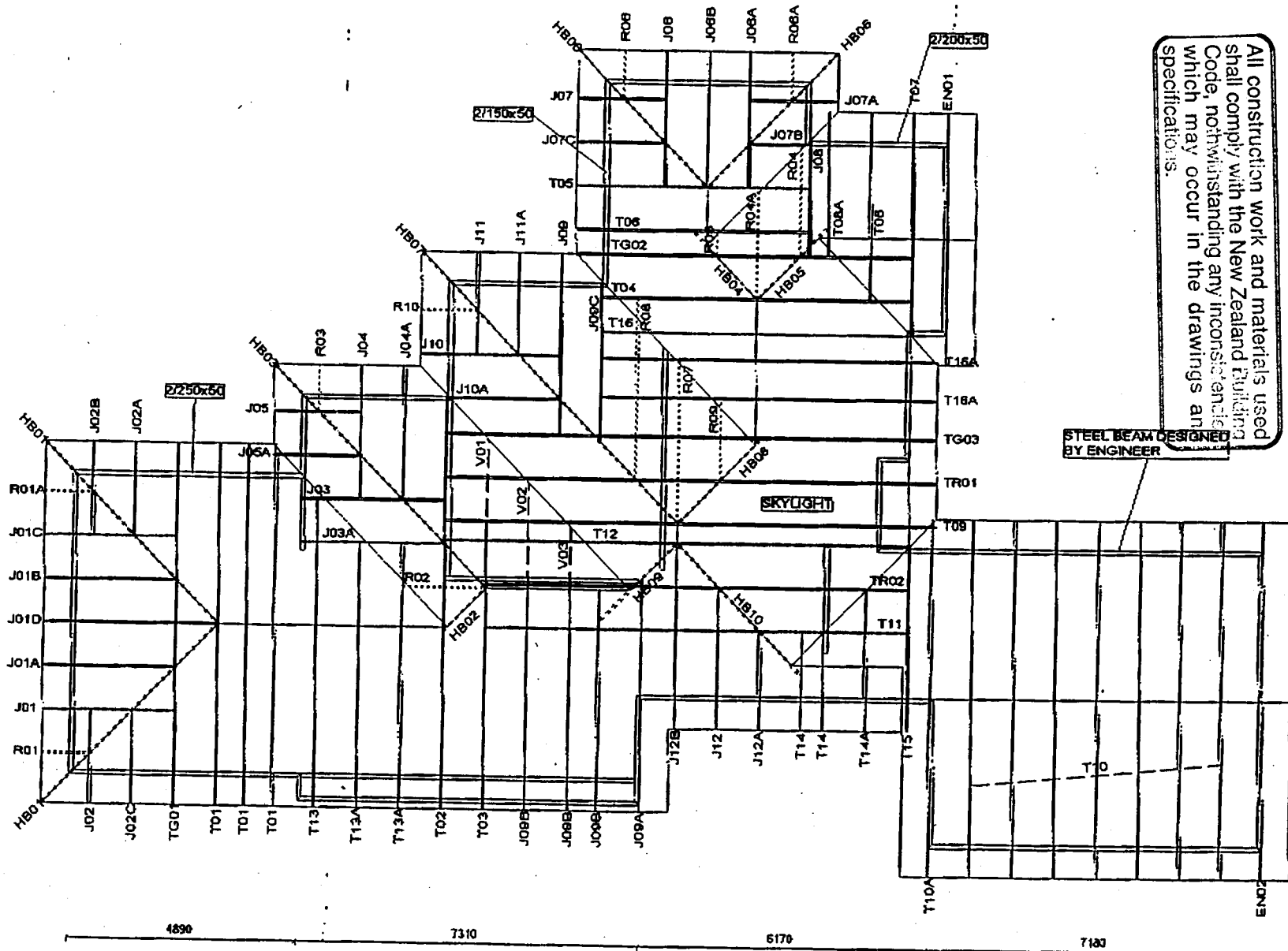
RA 3277219

434 Cradland St. Mobile 0272839566

BC 04096

All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

STEEL BEAM DESIGNED BY ENGINEER



Job Details:

Snow Zone:
Wind Area:
IC Restraints:
Roof Material:
Roof Use Load:

Zone 4
Medium
900 mm
Galv kor. 5mm
N 1450 L 1450

Snow Altitude:
Design Wind Speed:
IC Restraints:
Roof Material:
Roof Use Load:

100
37.0 m/s
403 mm
Standard

Job:

3063

OSWALD HERBERT
NEA HOUSE
LOT 186 MOORCROFT
KIAPIKI

RTT

Traside Road
Southbrook
Rangiora
New Zealand
Telephone: 03 313 7104
Fax:

Job: 3063

Client: GERALD HERBERT
Phone:Site: NEW HOUSE
LOT 186 MOORCROFT
KAIAPOI

Description:

Phone:

MiTek 20/20 - Engineering 4.3 Gamma (Rev. 1/2/95)

MiTek New Zealand Ltd

Printed: 08:24:16 20 Aug 2004

H. W. K. Hussen PH 3277219

43A Cridland Str 0272 839 566

PRODUCER STATEMENT

MiTek 20/20™ TRUSS DESIGN PROGRAM

Job 041096
ATT Brenda.**Certification of MiTek 20/20™ Truss Design Program**

The MiTek 20/20™ truss design program has been developed by MiTek New Zealand Ltd for the design of GANG-NAIL timber roof, floor and attic trusses in New Zealand. The truss design program is prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992. This computer design for the proposed complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing and the correct input of design data carried out by suitably trained personnel.

Summary of MiTek 20/20™ Truss Design Data and Output

The MiTek 20/20™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The output that the following job details below are current and relevant to the project before fabrication and erection of the GANG-NAIL trusses.

Job Details				Std Overhang:			
Roof Truss				Wind			
Timber Group:	No1 Fx 35	Pitch:	30.00 deg	Area:	Medium (37.0 m/s)		
Roof		Celling		Pressure Coeff:	Cpe = varies; Cpl = -0.30, 0.20		
Material:	Galv Iron 5mm	Material:	Standard	Snow			
Dead Load:	0.210 kPa	Dead Load:	0.200 kPa	Location:	Zone 4 at 100 m		
Restraints:	900 mm centres	Restraints:	400 mm centres	Open Ground Load:	0.550 kPa		
Live Load:	Q _{ur} = 0.250 kPa			Basic Roof Load:	0.444 kPa		
	Q _o = 1.000 kN						

Trusses must be fabricated and erected in accordance with the GANG-NAIL manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as NZS3604:1999 Section 4.

Truss List

Legend: * = detail only, ? = input error = failed design, Unmarked trusses = designed successfully

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
EN01	1	3980	30.00	900	J03A	1	3042	30.00	900	J12A	1	3122	30.00	900	T08	1	3980	30.00	900
EN02	1	6180	30.00	893	J04	1	2142	30.00	900	J12B	1	3122	30.00	900	T08A	1	3980	30.00	900
*HB01	2	5235	22.21	900	J04A	1	2142	30.00	900	*R01	1	1020	30.00	900	T09	1	9880	30.00	900
*HB02	1	1251	22.21	900	J05	1	1242	30.00	900	*R01A	1	1020	30.00	900	T10	7	6180	30.00	893
*HB03	1	6402	22.21	900	J05A	1	1242	30.00	900	*R02	1	1766	30.00	900	T10A	1	6180	30.00	893
*HB04	1	1909	22.21	900	J06	1	2172	30.00	900	*R03	1	945	30.00	900	T11	1	8993	30.00	900
*HB05	1	2060	22.21	900	J06A	1	2172	30.00	900	*R04	1	2266	30.00	900	T12	1	9880	30.00	900
*HB06	2	3698	22.21	900	J06B	1	2172	30.00	900	*R04A	1	2266	30.00	900	T13	1	6270	30.00	900
*HB07	1	7788	22.21	900	J07	1	1272	30.00	900	*R05	1	468	30.00	900	T13A	2	6270	30.00	900
*HB08	1	2524	22.21	900	J07A	1	1272	30.00	900	*R06	1	975	30.00	900	T14	2	4900	30.00	900
*HB09	1	2245	22.21	900	J07B	1	1272	30.00	900	*R06A	1	975	30.00	900	T14A	1	4900	30.00	900
*HB10	1	3748	22.21	900	J07C	1	1272	30.00	900	*R07	1	3366	30.00	900	T15	1	4900	30.00	900
J01	1	2217	30.00	900	J08	1	2372	30.00	900	*R08	1	3708	30.00	900	T16	1	6580	30.00	710
J01A	1	2217	30.00	900	J09	1	3122	30.00	900	*R09	1	1668	30.00	900	T16A	2	6580	30.00	710
J01B	1	2217	30.00	900	J09A	1	3122	30.00	900	*R10	1	1187	30.00	900	TG01	1	6270	30.00	900
J01C	1	2217	30.00	900	J09B	3	3122	30.00	900	T01	3	6270	30.00	900	TG02	1	6580	30.00	900
J01D	1	2217	30.00	900	J09C	1	3122	30.00	900	T02	1	7920	30.00	900	TG03	1	9880	30.00	900
J02	1	1317	30.00	900	J10	1	2384	30.00	900	T03	1	7920	30.00	900	TR01	1	9880	30.00	900
J02A	1	1317	30.00	900	J10A	1	2384	30.00	900	T04	1	6580	30.00	900	TR02	1	9880	30.00	900
J02B	1	1317	30.00	900	J11	1	1484	30.00	900	T05	1	4380	30.00	900	V01	1	2110	30.00	900
J02C	1	1317	30.00	900	J11A	1	1484	30.00	900	T06	1	4380	30.00	900	V02	1	2173	30.00	900
J03	1	3042	30.00	900	J12	1	3122	30.00	900	T07	1	3980	30.00	900	V03	1	1273	30.00	900

Total quantity : 103

All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

The computer design input has been carried out by:

Signed: _____

Date: 19/8/04

Name of Computer Operator: Daiman McKernan

Qualifications and Title: Detailer

Company: RT & T

Verification / Acceptance of Input Data:

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed: _____

Date: _____

Name: _____

Company: _____

Job Details

Name H. W. & L. K. KOBUSSENSigned: [Signature] 35/1/95

Street and Number _____

Lot and DP Number

Lot 186 Moorcroft Est.
KAIAPOI

City/Town/District

Location of Storey:

single/upper of two/lower of two

Floor load: 2kPa/3kPa

Building height to apex 5.4 m

Roof weight

light/heavy

Cladding weights:

Roof height above eaves 3.0 m

Subfloor

light/medium/heavy

Lower Storey

light/medium/heavy

Stud height 2.4 m

Upper Storey

light/medium/heavy

Average roof pitch

30°

Room in Roof Space

Yes/NoBuilding length BL = 25.8 m 26.5

Gross Building

Building width BW = 15.2 m 16.5

Plan Area,

GPA = 235 m²**Note:** When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

All construction work and materials used shall comply with the New Zealand Building Code, notwithstanding any inconsistencies which may occur in the drawings and specifications.

Wind Zone

box 2

Region:	<u>0</u> ✓	Terrain:	<u>0</u> ✓	Exposure:	<u>0</u> ✓	Topography:	<u>0</u> ✓
R1		Inland		Sheltered		Gentle	
R2	<u>1</u>	Coastal	<u>1</u>	Exposed	<u>1</u>	Moderate	<u>1</u>
						Extreme	<u>3</u>

Total points 0

Wind Zone:	<u>Low (0)</u>	<u>Very high (3)</u>
	<u>Medium (1)</u> ✓	<u>Specific Design (4)</u>
	<u>High (2)</u>	

Earthquake Zone

Approved Application

box 3

From figure EQ1 select Earthquake Zone:

A

B ✓

C

BUs required Wind

box 4

From Table W1A/W1B

W along = 54 BUs/mW across = 54 BUs/m ✓

Total wind load,

W ALONG:

W along x BW = 821 BUs 891

W ACROSS

W across x BL = 1393 BUs 1431Plan PIM 041409
BUs required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 4.2 BUs/m²**Note:** For a room in the roof space use E + 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUs = 987 BUs

*

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m)	Rating BU/m	BUs Achieved (BU/m x L)	Rating BU/m	BUs Achieved (BU/m x L)
A		A ₁ ; A ₂	SP1G	1.2	(x2)		100	240
		A ₃ ; A ₄	SP2G	0.7; 0.6			95	143
B ₁ ; B ₂ ; B ₃		SP2G	0.7; 0.8 (x2)			95	218	
C ₁ ; C ₃		SP1G	1.1; 1.2			100	230	
C ₂		G1a	2.2			50	110	
D ₁ ; D ₃		SP1G	1.2; 1.0			100	230	
D ₂ ; D ₄		G1b	2.4	(x2)		50	240	
E								

Totals Achieved

W

E	1411
---	------

From Sheet A	Totals Required
--------------	-----------------

W	821
---	-----

E	987
---	-----

Wreq/Ereq =	*
-------------	---

W	891
---	-----

E	987
---	-----

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M		M ₁	G1b	2.4			50	120
		N ₁	SP1G	1.2			100	120
N ₂		G2b	2.4			70	168	
O ₁		G2b	2.4			70	168	
P ₁		SP1G	1.2			100	120	
P ₂		G2b	2.4			70	168	
P ₃		G1b	2.4			50	120	
Q ₁		SP1G	1.2			100	120	
R ₁ ; R ₃		SP1G	1.2	(x2)		100	240	
R ₂		SP2G	0.7			95	66	
P		S ₁ ; S ₂	SP1G	1.1	(x2)		100	220
Q								

Totals Achieved

W

E	1630
---	------

From Sheet A	Totals Required
--------------	-----------------

W	1303
---	------

E	987
---	-----

Wreq/Ereq =	*
-------------	---

W	1431
---	------

E	987
---	-----

SPECIFICATION

For the erection of

at

for H.W. + LK KOBUSSEN

This is the specification referred to in an "Agreement" between

as Owner, and

as Builder,

dated

ARBITRATION:

If dispute or difference should arise between the Owner and Contractor the Contract shall be subject to arbitration under the Arbitration Act 1908.

LOT 186 MOORCROFT EST.

SMOKE DETECTORS ARE
REQUIRED TO COMPLY WITH
SECTION 3F7
NEW ZEALAND BUILDING CODE.

Prime Building Compliance Limited

These plans and specifications must
be read with the endorsements attached
to the Building Consent.

Waimakariri District Council APPROVED

Signed: [Signature] 25/1/05

All construction work and materials used
shall comply with the New Zealand Building
Code, notwithstanding any inconsistencies
which may occur in the drawings and
specifications.

Prime Building Compliance Limited BUILDING PLAN APPROVED

Signed: [Signature] 25/1/05

Approved Application

Plan PIM. 04/096

GENERAL NOTES

- 1/ THIS RESIDENCE HAS BEEN DESIGNED IN ACCORDANCE WITH NZS 3604 : 1999 IT MUST THEREFORE BE CONSTRUCTED IN FULL ACCORDANCE WITH THE FOLLOWING:
NZS 3604 : 1999 LIGHT TIMBER FRAMED BUILDINGS
NZS 3602 : 1990 TIMBER AND WOOD BASED PRODUCTS
NZS 3124 : 1987 CONCRETE CONSTRUCTION FOR MINOR WORKS

NZS 4223 : 1985 GLAZING IN BUILDINGS INCLUDING PART 3 : 1993
NZS 4211 : 1985 PERFORMANCE OF WINDOWS
THE NZ BUILDING CODE WHICH IS A SCHEDULE OF MANDATORY OF ACCEPTABLE SOLUTIONS TO THE VARIOUS APPROVED DOCUMENTS.
- 2/ FOUNDATION DETAILS SHOWN ARE BASED UPON FIRM BEARING CONDITIONS OF NOT LESS THAN 100 KPa AS REQD BY NZS 3604 ; IF SUBSEQUENT TESTING PROVES OTHERWISE THEN IT IS THE SUB CONTRACTORS RESPONSIBILITY TO CONTACT AN ENGINEER OR MAIN BUILDING CONTRACTOR FOR REVISED FOUNDATION DETAILS.
- 3/ ALL BRACING TO BE FIXED IN ACCORDANCE WITH NZS 3604 : 1999 AND THE WINSTONE WALLBOARDS BOOKLET : GIB. BOARD WALL BRACING SYSTEMS. BRACING SHOWN MUST BE READ IN CONJUNCTION WITH CALCULATION SHEETS PROVIDED.
- 4/ ALL PLUMBING ; DRAINAGE ; AND ELECTRICAL WORK SHALL BE CARRIED OUT BY REGISTERED TRADESPEOPLE AND THE RELEVANT ACCEPTABLE SOLUTIONS OF THE N.Z.B.C.
- 5/ ALL MATERIALS AND ITEMS USED SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- 6/ ALL INTERNAL ACCESS DOOR WIDTHS TO BE 810 JAMBS UNLESS OTHERWISE STATED.
- 7/ PLUMBER MUST INSTALL TEMPERING VALVE SET AT MAX 55 C (G12 - ASI-4.13).
- 8/ BATHROOM AND EN-SUITE ROOMS TO BE GIB-BOARD LINED WITH ALL GIB-BOARD LINING SEALED, UNDER-COATED, & TOP COATED WITH AN APPROVED OIL BASED PAINT SYSTEM. ALL IN ACCORDANCE WITH NZBC E3/AS1.
- 9/ ALL SHOWERS TO BE ONE PIECE MOULDED FIBREGLASS CUBICLE OR APPROVED WATER RESISTANT WALL LINING BOARDS ALL ACCORDANCE WITH NZBC E3/AS1.
REFER CLIENT
- 10/ NO CHANGE OR VARIATION MUST BE MADE TO ANY STRUCTURAL ELEMENT OR DETAIL SHOWN WITHIN THIS CONTRACT WITHOUT THE WRITTEN PERMISSION OF :
WAYNE WORRALL & ASSOCIATES
P.O. BOX 151
KAIAPOI 8252
PHONE 327 7733.

PRELIMINARY & GENERAL

This specification describes the work to be done and the materials to be used in the construction of this proposed double garage. The contractor is expected to be familiar with the site and the local building bylaws when constructing this garage. All work is to be done in complete accordance with NZS 3604 and the NZ Building Code.

INTERPRETATION

All work and materials shown on the drawings or specified and not shown must be supplied as though both shown and specified. Materials shown but not specified must be of the kinds commonly employed for the service they are intended to perform in compliance with the NZBC. All figured dimensions shall be taken in preference to scale. the contractor shall be responsible for the setting out of the work and shall make good at his own expense any errors that occur through his lack of checking for faulty workmanship.

STABILITY

The contractor shall carefully brace and support all parts of his work against damage by wind and protect work from the elements as necessary during construction.

PROTECTION OF PROPERTY

The contractor shall protect adjoining properties during the contract and shall make good any damage done at his own expense.

DAMAGE

The contract shall make good at his own expense and to the satisfaction of any controlling authorities any damage done to footpaths, roadside kerbs, driveway crossings, fences, etc., or to other property. Each trade shall take care to prevent damage of the work done by other trades.

MAINTENANCE

A period of thirty days or a time agreed by the principal builder and his sub contractor shall take place after the owner has taken possession or code of compliance certificate has been issued.

WORKMANSHIP

All work shall be carried out in accordance with the best trade practice, in strict conformity with the drawings and specification and to the satisfaction of the owner. All defective or damaged work shall be removed and made good to the satisfaction of the owner.

CLEANING

The contractor at the conclusion of the contract shall carefully clean down and dust the entire inside of the dwelling including the sweeping of all floors and the removing of all rubbish from the site as instructed by the principal builders supervisor.

EXCAVATOR

PRELIMINARY & GENERAL:

Note where Preliminary and General clauses apply to this trade.

SETTING OUT:

Set out the work as shown on the drawings. Check accuracy in terms of position, levels and square.

CLEAR SITE:

Remove vegetation, trees, roots and 150mm top soil within area to be covered by the building, driveway, paths, terraces and steps. Do not remove any other trees within Owner's consent.

Note: Alternatively with consent of Owner and Local Building Authority, leave topsoil in place where excavation would otherwise cause ponding under timber ground floors (see Clause 3.4.1 of N.Z.S. 3604).

Deposit top soil in heap as directed and avoid covering with subsoil subsequently excavated.

LEVELLING AND BULK EXCAVATION:

Excavate for all site levelling, foundation walls and/or piles, underground services and subsoil drains etc. to correct levels, to firm bearing or to obtain sufficient frictional resistance to satisfy the NZBC.

FOUNDATION TRENCHES:

Take out trenches straight, level and to proper width and keep free of water and loose material. Concrete shall not be placed until excavations approved.

HARDFILL:

Use only approved fill not less than mm thick and well compacted under concrete ground floors and where otherwise specified.

CONCRETE & REINFORCING

PRELIMINARY & GENERAL:

Note all clauses under Preliminary and General of this specification which shall apply to this section of the work.

EXTENT OF WORK:

Comprises the setting out, boxing and placing of concrete in the foundations, floor slabs, walls, beams and bands and any other concrete work shown in the drawings.

MATERIALS:

Concrete which shall be ordinary grade and comply with requirements of NZS 3109 Builders mix may be used if agreed by owner, providing the minimum crushing strength is 17.5 MPa at 28 days standard cure is unaffected.

20 MPa " " " for foundations

CONCRETE FOUNDATION WALLS:

Foundation footings, walls and reinforcing shall be to the sizes shown on drawings in accordance with Table 4 and relevant clauses of NZS 3604, supporting single storey or two storey as appropriate.

CONCRETE SLAB-ON-GROUND FLOORS:

Floors having foundations walls that support only one storey need not be reinforced providing that shrinkage control joints are provided at 3m spacings or 2m² sections for 100mm thick slabs. *110 Slab ties @ 600 c/s*

If supporting 2nd storey incorporate G65 m.s. mesh

In all cases concrete slab-on-ground floors and terraces shall not be less than 100mm thick on well compacted granular fill. Where floor slabs occur in rooms for habitation they shall have 0.25mm thick polythene sheet under, either welded into one continuous sheet or with joints lapped not less than 150mm and sealed with self adhesive tape to manufacturer's specification. the Contractor shall not use any other vapour barrier without approval in writing and shall protect from puncture and tears before and during placement of concrete. Any damage done to the vapour barrier during provision of underslab or in the slab services shall also be made good before placing concrete. Refer to NZS 3604 for floor heights.

BUILD-IN BOLTS ETC:

Provide in concrete for openings for vents or as required by other trades and for holding down bolts in accordance with NZS 3604. Timber grounds where required for fixing door frames etc. shall be ~~treated~~ *pinus* dovetailed and where required water bars shall be of brass or galvanised steel. Powder powered tool fixings can be used where appropriate.

PATHS:

Where shown on drawings paths shall be laid not less than 75mm thick 17.5mpa concrete. The surface shall be graded evenly to provide suitable drainage and left with a uniform finish using a wooden float.

COMPLETION:

Leave all clean and tidy at finish and made good any defective work.

BRICKLAYER

PRELIMINARY AND GENERAL:

Read and note all clauses under Preliminary and General of this specification where they apply to this trade.

RELEVANT SPECIFICATIONS:

All work shall be in accordance with the requirements of NZS 3604 and NZS 4229 as appropriate.

MATERIALS:

- (a) Bricks: Bricks for external veneers and foundation walls shall be of the colour and type selected and shall comply with NZS 366 Clay Building Bricks Grade A or B. All brickwork shall be laid with their best face outwards.
- (b) Cement: Shall be ordinary Portland Cement and at the time of use shall comply with NZSS 3122 Portland Cement.
- (c) Plasticizers: Plasticizers shall be used in accordance with the manufacturer's instructions and no other additives are to be used in conjunction with these materials. On no account will further additions be made at the time of retempering mortars.
- (d) Water: Water shall be potable.
- (e) Sand for Mortars: Sand used shall be Mercer No.1 sand and/or shall comply with the relevant clauses of NZS 3103. Sand or Mortar, Plasters and External Renderings.

PREPARATION OF MORTAR:

Mortar shall be prepared by mixing in an approved mixer. Measurement of materials shall be by volume using suitable containers. Mortar shall be mixed until a homogenous mass is obtained but not for less than 5 minutes. All mortar whether on the boards or left in the mixer shall be used within 90 minutes. Mortar not used in this time shall be discarded.

BRICKLAYING:

Bricks shall be laid in stretcher bond true to line and level and plumb and in accordance with the best trade practice. All work shall be laid from the lowest corner and no corner shall be raised more than 900mm above all line. Corners shall be racked back. On no account will toothing be permitted. All joints will be completely filled with mortar and the bricks shall be disturbed as little as possible after initial positioning. Joints shall, unless otherwise specified, be not more than 9.5mm thick and shall be tooled as directed as work proceeds. Where tapestry bricks are used care shall be taken to use a tool slightly smaller than joint width to prevent pushing mortar into the brick striations.

MASONRY VENEER:

(a) Building Paper

Run ordinary black bituminous breather type building paper to NZS 2295 (or fire resistant breather type) horizontally and well secure to outside face of framing from bearer to top plate. Repair tears and holes before construction veneer.

Approved building wrap may be used.

(b) Clay Brick Veneer

Construct brick veneer with approved face fixed ties at correct spacings in accordance with Section 4 of NZS 3604 and with materials and workmanship to NZS 4210.

A cavity of not less than 40mm and not more than 75mm shall be maintained between building paper and veneer. Where necessary weep holes shall be left every third joint for the discharge of water, as under Concrete Blocklayer. keep the cavity and upstand clean, free from mortar protrusions and droppings. Keep pipes or electrical wire junction boxes etc., out of the cavity. thoroughly clean down the face of work on completion leave free of mortar stains and efflorescence.

(c) Sills:

Sills to be brick on edge, brought to underside of wooden sills or aluminium joinery. Junction between to be filled with a suitable sealant as recommended by the Joinery Manufacturer and overpointed with cement mortar.

CARPENTER AND JOINER

PRELIMINARY AND GENERAL:

Read and note all clauses of the Preliminary and general which apply to all works of this section.

EXTENT OF WORK:

The work of this section shall not include all labour, materials, equipment necessary to carry out and complete the carpentry as shown, or as further required by this specification. together with any other items of work reasonably inferred as part of this section.

ATTENDANCE AND PROTECTION:

Attend upon all other trades providing all blockings, fixings, trims, nogging as necessary for the full completion of their respective works and make good after all trades.

MATERIALS AND WORKMANSHIP:

All material used shall be the best of their respective class and type specified. Any materials which in the opinion of the Owner, Loan Body or Local Authority are not up to standard, to be removed immediately from the site. All work shall be carried out in a workmanlike manner in accordance with best trade practice and as or where especially specified. Any work that is intended or implied but not specifically shown, mentioned or specified as necessary for the proper completion of the building shall be included. All work shall comply with re relevant NZS requirements, particularly NZS 3604.

TIMBER:

All timber used shall conform to NZS 3602 requirements, "Code of practice for specifying timber and wood-based products for use in building. " Timbers shown in the Schedule of Timbers to be treated with an approved preservative process in plants licensed by the Timber Preservation Authority.

DAMP PROOFING:

All timber to be protected from dampness with 3-ply bituminous felt or other approved damp roofing material when in contact with concrete or brickwork

CLEANING:

The Contractor at the conclusion of the contract shall have all ceilings, walls and woodwork carefully dusted and wiped down. Windows washed and glass free from scratches and paint. Floors brushed and the entire building site left in a clean condition for occupation.

FASTENING AND FABRICATION:

- (a) The Contractor should especially note that all aspects of fastening and fabrication of timber framing members and wood-based products on this contract shall accord with the following clauses of NZS 3604:-
Section 2.4 - General.
- 2. - Adhesives for timber & wood-based products.
 - 2.4 for nailing and use of wire dogs.
 - 2.4 - for bolting and screwing.
- (b) Reference shall also be made to Section 1.6.3 NZS 3604 for the proper fixing of sheet lining and cladding materials for walls and ceilings that are not wood-based e.g. Gibraltar board, fibrous plaster or wood cellulose sheeting; especially where such materials are used as diaphragms and for wall bracing. (Refer 'Winstone' manual)
- (c) Mild steel structural components used in sub-floor spaces, exposed to the weather or in position where condensation or dampness will occur shall be hot dipped galvanised after forming and shall provide the necessary "capacities" called for by NZS 3604 dependent on function and location.
- (d) In all other cases, select and use connectors according to manufacturers' literature conforming to NZBC 3604 requirements and the NZBC. Roof R2.0; Walls R2.2

INSULATION:

Refer to NZBC Clause H1. Install insulation as required in NZBC Acceptance Solution H1/AS1. All insulation materials are to be installed in accordance with manufacturer's recommendations and the NZBC.

MOISTURE CONTROL:

Where a vapour barrier is required in the form of foil or polythene film, this barrier shall be fixed according to B.R.A.N.Z. Bulletin No.217 Foil or polythene film shall not be used as a substitute for building paper. building paper shall be properly fixed to bottom plates, especially in veneer construction, to prevent entry of subfloor air into stud cavities. brick veneer cavities shall be closed off at and by means of soffits so as not to connect with roof cavities. there should be no unsealed openings for service pipes and wiring etc. There should be no discharge from cooking extractors or clothes driers into any wall, roof or floor cavity. linings shall not be fixed until moisture content of framing has been tested and approved. A proper solvent based paint or varnish finish must be used for plasterboard (Gibraltar board or fibrous plaster) linings to 'wet' rooms, such as kitchens, bathrooms and laundry.

Water based emulsion paints must not be used.

SCHEDULE OF TIMBERS

LOCATION	SIZE mm x mm	GRADE AND TREATMENT For alternative refer to NZS 3602 or B.R.A.N.Z. Bulletins 130 and 175	REMARKS
WALL FRAMING			
Bottom plates, studs, dwangs; top plates	94x47 90x45	Treated No 1 Radiata Pine or NZ Oregon.	Studs at 600 centres and with dwangs at 800 centres.
Lintels	Refer Dwgs or as specified.	Treated No 1 Radiata Pine or NZ Oregon.	Select built up lintels from Table 16 : NZS 3604 or as specified.
Sill and Head Trimmers	same width as studs, thickness as per span as follows.	Treated No. 1. Radiata Pine or NZ Oregon.	

Bracing

Refer to drawings

ROOF FRAMING: To pitch and style shown on plan Note 1) Individual requirements and options permissible under NZS 3604 preclude meaningful scheduling here. Designer and Builder shall refer to NZS 3604 and dimensions drawings to satisfaction of Local Building Authority .2) All timbers as relevant in (a) below shall be Treated No 1. Radiata Pine or NZ Oregon.

- (a) Trusses - To approved size and dimensions as shown on plans and manufactured by

LOCATION		SIZE mm x mm	GRADE AND TREATMENT For alternative refer to NZS 3602 or B.R.A.N.Z.S. Bulletins 130 and 175	REMARKS	
ROOF BRACES					
Roof space braces	min	100 x 50)	Treated No 1. Radiata Pine or NZ Oregon	Light roof, on flat at 900 crs max. Battens to manufacturers specs. Unless metal prefinished fascia is used.	
Roof plane braces		100 x 25)			
Ceiling plane braces		100 x 50)			
ROOF TILE BATTENS (or purlins)					
		75 x 50	Treated No1. Radiata Pine or Douglas Fir		
		50 x 50			
Dragon Ties		100 x 40	Treated No1. Radiata Pine		
Eaves Framing		75 x 40	Treated No1. Radiata Pine		
Ceiling Battens		75 x 40	Treated No1. Radiata Pine		
INTERNAL DOORS					
Jambs		25mm	(or by agreement		
Skirtings		60 x 10mm			

GENERAL FRAMING: *or 20x45*

All framing to be 94 X 47 Radiata Pine, or NZ Oregon. Top and bottom plates to be same size as studs in long lengths, halved or nail plated at wall junctions and jointed over studs. All studs at 600mm c.c. Provide two (2) rows of dwangs to full height each wall unless otherwise stated on drawings.

Studs @ 400cns on lower storey of 2

WALL BRACING:

Provide all wall bracing as shown on drawings and wall bracing calculation sheets as is intended to satisfy the NZBC. keep strictly to the "Type", Lengths and Locations shown on plan and elevations.

WALL LININGS:

Generally shall be of 10mm Gibraltair Board and shall be fixed to external walls only after placement of thermal insulation. All wall linings to be nailed or fixed as per manufacturer's instructions and stopped to manufacturer's instructions; in particular where contributing to wall bracing.

ROOF CONSTRUCTION: (See Drawings and Schedules of timbers for types)

Trussed Roofs: Drawings showing clearly the type, pitch, span, spacing and overhangs of roof trusses and details of roof cladding shall be provided to the truss manufacturer GANGNAIL NZ LTD or an approved agent to allow him to comply with Clause 10.2 of NZS 3604. Thereafter, the Contractor shall match construction with the drawings and details provided by the truss manufacturer throughout all stages of fixing and bracing. The Contractor shall especially accord with the manufacturer's instructions for tying down where over-hangs exceed 750mm. In all cases anchorage of all trusses to plates shall be with not less than 2/100mm skew nails plus 2/4.9mm wire dogs.

Wind straps may be used.

PURLINS, EAVES, GABLE ENDS:

Size of framing, spacing, overhangs and sheathing type as shown on plan.

FASCIA BOARDS ETC.:

Fix fascia, barge, frieze etc., to suit roofing selected (See ROOFING CONTRACTOR).

POST AND BEAMS:

Where within maximum permitted by NZS 3604 secure in equivalent manner and with equivalent materials as in *section 9*

EXTERIOR WALL COVERINGS:

- (a) Breather type building paper and masonry veneer shown on drawings shall be as given under "BRICKLAYER" Other exterior wall covering shown on the drawings and mentioned in Section 11 of the NZS 3604 should be fixed in accordance with all requirements therefore. Should the owner specify overwide boards and any finish other than paint and not adequately maintain, the responsibility for any resultant poor performance should not be apportioned to the "Contractor".

NOTE 2. Reference is made to wood cellulose flat sheets in NZS 3604 and should be taken to include such sheets that can be purchased with various finished already applied, e.g. aggregate finish or imitation stone work and brick work finished, as well as where sheets are used as a base for in situ finished.

- (b) Other exterior wall coverings shown on the drawings shall be

.....
fixed in accord with

.....
and finished with
.....

EXTERIOR JOINERY:

All windows shall be to NZS 4211 to suit location.

- (a) Aluminium Joinery

Provided p.c. sum of \$..... for windows and glazed doors to size, type and location shown on plan. Obtain Joinery from

..... complete with glazing, frictional restraints and catches, and fix plumb both ways and in correct alignment and flash all in accord with manufacturer's instructions. Sliding patio doors shall be safety glazed and fixed to timber sub frames as per Code. Reveals to be clear.

- (b) Timber Joinery

Unless otherwise specified sashes and frames shall be of Radiata pine treated to the requirements of the Timber Preservation Authority, primed before leaving the factory, and to sizes and type shown on plan. Fix window frames plumb both ways to wall framing at not more than 750mm intervals with full width folding wedges, or to heart Totara dovetailed grounds in masonry walls. Cut all facings and scribes to fit neatly and fix quadrant under external sills. provide and fix standard galvanised steel flashings unless otherwise specified. Hang all ashes as required with suitable hinges or frictional restraints and fix stays and catches as supplied under P.C. sum (see Hardware).

Not finger jointed

DOORS & FRAMES (TIMBER):

External door frames shall be of 40mm full width material rebated, and internal shall be 40mm rebated or 25mm material with 12mm planted stops. Doors shall comply with NZS 1158, where external shall be framed, ledge and braced or timber or glass panel as shown on drawings, all properly constructed with stiles and rails out of 50mm material. Internal doors shall not be under 40mm hollow-core faced with plywood or hardboard with clashing strips fixed to lock stiles. All timber core material shall be treated and doors shall be of approved manufacture. Doors over 1400mm in height shall be hung on one and one half pairs of 100 x 70mm antique butt hinges.

Aluminium exterior door system may be used. (Refer client)

CEILINGS:

Gibraltar Board: Fix painting quality 10 mm gibraltar board to joists and rafters with 30mm flat head galvanised clouts, with nails punched and stopped and all joints flushed up to a true even smooth surface. In particular fix all ceilings serving as structural ceiling diaphragms under terms of NZS 3604. (See Winstone (Auck) Ltd. taped joint system) Check that each wall under or connected to has adequate bracing for a diaphragm.

Gib may be screwed in place.

WARDROBES:

To be lined full height. Provide inside each with 300 x 25mm full width shelf at 1.7m from floor and 20mm galvanised pipe coat rail at 75mm below shelf.

Set slider heads @ 2.2m to enable shelves to be incorporated.

LINEN & COAT CUPBOARDS:

Lined full height inside and to have 25mm shelving. Full depth for linen at approximately 400mm c.c.

KITCHEN CUPBOARDS:

Construct cupboards and dresser unit to sizes shown on plans, with doors and shelves to Owners approval.

SINK TOP: *(Prefer client)*

Provide for standard sink top. Unit to have standard 450 x 300mm stainless steel sink. *(Minimum)* Fix on unit either indicated on plan or to Owner's final approval. Units to be generally 900mm high and 600mm in depth, 100mm toe space. provide flush cupboard doors to front and shelving to approval. Timber used in doors to be approved by Owner.

HOT WATER CUPBOARD:

To be constructed where shown and fitted with slat shelving above cylinder spaced at 15mm apart. provide two flush doors with thermostat boxed in. Cylinder to be restrained.

Prefer client re H.W. system required

ARCHITRAVES, SKIRTINGS ETC.:

Finish at junction of floor and wall with 75 x 12mm or 60 x 10mm skirtings neatly mitred at angles and scribed to floor. Supply and fix beads, half rounds and where required scotia mould at ceiling junction and all trim as required to complete the work.

BATHROOM:

Provide and fix in bathroom one vanity with mirror wall mounted over. Bath to be built in and supported with 75 x 50mm framing on edge. Fix bath panels as agreed by Owner. Allow for toe space. All wall linings other than Gibraltar board to be fixed to manufacturer's specification. Provide for all sanitary fittings shown on plan and given under "Plumber".

METER RECESS:

Provide recess for Electric Meter Board where directed to the satisfaction of the Local Electric Supply Authority.

MANHOLE:

Provide manhole in ceiling where directed. (Generally in garage.)

HARDWARE:

Allow for the supply of all hardware required. Door handles, locks, window fittings, door and drawer pulls, stops, angles, vents, towel rails etc. Allow to take delivery and fix.

ROOFING CONTRACTOR

PRELIMINARY & GENERAL

Read and note all clauses under Preliminary and General of this specification where they apply to this trade. (Also see Plumber).

ROOF FRAMING AND WALLS:

Roof framing shall provide adequate support and fixings for purlins (roofing battens). No member shall be overloaded by landing heavy, localised, stacks of cladding on them prior to such loading until roof cladding is complete and wall linings subsequently fixed. In roof types (B) and (C) of timber schedule, the size of purlins if not shown or stated shall be such as to accommodate the required thickness of thermal insulation to comply with the bylaws; advise and agree with Owner.

ROOFING UNDERLAY:

Underlay shall be breather type building paper to NZS 2295. Run horizontally with upper sheets lapped 75mm over lower sheets and with bottom edges turned over fascia into gutters. Such underlay shall be provided under all metal roofs and be adequately supported unless self-supporting type.

Where other roof claddings are specified and where at less than 12-1/2 degree pitch undertake all work in accord with a method approved in writing from the cladding manufacturer for the particular job.

PREPARATORY WORK:

Provide all gutters, valleys and underflashings before cladding commences. Except where stated, valleys shall be of 0.6mm galvanised steel at least 400mm wide with folded edges and with lower end finishing well into spouting. Use 0.7mm aluminium valley for aluminium roofing. For profiled metal roofing set out purlins to give reduced span at eaves and between top purlin and ridge as recommended. For tiled roofs provide anti-ponding boards at eaves as shown to support building paper. Allow tiles to adequately project into spouting and set out so that when laid there is a full height course of tiles both at eaves and ridge.

Ensure all edges of roof cladding are adequately supported around projection such as pipes, ducting and roof lights.

SARKING TO ROOFS, DECKS AND GUTTERS:

Profiled metal roofing shall not be laid at less than 5 degree pitch except where shown and only when adequately supported by hit-and-miss type sarking or full sheet sarking so as to prevent ponding.

Sarking for roofs, decks and gutters that are to be covered by Nuralite or Butynol shall be of material and fixed in a manner approved by the manufacturer.

Roofing Contractor - Continued

ROOF CLADDING MATERIALS AND COMPONENTS:

Roof cladding shall be: MONIER TILE : COLORTILE : COLORSTEEL .

.....
(nominated colour and type), manufactured by

.....
Materials selected shall be set out and fixed by approved FIXERS and all shall accord with the manufacturer's specification and in all cases with NZS Specifications or others where appropriate i.e.-

NZS 3403: 1978 Hot-dipped galvanised corrugated steel sheets for building purposes.

NZS 3441: 1978 Hot-dipped zinc-coil steel coil and cut lengths.

NZS 4206: 1973 Concrete interlocking roofing tiles.

NZS 4217: 1980 Pressed Metal Tile Roofs.

BS 4300/6: NS31 sheet and strip (Part 6 is one of a series covering wrought aluminium and aluminium alloys).

Thickness of materials unless otherwise specified shall not be less than the following:-

Aluminium cladding, valleys and flashings	0.7mm
Galvanised steel cladding, spouting, downpipes and overflows	0.6mm
Copper flashings, gutters and sumps	0.6mm
Lead flashings to small diameter vent pipe with P.V.C. flashing cone	1.7mm
Other lead flashings and soakers	2mm

UNPAINTED GALVANISED STEEL ROOFING:

Areas which are inaccessible for maintenance such as laps in the roofing cladding and between cladding and metal flashings and capping shall be primed and top coated on both surfaces before fixing.

FACTORY PREFINISHED MATERIAL:

Treat all such material with great care and obtain matching colour for making good minor damage and covering fixings made through the face of the claddings.

CAPPING AND OVERFLASHINGS (ALSO SEE PLUMBER):

Adequately and neatly secure all ridging, capping and overflashings wherever needed to make and keep roof watertight. As much as possible use only materials compatible with the roof cladding. If dissimilar metals are used keep from making contact.

Sealants shall not be used except where approved. Remove all traces of flux after welding, soldering or brazing. Do not leave swarf, broken rivets, screws, nails or waste metal on roof, nor in gutters or spouting.

PLUMBER.

PRELIMINARY & GENERAL:

Read and note all clauses in the Preliminary and General of the specification which shall apply to all work in this section. (ALSO SEE ROOFING CONTRACTOR) All plumbing work to comply with the requirements of the NZBC refer to sections G1-G4 and G10-G15.

GENERAL:

Inclusion of roof flashings, provision of roof drainage and other general flashing requirements in this section shall mean that all shall be of the quality expected of work customarily done by plumbers. The foregoing shall apply whether or not the ROOFING CONTRACTOR employs a plumber to execute or supervise, or if the builder himself fixes flashings to windows and external doors. no connections to sanitary fittings or main shall be made except by a Registered Plumber.

FLASHINGS:

Wherever possible use flashings that are readily available but purpose-made by the roof cladding manufacturer to suit the roofing material and profile selected. otherwise provide flashings as recommended but not supplies by cladding manufacturer and adequately secure. Flash whenever needed to make and keep roof watertight. prime and topcoat both surfaces at laps with galvanised steel.

SPOUTING AND DOWNPIPES:

Spouting shall be that manufactured by the roof cladding manufacturer, or standard 125mm quadrant type galvanised steel, or approved white P.V.C. Provide and fix as recommended with even fall to downpipes. provide all necessary stopped ends, mitred returns and outlets and ensure all joints in metal spouting are adequately soldered or welded, or for P.V.C. are made with solvent comment except where joints provide for thermal movement. Connect outlets to 80mm diameter downpipes fixed at not more than 1200mm centres. Downpipes to discharge stormwater into soakways or street channel, NOT into foulwater drainage system.

GENERAL PLUMBING SYSTEM

- (a) Cold water be obtained from a Local Authority main normally providing adequate water pressure and volume.
- (b) Water heating is to be mainly by means of a low-pressure thermal storage electric water heater; with cold water feed into Hot Water Cylinder through a roof mounted 30 litre water storage tank complete with ball cock & seismic restraint OR Pressure Reducing Valve. *Gas operated system may be used (Prefer specs)*
- (c) Cold and hot water supply to ALL fittings is assumed to be 12mm nominal bore pipes with temperature-compensating mixer valve to shower to reduce severe temperature changes when taps are turned on or off elsewhere in house. This practice is now common in many areas having reasonable water pressure. Check if permitted and satisfactory in your area and discuss alternative methods of reducing shower temperature fluctuations (by pipe sizing and positioning) with plumber.

COLD WATER SUPPLY:

Tap off from mains service pipe in20..... mm
COPPER/POLYBUTYLENE/POLYTHENE (polythene). Run pipes not less than 450mm below finished ground level to house with entry through or under the wall foundation. Supply and fix a watermeter, box and cover when required by Local Authority.

Provide20..... pipe to hose taps at front and rear of building and to all fittings including hot water cylinder and washing machine. All branches to be short, straight and at as even gradient as possible with easybends used throughout (NOT BELOW FITTINGS). Use only approved connections throughout. All pipes are to be adequately supported, well secured and where possible concealed. When using any form of plastic piping, plumbing to discuss, and provide, means of ELECTRICAL EARTHING with electrician.

HOT WATER SUPPLY

Supply one pressure electrical hot-water cylinder of ...180 / 270..... litre capacity of approved make and type. Provide COPPER or POLYBUTYLENE hot water supply pipes and branches to all fittings including washing machine.

Gas operated system may be used. (Prefer specs.)

TAPS, FAUCETS AND VALVES:

Consult with owner on choice of brands and fixing of all taps, faucets and mixing valves. Provide and fix all other water supply fittings as necessary.

WASTES AND VENTS:

Provide all necessary traps, waste pipe, soil stacks, back vents and terminal vents. Provide cleaning eyes to all waste pipes at junctions and all necessary overflow pipes.

DRAINLAYER

PRELIMINARY & GENERAL:

Read and not all clauses under Preliminary and General of this contract where they apply to this trade. All drainage work to comply with the requirements of the NZBC refer to sections G1 - G4 and G10 - G15.

EXTENT OF WORK:

Work in this section of the contract comprises all surface and foul water drainage up to above ground level to connect to Plumber's work. Include all pipes and specials, fittings, construction of manholes, all gully traps and connections for terminal vents, soil and waste pipes. The Drainlayer shall confer with the Plumber and shall arrange with the Contractor before the foundations are laid to fix the exact position of all connections of wastes and drains.

STANDARD OF WORK:

The whole of this work shall be carried out by experienced tradesmen to the satisfaction of the Owner or agent. The Contractor shall allow accordingly should conflict exist and arrange for all tests.

MATERIALS:

All materials shall be the best of their respective kinds, in sound condition and free from any imperfections. Drains shall be diameter first class P.V.C.

CONNECTION TO EXISTING DRAINAGE:

The Drainlayer is responsible for verifying the position and depth of the connection and commence laying his drains from this point.

DRAIN TRENCHES:

The excavation of trenches for drains shall be accurately made with base clean and true to grade so that no necessary filling as required. Adequate width shall be allowed in accordance with depth of drain to enable laying and joining to be properly carried out. Trenches shall be kept firm and dry and shall be opened up only in lengths that can be protected, utilised and refilled within a reasonable time.

LAYING OF DRAINS:

All drainpipes shall be laid in accordance with regulations mentioned in the general clause. Jointing shall be by solvent method. Build in all fittings as work proceeds, bedding in concrete as necessary. Grades in accordance with regulations.

FITTINGS:

The plan shows the layout of the system. Additional fittings that are normally required, such as inspection points and inspection bends etc., that may be required but are not specifically shown must be allowed for by the Drainlayer to comply with normal practice under the regulations or special requirements of Local Council.

FALL IN DRAINS:

The whole of the soil and stormwater drains are to be laid to a regular and even fall.

GULLY TRAPS:

Supply all gully traps and securely bed and build up with 5:1 concrete surround, 150mm above finished ground levels. Form large and deep dishings and finish the surface with blue metal, dust and cement, one to one and steel trowel smooth. All gully traps are to be fitted with large cast iron gratings and also a grating or perforated plate above the wastes discharging onto it.

COMPLETION:

Properly backfill all trenches, consolidate as filling proceeds and leave area in a tidy state.

SOLID PLASTERER

PRELIMINARY AND GENERAL:

Read and not all clauses under Preliminary and General of this Specification where they apply to this trade.

Solid Plasterer - Continued

WORK INCLUDED:

The solid plastering of all interior floors, if on plan, and the front and back porches, slabs and steps, also terrace if shown.

MATERIALS:

- | | |
|----------------|--|
| Cement | - shall be as specified under "Concretor". |
| Sand | - shall be to NZS 3103 Sands for Mortars, Plaster and External Renderings. |
| Hydrated Lime | - shall be mill hydrated of an approved brand. |
| Bonding Agents | - if used shall be in accordance with maker's instructions. |

WORKMANSHIP:

All best trade practice and generally where plastering is required by drawings it shall mean finishing to 12mm thickness with a mix of one part cement to three parts sand with 10% of hydrated lime added and finished to a straight and even surface with a wood float.

FOUNDATIONS:

Concrete foundation walls shall be prepared by removing projections, making good any defects and finishing with a dash coat of 1 to 3 cement and sand applied to give a regular and satisfactory coverage.

CONCRETE FLOOR (MAIN - See Plan):

Co-operate with Concretor and allow for plastering of main floor. Float up to true level and steel float finish to remove pattern. Do not over-trowel. A hard dense finish is required.

PORCH AND STEPS AND TERRACE (If Shown):

Plaster up in one operation. One coat 12mm thick to terraces and porch slabs, 12mm thick to verticals and sides etc. Wood float up then give light sweeps with steel float to remove blemishes.

COMPLETION AND CURING:

Leave all work complete and clear away all plaster droppings. Keep work damp and maintain all finished to completion.

ELECTRICIAN

PRELIMINARY AND GENERAL:

Read and note all clauses under Preliminary and General of this specification where they apply to this trade.

FEES:

The Owner is responsible to pay all fees and charges and obtain all necessary consents for this trade.

SCOPE OF WORK:

Carry out the whole of the electrical installations in strict accordance with the latest Electrical Wiring Regulations.

MATERIALS AND WORKMANSHIP:

All materials used under this contract shall be of approved British or New Zealand Standard Specification. Allow for all materials necessary to complete the contract whether specified or not. All work shall be carried out by a Registered Electrician in accordance with regulations and best trade practice and in a manner which will cause minimum inconvenience to other workmen and the work as a whole. Do all cutting away, drilling etc., and with timber cut the minimum only away for the entry of cables.

CO-OPERATION:

Co-operate with the Building Contractor and other sub-contractors in all phases of work. Give ample notice to enable the Contractor to arrange the necessary void, chase data etc.

COMPLETION AND CONNECTION OF POWER:

Leave work complete. The owner is responsible to arrange for all inspections and tests and for the connection of power to the works. It is the responsibility of the Electrical Contractor to ensure that no delay is occasioned to the job once the contract is completed.

POWER SUPPLY:

The owner shall arrange with the power supply authority for the connection of an underground, or overhead, supply to the residence.

METER BOX:

Provide and install recessed meter box where shown on plan. Confer with Carpenter for trimming same.

MAIN SWITCHBOARD:

Provide and install in recess main switchboard complete with all necessary control and auxiliary equipment.

ELECTRIC STOVE:

Allow the P.C. sum of \$..... for the supply only one of the stove. Provide and fix a 30-amp flush switch for stove and sufficient cable for connection and allow for installation.

NOTE: Separate Hobbs with rangehood & wall oven may be preferred

WATER HEATER:

Allow for the permanent connection of the water heater to the electrical system. Provide and install 3K/W element and thermostat to ...180 / 270..... litres hot water cylinder provided by the Plumber. Refer clause 3 of this section.

or Gas operated system

POWER POINTS:

All wall plugs shall be 230v, 10amp, 3 pin flush type. Generally install plugs 300mm above the floor or 255mm above bench top. Points to washer/dryer space and refrigerator 1200mm from the floor. The exact position of all power points shall be determined on the job by the Owner.

P.C.D. type for shower & washing machine.

LIGHTS:

All lights are to be a mixture of recessed downlights and plastic batten holders. All roses and holders not covered by fittings shall be white. Refer to electrical layout drawing if provided. *Refer client for final layout.*

LIGHT SWITCHES:

Light switches shall be 10-amp, all insulated P.D.L. micro-gap type or equivalent. Where indicated for flush type with plain brakelite flush plate. Fix switches generally 1200mm above the floor.

SPECIAL FITTINGS:

Allow the sum of \$..... for fittings to be selected by Owner.

LIGHT POINTS:

Allow for installing a total of outlets in building.

POWER POINTS:

Allow for installing a total of power points in the building.

PAINTER AND GLAZIER

PRELIMINARY AND GENERAL:

Note all clauses under Preliminary and General of this specification which shall apply to this section of the work.

MATERIALS:

Generally all materials shall be of N.Z. manufacture of approved brands and of the paint selected respective coats shall be of the same brand.

WORKMANSHIP:

All work shall be carried out in accordance with good trade practice. Surfaces shall be clean and properly prepared before coating and work shall be in accordance with Code of Practice NZS 7703 "Painting of Building".

COLOUR SCHEME:

The Owner will select from standard colour charts, colours he will require and Contractor is to allow for picking out sashes, doors, porches or any other reasonable colour change required.

Painter and Glazier - Continued

STOPPING:

After priming, all nail holes or joints are to be stopped and cleaned off before undercoating for painted work and for varnished work, holes etc., are to be stopped with matching putty after first coat of sealer.

PAINTING OF EXTERNAL WOODWORK:

After priming all external woodwork and adjacent metal work such as flashings, spouting and downpipes are to be given one good coat of undercoat followed by finished coat of high gloss paint. priming coat before painting shall be well brushed in and all faces shall be covered, ends of laps and tops and sides of sashes, doors etc.

PAINTING OF INTERIOR SURFACES:

Refer to plan or separate instructions to accompany this specification. Wall board and ceilings as required to be given one coat of sealer and finished with two coats of approved paint finishing flat or semi-gloss as required. Where full gloss is required, such as kitchen and bathroom, finishing coat shall be full gloss enamel.

VARNISHING:

Where varnishing is required such as doors, architraves and skirtings give one coat of approved P.V.A. sealer followed by two coats of clear varnish finishing egg-shell gloss and lightly sanding between coats.

GLAZIER:

Glaze all sashes, glass doors or screen in compliance with the NZBC acceptable solution B1/AS1 Clause 7.1 (NZS 4223) with appropriate weight glass properly fixed and puttied or headed into rebates. Where required glazing shall be selected obscure patterned glass.

MIRROR:

Provide a 6mm plate glass mirror and mount on bathroom wall with mirror clips.

COMPLETION:

The Painter and Glazier is to do all that is required of their trades to leave the work complete and all must be left clean including all glass at completion.



WAIMAKARIRI
DISTRICT COUNCIL

2 December 2004

Our Reference: "PIM Number : 041096 "

HENDRICKUS & LEIGH KOBUSSEN
43A CRIDLAND STREET
KAIAPOI 8252

Dear Sir/Madam

PROJECT INFORMATION MEMORANDUM

Please find enclosed your Project Information Memorandum in respect of the proposed work at 32 ALLISON CRES., KAIAPOI

Prior to **commencing building work**, the applicant must ensure that a Building Consent has been applied for and issued and that any "authorisations" have been obtained and any conditions of the PIM have been verified.

These include:

- The applicant is advised that the issuing of the Certificate of Title is dependant on the final sub-division compliance for this stage being approved. **Building Consent cannot be effected until the sub-division has been completed** to the WDC Sub-Division audit engineers approval
- This property has been identified as requiring a new vehicle crossing. Note that a legal and compliant vehicle crossing will need to be established prior to the erection of a dwelling (Rule 3.3, Waimakariri District Council Vehicle Crossing Bylaw (1997)). A formal vehicle crossing application will need to be submitted (along with a \$60 processing fee) for approval.
- Resource Consent approval **will** need to be sought if the location of the proposed vehicle crossing cannot be located within 1m or greater than 7m any adjacent vehicle crossing, prior to the commencement of any building activity.
- A minimum floor height level of 3.2m above mean sea level, is required for a dwellinghouse on this site, as per the consent notice issued on this sub-division and Proposed District Plan rule 26.1.1.13.

The approval plan attached to this Project Information Memorandum must be included with the Building Consent for the project (when issued). Any significant departure from the original plans may require that a new Project Information Memorandum be issued.

Yours faithfully

Jamie Woods
PIMs Officer

215 High Street
Private Bag 1005
RANGIORA 8254
New Zealand

Phone: (03) 313 6136
or: (03) 327 6834
Fax: (03) 313 4432

Website: www.waimakariri.govt.nz

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Project Information Memorandum [continued]

Project Information Memorandum

Section 31, Building Act 1991

Application

HENDRICKUS & LEIGH KOBUSSEN 43A CRIDLAND STREET KAIAPOI 8252	No. Issue date Application date	041096 2/12/04 12/08/04
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Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages NEW DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$265,000
Location	32 ALLISON CRES
Legal Description	Lot 186 R015451
Valuation No.	2161122220

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- Information identifying relevant special features of the land concerned
- Information about the land or building concerned notified to the Council by any statutory organisation having the power to classify land or buildings
- Details of relevant utility systems
- Details of authorisations which have been granted
- Notification of any other authorisations which must be obtained before the proposed building work may be undertaken

All boundary survey pegs are to be located by discovery or redefinition and flagged before work is commenced.

No part of the structure is to exceed the Councils recession plane.

Any inbuilt or freestanding heater to be installed in this dwelling should be clean air approved.

The certificate of title may make reference to land covenants - a copy of which should be submitted with the Building Consent application.

A current copy of the certificate of title is to be submitted with the building consent application.

Attached is the ordinance relating to the minimum floor height requirements for this area.

This project Information Memorandum does not purport to be a full report on every aspect of the property which is likely to be relevant to the building works proposed. It is information that is known to the Council at the date of the issue of this memorandum. It is issued pursuant to Sections 31 and 47 of the Building Act 1991.

INFORMATION IDENTIFYING RELEVANT SPECIAL FEATURES OF THE LAND

Wind Zone Medium
Earthquake Zone B
Snow Load Zone 4

Comments:

Minimum Floor Levels:

A consent notice on this property has been issued with a minimum floor height level of 3.2m above mean sea level. Proposed District Plan rule 26.1.1.13 also requires a minimum floor height level of 3.2m above mean sea level. A RL maybe obtained from an adjacent manhole on the "As-Built" sewer Plan.

Fill:

WDC records indicate that fill was placed during sub-division development. Statement of Earthfill Suitability, penetrometer and ND test results attached.

Attachments:

Davis Ogilvie Statement of Earthfill Suitability, penetrometer tests results and Natural Density test results.

Consent Notice

Proposed District Plan rule 26.1.1.13

INFORMATION ABOUT THE LAND OR BUILDINGS NOTIFIED TO THE COUNCIL BY ANY STATUTORY ORGANISATION HAVING THE POWER TO CLASSIFY LAND OR BUILDINGS

None applicable

Comments:

Attachments:

Nil

DETAILS OF RELEVANT UTILITY SYSTEMS (administered by the Waimakariri District Council)

Sewer

Is a connection to a public sewer scheme available?

Yes

If yes, which public sewer scheme?

Eastern Districts

Is the property already connected?

No

Connection Fee

\$****

Capital Charge

\$****

Inspection Fee

\$****

Comments:

Connect to service lateral provided by the developer.

Please complete the attached Application to Connect to the Council's Infra-structure (Sewer) form (attached) to register your intention to connect

The reticulation shall gravitate to the existing main located in Allison Crescent.

Water

Is a connection to a public water supply available?

Yes

If yes, which public water supply?

Kaiapoi

Is the property already connected?

No

What size connection is in existence?

Connection Fee

\$****

Capital Charge

\$****

Comments:

Connect to service lateral provided by the developer

4 Project Information Memorandum [continued]

Notes:

Water connections to property boundaries are installed by the Council after the receipt of charges payable.

A capital charge is payable where the property has not previously paid water rates.

Stormwater

Is a connection to a public drainage system available?

Yes

Is the property already connected?

No

Discharge point: kerb & channel

Connection Fee

\$****

Capital Charge

\$****

Inspection Fee

\$****

Comments:

Connect to service lateral provided by the developer

Notes:

Stormwater connections must be installed by registered drainlayers. It is the property owner's responsibility to arrange connection. New connections to drainage systems must be inspected and approved by the Council prior to backfilling.

A trench opening permit is required if crossing a footpath.

A Capital charge is payable where the property has not previously paid urban drainage rates.

Attachments

"As Built" service lateral location

DETAILS OF AUTHORISATIONS THAT HAVE BEEN GRANTED

Resource Consents:

Resource Consent 015451

Resource Consent 025256

Resource Consent 045319

Comments:

Resource Consent 015451:

Staged 233 residential sub-division

Resource Consent 025256

To undertake earthworks in conjunction with subdivision.

Resource Consent 045319 (Land Use Consent to allow 1.8 m fencing)

Attachments:

Resource Consent 015451

Resource Consent 025256

Resource Consent 045319

DETAILS OF AUTHORISATIONS THAT MUST BE OBTAINED BEFORE BUILDING CAN COMMENCE:

Sub-Division Completion:

The applicant is advised that the issuing of the Certificate of Title is dependant on the final sub-division compliance for this stage being approved. Building Consent cannot be effected until the sub-division has been completed to the WDC Sub-Division audit engineers approval.

Verification of Minimum Floor Height:

A consent notice on this property has been issued with a minimum floor height level of 3.2m above mean sea level. Proposed District Plan rule 26.1.1.13 also requires a minimum floor height level of 3.2m above mean sea level. A RL maybe obtained from an adjacent manhole on the "As-Built" sewer Plan.

Vehicle Crossing Location:

Resource Consent approval will need to be sought if the location of the proposed vehicle crossing cannot be located within 1m or greater than 7m any adjacent vehicle crossing, prior to the commencement of any building activity.

Comments:

Earthworks:

Sub-Division Earthworks for this stage was confined to minor re-shaping of top-soil.

Vehicle Crossing Approval:

This property has been identified as requiring a new vehicle crossing. Note that a legal and compliant vehicle crossing will need to be established prior to the erection of a dwelling (Rule 3.3, Waimakariri District Council Vehicle Crossing Bylaw (1997)). A formal vehicle crossing application will need to be submitted (along with a \$60 processing fee) for approval.

Attachments:

Vehicle Crossing Application form

DETAILS OF VEHICLE CROSSING (ENTRANCEWAY), TYPE OF FRONTAGE AND TRENCH OPENING PERMIT

Vehicle Crossing (Entranceway)

Is formation of a vehicle crossing from road edge to property boundary required? Yes

Type of access required: Urban

Comments:

This property has been identified as requiring a new vehicle crossing. Note that a legal and compliant vehicle crossing will need to be established prior to the erection of a dwelling (Rule 3.3, Waimakariri District Council Vehicle Crossing Bylaw (1997)). A formal vehicle crossing application will need to be submitted (along with a \$60 processing fee) for approval.

Notes:

The Council requires that a vehicle crossing (entranceway) meeting Council specifications be constructed from the formed roadway to your entranceway. Vehicle crossings must be completed to base course stage prior to the commencement of building activity. Final surfacing can be completed once all building construction is substantially finished. Between the initial construction and final surfacing of the vehicle crossing, it must be kept in good condition to allow the safe passage of pedestrians.

Type of Frontage

Sealed road, Grass berm, Kerb & Channel, Footpath

Notes:

During the construction period an any time prior to the issue of the Code Compliance Certificate, any damage noted to the grass berms, kerb and channel, footpath or adjacent roadway as applicable will be repaired by the Council and the cost charged to the owner.

Trench Opening Permit

Is a trench opening permit required?

Yes

Comments:

The Trench Opening is included as part of the above Vehicle Crossing Application.

Notes:

Final sealing of trenches in sealed roads and footpaths will be carried out by the Council at the property owners expense. A trench opening permit from Council is required for ALL trenches within the road reserve or on other public land.

This project information memorandum is confirmation that the proposed building work may be undertaken subject to the provisions of the Building Act 1991 and any requirements of the building consent not yet approved.

Signed for and on behalf of the Council:

Name:

Date:



215 High Street
Private Bag 1005
RANGIORA 8254
New Zealand

Phone: (03) 313 6136
or: (03) 327 6834
Fax: (03) 313 4432

Website: www.waimakariri.govt.nz

2 December 2004

Our Reference: "PIM Number : 041096 "

HENDRICKUS & LEIGH KOBUSSEN
43A CRIDLAND STREET
KAIAPOI 8252

Dear HENDRICKUS & LEIGH

Owners Responsibility for Vehicle Crossing
(32 ALLISON CRES., KAIAPOI., PIM 041096)

This letter is a courtesy only to highlight your responsibility as owner or occupier to install a vehicle crossing (entranceway) before starting a building project.

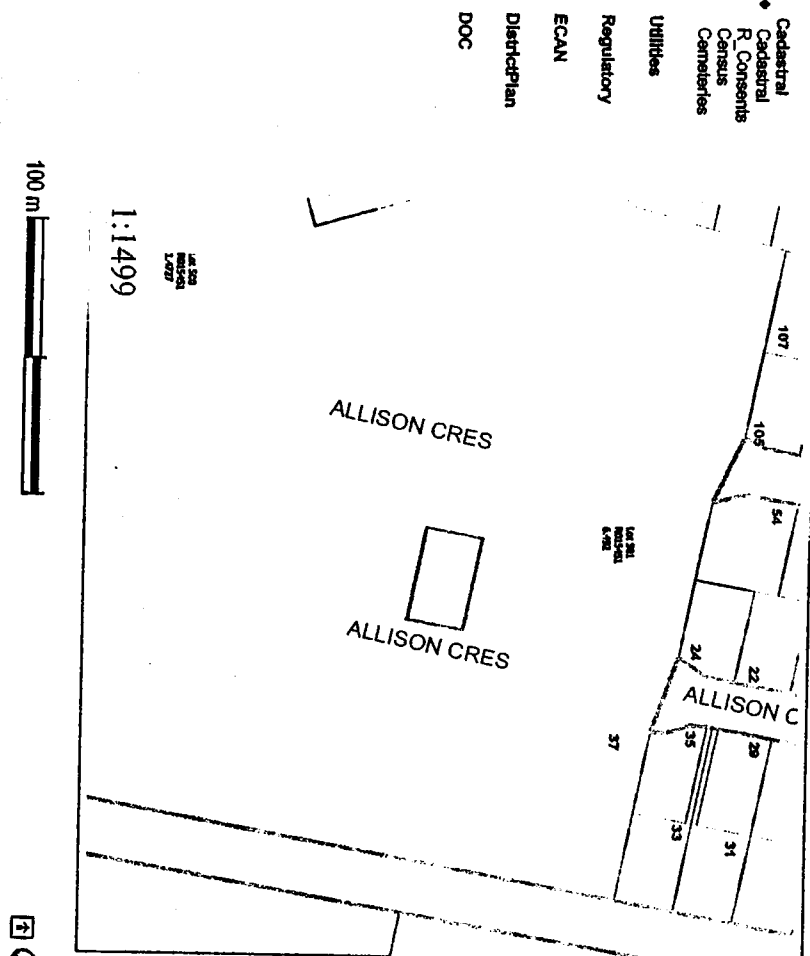
We have recently processed a request for a Project Information Memorandum ("PIM") from you for a major building project. In the PIM we said that you will need to apply for a Vehicle Crossing Permit for this project. If you are using an agent such as a building certifier, building contractor, architect or project manager we recommend that you check with them and make sure that an application for this permit is put in to us.

When you carry out a building project we want to make sure that you are not affecting the safety of pedestrians and motorists. We also want to make sure that you do not damage public property. That is why we ask you to apply for a Vehicle Crossing Permit. This gives us the chance to help you locate your crossing safely and make sure it is built to our standard before site work starts.

If you are using a Building company or certifier, please check with them to ensure that a vehicle crossing application has not already been lodged.

As owner or occupier you are responsible for your building project. If you do not locate your crossing properly then:

- You may have to apply for a retrospective resource consent
- You may have to tear up the crossing and build another one in a better location
- You may be fined \$300 under the Resource Management Act 1991



- ▣ Place Names
- ▣ Main Roads
- ▣ Road Names
- ▣ Hydro
- ▣ District Boundary (centred)
- ▣ District Boundary
- ▣ House No
- ▣ Legal Desc
- ▣ Parcel
- ▣ LIMS Rural
- ▣ LIMS Urban
- ▣ Flats
- ▣ Raster

P8

<http://newton/cmap/frameSetup.asp>

2/12/04

If building work starts on your site before a vehicle crossing has been built to our standards then:

- You may have to pay for a vehicle crossing that the Council builds
- You may have to pay for any other damage caused during work on your site
- You may be prosecuted for a breach of the Vehicle Crossings Bylaw 1997 and have to pay a fine of up to \$20,000

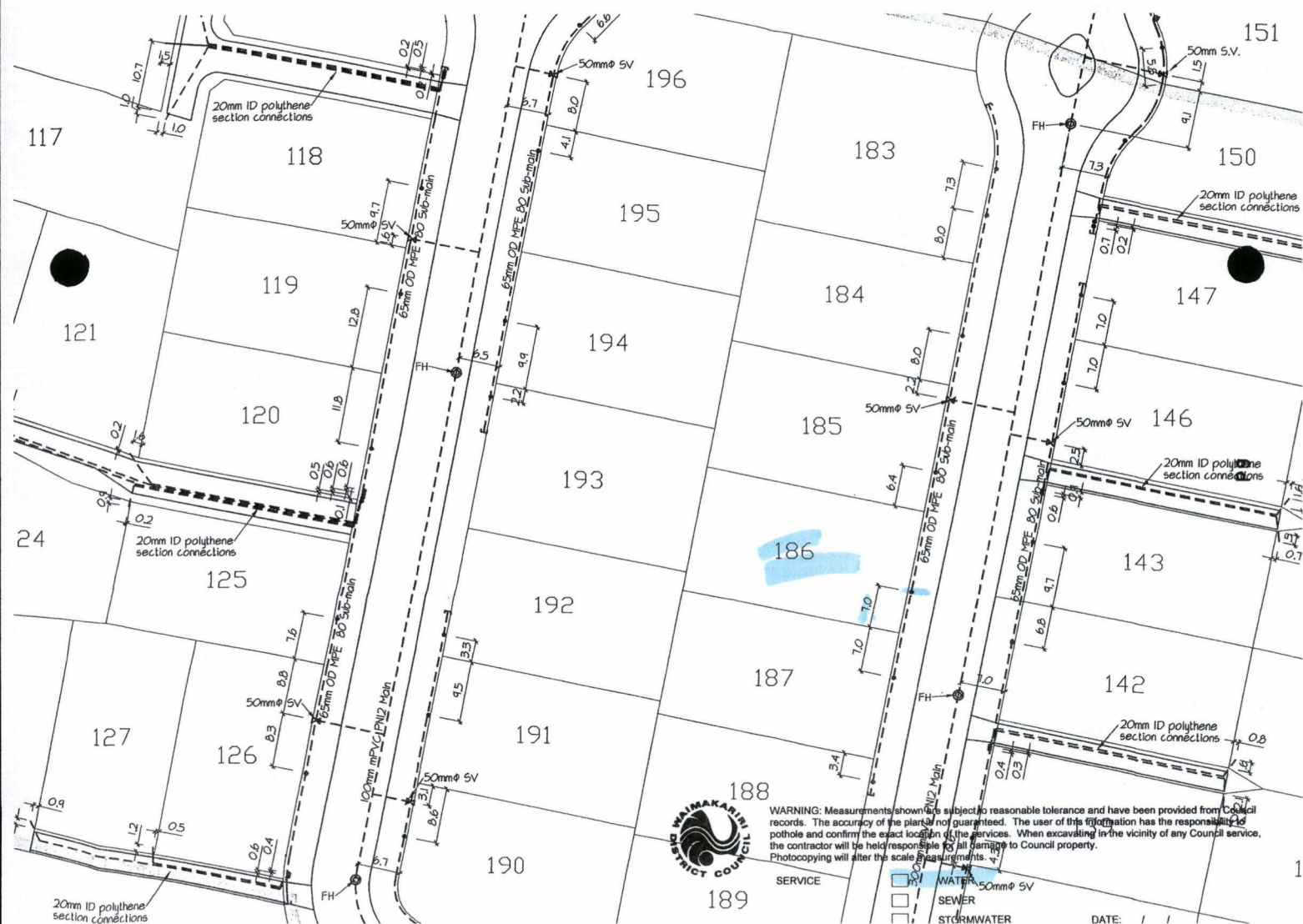
Anyone who accesses your site in breach of the bylaw may also be liable to a fine of up to \$20,000. We also have the option of taking out an Injunction to prevent future breaches of the bylaw which would have the effect of slowing or halting your project.

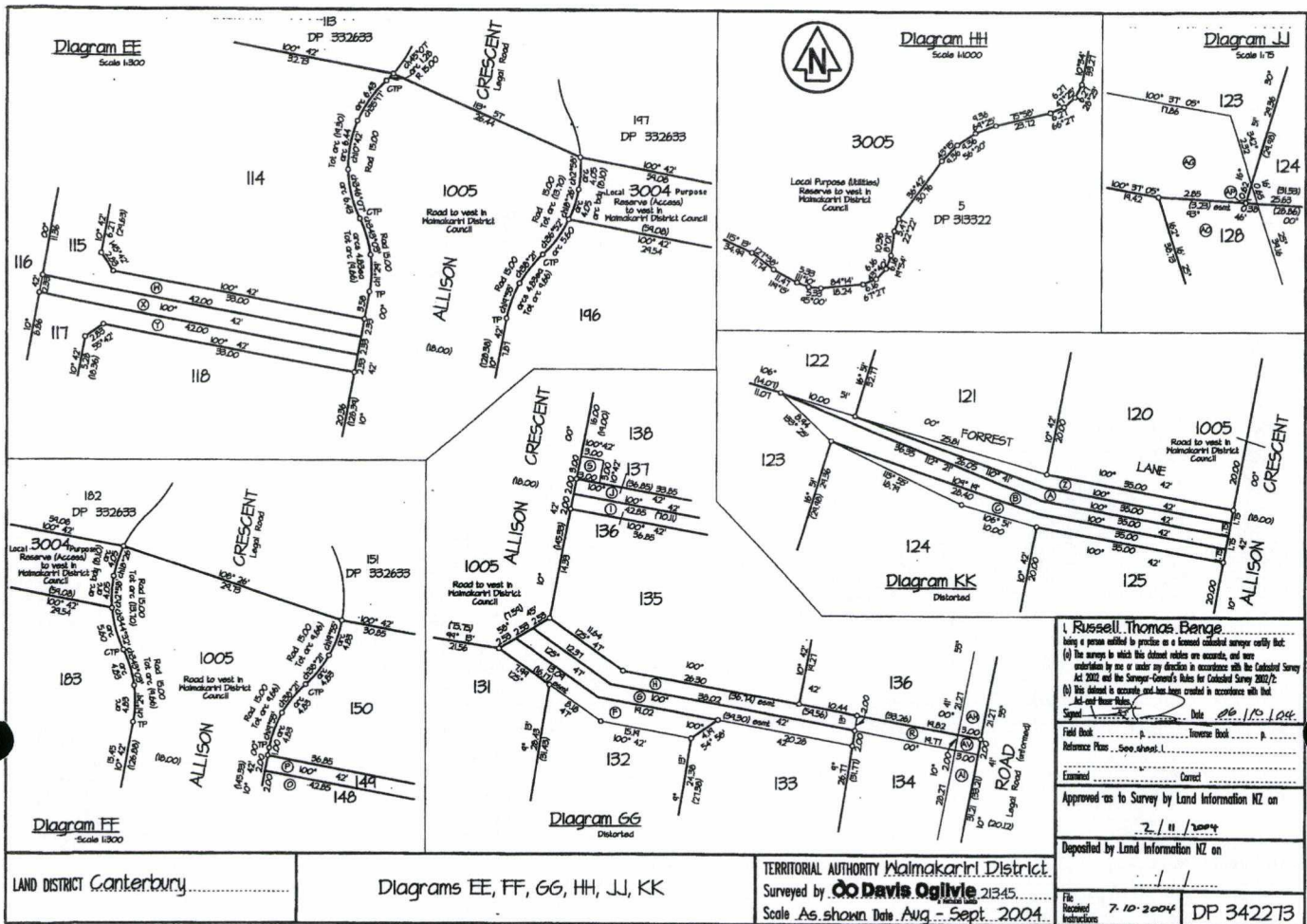
We have provided details about the Vehicle Crossing Permit in your Project Information Memorandum. If you would like further information then contact Customer Services on 313-6136 or 327-6834.

Signed

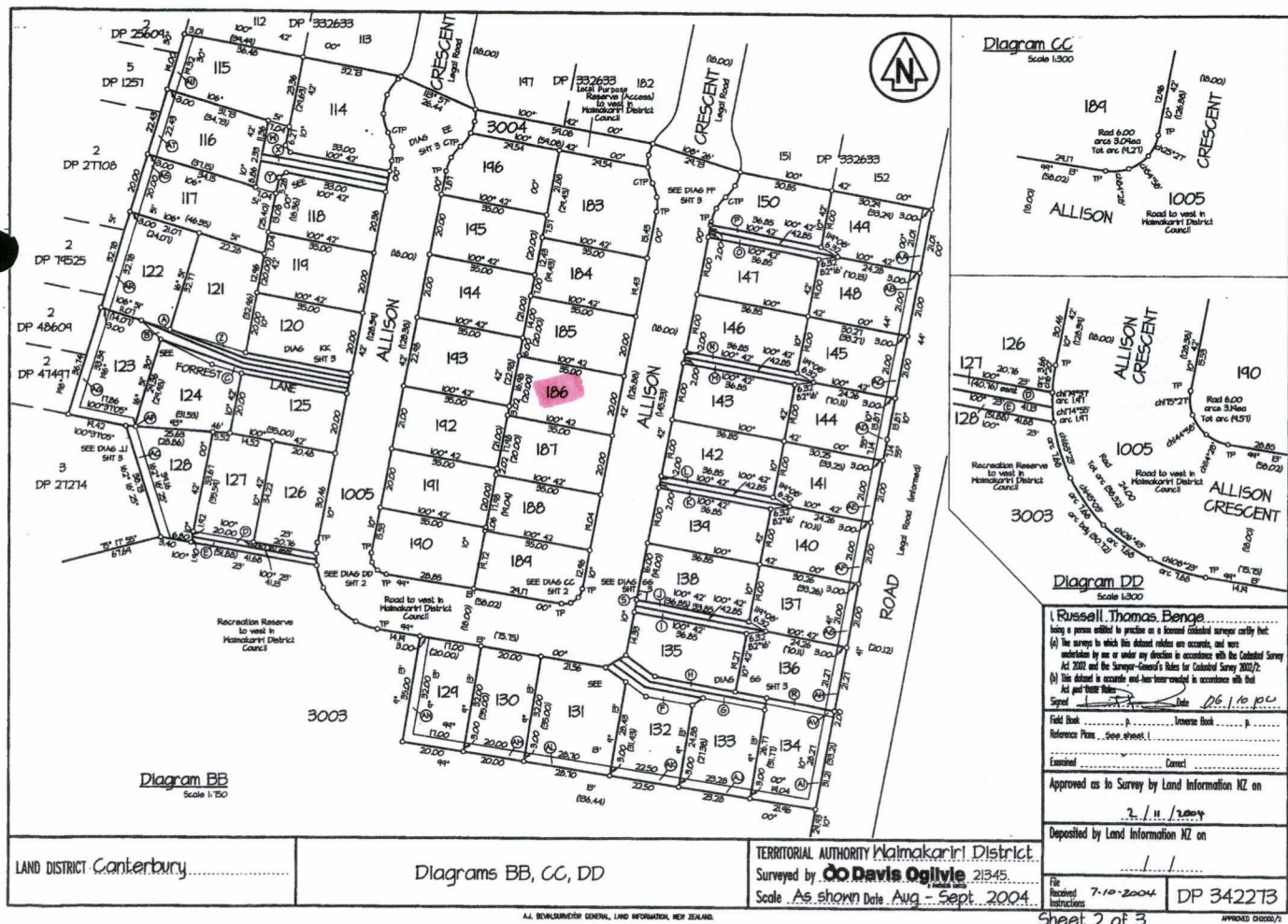
Jamie Woods
PIM Officer

**For Don Young
MANAGER UTILITIES AND ROADING**





P14



P13

WAIMAKARIRI DISTRICT COUNCIL

1. No person is deemed to be adversely affected by the proposal.
2. The environmental effects will be no more than minor.
3. The proposal is not contrary to the objectives and policies of the Proposed District Plan.

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by Meadow Estates for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicants sought a resource consent to erect 1.8 metre high fences within the road and accessway setbacks along the eastern boundary of the site with an uniformed legal road, and along each rights of way providing access to rear lots.

DECISION

The District Plan Manager, on the 18th June 2004, approved:

THAT

pursuant to section 104B of the Resource Management Act 1991 consent be granted to erect 1.8 metre high fences within the road and accessway setbacks along the eastern boundary of the site with an uniformed legal road, and along each rights of way providing access to rear lots at 386C Williams Street, Kaipoi being Lots 4-10, 50-53, 61-63, 57-59, 84-88, DP321808, Lots 97-101, 102-105, 108-109, 110-113, 151-154, 156-159, 160-163, 164-167, DP 332633, Lots 230-233, 227-228, 223-226, 219-222, 215-218, 211-214, 208 and 170 DP 331575 and Lots 114-116, 20-125, 126-128, 131-150 being stages 4 and 5 of a subdivision of Lot 4 DP 313322, Lot 3000 DP 321808 and Lot 501 DP 325932, (RC019451) (Meadow Estates development) as a discretionary activity and the following conditions are imposed under section 108 of the Act:

1. That the activity be carried out in accordance with the attached approved plan.
2. That compliance with the above conditions may be verified by inspection by a Council Officer pursuant to section 35(2)(c) of the Resource Management Act 1991.
3. That should any inspection be conducted under condition 2, the consent holder shall pay to the Council charges pursuant to section 36(1)(c) of the Resource Management Act 1991 to enable the Council to recover its actual and reasonable costs in carrying out the inspections.

REASONS FOR THE DECISION

Pursuant to section 3 of the Act the Council was satisfied that:

Page 2 of 3

Waimakariri District Council
DecisionN:\C:\p\04062100005.doc
21 June 2004

Page 3 of 3

Waimakariri District Council
Decision**DRAFT**

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application by **Meadow Estates Ltd** to subdivide land (Stage 4)

CONSENT NOTICE PURSUANT TO SECTION 221 OF THE RESOURCE MANAGEMENT ACT 1991

TO: The District Land Registrar
Canterbury Land Registry

TAKE NOTICE that the land described in the Schedule below is subject to a condition in relation to a subdivision consent as follows:

1. The minimum floor level for any residential building shall be 3.2m above mean sea level.

The above condition shall be subject to a consent notice pursuant to Section 221 of the Resource Management Act 1991 to be registered on the title of each residential lot.

AND YOU are requested to register this Consent Notice as prescribed by Section 221 of the Resource Management Act 1991.

SCHEDULE

All the land in Certificates of Title 173759 to 173809 (inclusive), Lots 114 – 150 (inclusive) and Lots 183 – 196 (inclusive) D.P.342273.

Dated this day of 2004

SIGNED for an on behalf of the
WAIMAKARIRI DISTRICT COUNCIL
pursuant to Section 252 of the Local Government Act 1974

AUTHORISED OFFICER

WAIMAKARIRI
DISTRICT COUNCIL

- | | |
|--|-------------------------|
| | Business 2 |
| | Residential 2 |
| | Residential 4B |
| | Rural |
| | Localised Flooding Area |
| | Designations |
| | Heritage Sites |
| | Notable Plant Sites |
| | Archaeological Sites |

Note:
These notations do not necessarily indicate the precise position of the Site nor relate to the size of any Site.

- ★ ★ River Reaches
subject to esplanade provisions

50 Average Noise
Exposure Contours:
Christchurch International Airport
Noise Level in dBA Ldn

50

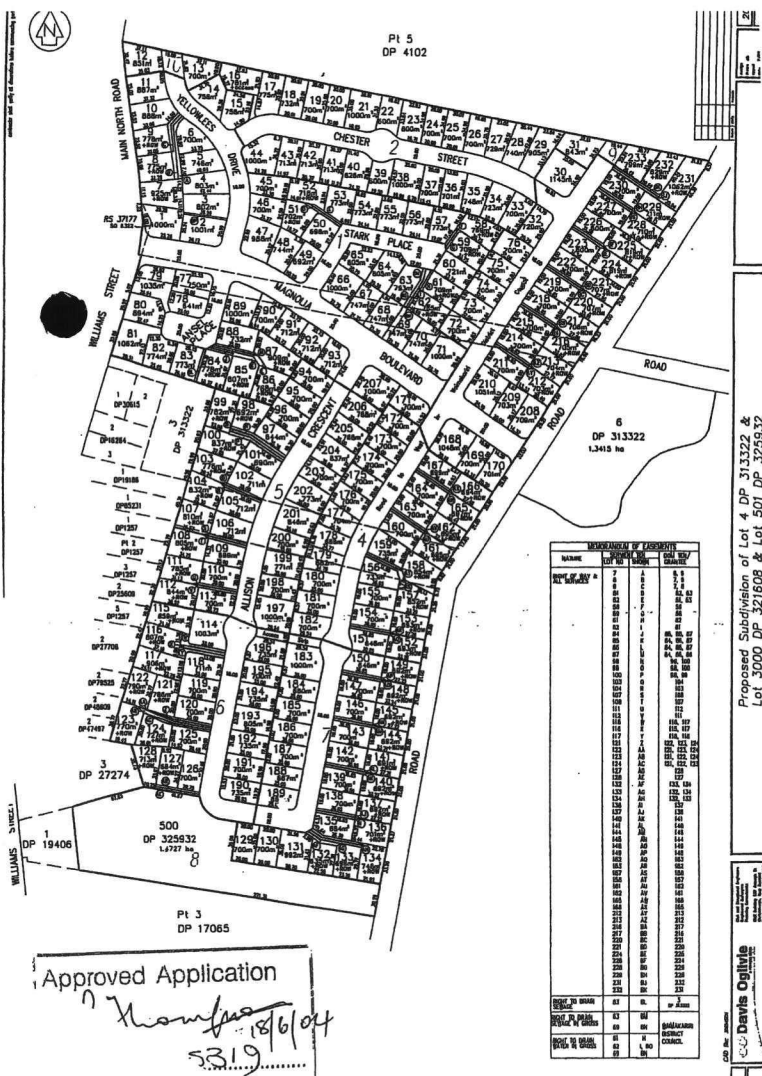
left
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Metres

0 60 120 180
Scale 1:7,500 (A4)

58	101	59
102	103	
104	105	



WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by Meadow Estates Ltd for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicants sought a resource consent for a 233 lot residential subdivision and to erect two dwelling on specified lots.

DECISION

The Unit Manager, Plan Administration on Friday, 30th August 2002 approved:

SUBDIVISION

THAT pursuant to Section 106 of the Resource Management Act 1991 consent be granted to subdivide RS 37177, Pt Lot 3 DP 17065 and Lots 1, 2, 4 and 6 of the subdivision of Pt Lot 5 DP 4102 and Lots 1 and 2 DP 4532, at 488, 608, 608B, 608, 608C, 612 and 614 Main North Road, Katapoi, into 233 residential lots plus lots for reserves and utilities, as a discretionary activity subject to the following conditions which are imposed under Section 108 of the Act:

1. Standards

At all stages of design and construction reference shall be made to the following standards (and their latest amendments) where applicable:

Council Standards

- Waimakariri District Council Engineering Code of Practice.

Other Standards

- Transit New Zealand
- Austroads Guides & Standards
- NZS 4404:1981 Code of Practice for Urban Land Subdivision - Urban Land Subdivision

- NZS4431: 1989 Code of Practice for Earth Fill for Residential Development - Earthfill for Residential Development
- WSA 04-2001 publication, Sewage Pumping Station Code of Australia

2. Easements & Agreements

- 2.1 All services, including open drains and access ways, serving more than one lot or traversing lots other than those being served and not situated within a public road or proposed public road, shall be protected by easements. All such easements, together with any amendments to the easements found necessary during the final engineering design, shall be granted and reserved.
- 2.2 The subdivider shall provide all necessary easements and agreements for the perimeter bunds and retaining walls and submit these to the Council for approval.
3. Lots to Vest
- 3.1 That roads shown on the subdivision proposal plan 20654 Issue A dated 7/02 shall vest in the Council as road.
- 3.2 That proposed Lot 6 RC025226 as shown on the subdivision proposal plan 20654 Issue A dated 7/02 shall vest in Council as reserve.

4. Contribution and Fees

- 4.1 Pursuant to Section 283 of the Local Government Act 1974 the subdivider shall pay the following services upgrading capital contributions to the Council calculated as follows:
 - (a)(i) For the 215m length of water main along Beach Road east from the Council's proposed new pump station, the Council will install a new 375mm diameter water-main pipe at a cost of \$108,237 x 1.125 = \$ 121,766.63 including GST. The subdivider shall pay 18% of this work being \$21,918.00 including GST.
 - (ii) The subdivider shall pay 18% of the total cost of other water-main construction work from Damley Square to the new Beach Road pumpstation.
 - (b)(i) The Council will install a new Mooredcroft dedicated 160mm diameter sanitary sewer rising main pipe for the approximate 200m length of sanitary sewer rising main along Beach Road from the paper road intersection westwards to the Council's proposed new sanitary pumpstation at an estimated cost of \$44,099.00 including GST. The subdivider shall pay 100% of this work.
 - (ii) The subdivider shall lay & connect their own sanitary rising main in accordance with the approved plans and specifications from their sanitary pumpstation southwards to connect into the Council rising main pipe to be installed.

WAIMAKARIRI DISTRICT COUNCIL

IN THE MATTER of the Resource Management Act 1991

AND

IN THE MATTER of an application lodged by Meadow Estates Ltd for a resource consent under Section 88 of the aforementioned Act.

APPLICATION

The applicants sought a resource consent to undertake earthworks.

DECISION

The Unit Manager, Plan Administration on Wednesday, 31st July 2002 approved:

THAT pursuant to Section 106 of the Resource Management Act 1991 consent be granted to undertake earthworks at 608, 608B, 608B, 608C, 612 and 614 Main North Road and 280 Williams Street, Katapoi being Pt Lot 5 DP 4102, Pt Lot 3 DP 17065, Lots 1-2 DP 4532, RS 37177 as a discretionary restricted activity subject to the following conditions which are imposed under Section 108 of the Act:

1. That the activity be carried out in accordance with the attached approved application plan.
2. Prior to the commencement of any earthworks on the site, a traffic management plan shall be submitted to the Council for approval. The management plan shall include the provision for roadside acceleration and deceleration lanes and means to limit the carrying of soil onto Main North Road.
3. Inspection
- 3.1 That compliance with the above conditions may be verified by inspection by a Council Officer pursuant to Section 35(2)(d) of the Resource Management Act 1991.
- 3.2 That should any inspection be conducted under condition 2.1, the consent holder shall pay to the Council charges pursuant to Section 35(1)(c) of the Resource Management Act 1991 to enable the Council to recover its actual and reasonable costs in carrying out the inspections.

REASONS FOR THE DECISION

Pursuant to Section 113 of the Act the Council was satisfied that the effects on the environment will be minor and the proposal is not contrary to the policies of the Proposed Plan

DATED at Rangiora this 1st day of August 2002


SIGNED by Trevor Ellis
PLANNING OFFICER

- 11.3 The Engineer/Surveyor shall submit a programme of inspection intended to meet the requirements of this clause at the time of submitting the engineering plans and specifications.
- 11.4 The supervising Engineer/Surveyor shall supply to Council a certificate stating that all works and services associated with the subdivision have been installed in accordance with the approved plans and specifications and that the "As Built" plans are a true and accurate record of all works and services as constructed. This certificate shall be supplied at the time of requesting the Section 224c Certificate.
- 11.5 The supervising Engineer/Surveyor shall forward, to the Council, copies of Site Inspection notes for all site supervision visits. These shall be forwarded within five working days of the date of that site visit.
12. Liquefaction & Geotechnical Investigation & Reporting
- 12.1 All earthworks and construction shall:
- (a) Accord with the requirements of the Engineering Code of Practice section 2 Earthworks & Land Stability and the URS report dated 21st August 2002, 51462-001-0200.
- 12.2 The subdivider shall submit to the Council for approval any departure from the considerations and recommendations of the URS report.
- 12.3 The subdivider shall submit to the Council for approval a methodology designed to reduce the water table and thereby the risk of liquefaction on the site. This methodology shall include a detailed description of the methods intended to prevent high water tables, and to protect infrastructure from the effects of liquefaction.
13. Trenching & Backfilling
- The subdivider shall submit to the Council for approval any request to depart from the Engineering Code of Practice with respect to trench backfill material. The Council is prepared to further consider such requests, however, additional assurance would be required prior to the Council considering approval.
14. Earthworks
- 14.1 Where practically achievable, all lots shall be reshaped to slope to the roadside kerb and channel or to the head of the right of way serving each lot, or to an approved outfall.
- 14.2 All earthworks shall be in accordance with NZS 4431, 1989 Earthfill for Residential Development. Where land filling is to be undertaken the areas affected, together with dimensions relative to the created property boundaries, shall be shown on the "As Built" plans to be supplied to the Council.
- 14.3 Any areas of fill or earthworks not certified in accordance with NZS 4431 shall, together with sufficient dimension to locate the feature from property boundaries, be registered on the land transfer title plans and shown on the "As Built" plans.

	North New Lots	Contributions	Total
Water	N/A	\$ 21,818.00	\$ 21,818.00
Sewer 200m rising main	N/A	\$ 44,099.00	\$ 44,099.00
Sewer	233	\$ 636.00	\$ 148,188.00
Stormwater	233	\$ -	\$ -
Subtotal	233 lots		\$ 214,205.00

- 4.2 Pursuant to Section 285 of the Local Government Act 1974 the subdivider shall pay a Reserves Contribution calculated as follows:

Agreed Average Lot Value	\$68,000.00
Value of Reserves Vested	\$0.00
Total Contribution	\$1,157,700.00

5. Road Upgrading Contributions

The Council will contribute to the cost of upgrading the Williams Street frontage of the subdivision, including the western side of Williams Street as required to meet relevant standards & codes of practice.

6. Power and Telephone

An appropriate network utility operator at the subdivider's expense shall provide underground electrical and telephone reticulation to the boundaries of all new dwelling lots, including the main body of rear lots served by either access leg or right of way.

7. Bunds & Retaining Walls

- 7.1 The subdivider shall construct the bund in accordance with the requirements of NZS4431: 1989 Code of Practice for Earth Fill for Residential Development.
- 7.2 The subdivider shall construct the bunds to meet the requirements of the Engineering Code of Practice with respect to batter slope, fill type, placement & compaction and shall topsoil (minimum thickness 75mm) and grass the bunds to a standard to be approved by the Council.
- 7.3 This subdivider shall provide appropriate consent notices to protect all perimeter bunds and retaining walls. These shall be submitted to the Council for approval not later than when each stage's Section 223 plan is submitted for approval.
- 7.4 The subdivider shall provide appropriate consent notices in relation to floor levels on allotments for private ownership. These shall be submitted to the Council for approval not later than when each stage's Section 223 plan is submitted for approval.
- 7.5 The subdivider shall submit to the Council for approval a Monitoring & Maintenance Manual for Floodwater. This manual shall be followed to ensure a monitoring and reporting programme is implemented.
- 7.6 The subdivider shall ensure that no part of the bund for the storage (detention) ponds encroaches on the legal (paper) road.

- 14.4 Where excavated cut material is greater than 200mm in thickness, the subdivider shall undercut and replace with 100mm minimum of compacted topsoil.

- 14.5 The subdivider shall take measures to control silt-contaminated stormwater at all times during earthworks, roading development and installation of underground services. Details of the proposed control works shall be submitted to the Council as part of the engineering plans and specifications, for Council approval.

15. Earthworks Management Plan

- 15.1 Earthworks & construction on the site shall be in accordance with the Earthworks Management Plan to be submitted for Council approval. This plan shall:
- (a) Specifically address the physical aspects of constructing the proposed activity.
- (b) Demonstrate that procedures will be followed to mitigate any adverse environmental effects resulting from the earthworks.
- (c) Detail the performance criteria that will be used. The criteria shall include for the discharge of no silt into waterways.

- 15.2 The Earthworks Management Plan shall include provision for staging the development.

- 15.3 The subdivider shall submit two copies of the Earthworks Management Plan to the Council for approval. Approval of complying documents shall be given in writing and work should not commence until this has been received from the Council.

- 15.4 Any subsequent amendments to the Earthworks Management Plan should be submitted to Council for approval.

- 15.5 The Earthworks Management Plan shall include detailed procedures for managing and maintaining the quality of the outfall flow from the proposed stormwater detention basin.

16. Traffic Management Plan

The subdivider shall submit for approval a Traffic Management Plan (format attached) detailing traffic control works (including sketch layout and control signs). This plan may be submitted at the time of engineering plan approval and shall be submitted prior to work commencing on or in the road reserve Williams Street. Traffic Management shall be to Level 1, as described in the TNZ & LTSA Code of Practice for Temporary Traffic Management.

17. Hours of Work

Hours of work shall be restricted to between 7.00am and 6.00pm Mondays to Saturdays.

- 7.7 With respect to any perimeter retaining wall, the minimum footing and wall thickness for poured in-situ concrete shall be 300mm. The minimum concrete strength shall be 25Mpa @ 28 days. Any proposal to use pre-cast or tilt concrete panels shall be submitted to the Council for approval. The Council will not approve perimeter retaining walls of timber construction.

8. Design of Reticulated Services

- 8.1 All water, sewer and stormwater systems within the subdivision shall be separately serviced and piped.

- 8.2 Unless specific provision is made otherwise the services to all rear lots accessed by a right of way shall extend from the road boundary to a point one metre inside the main body of the lot.

9. Plans and Specifications

- 9.1 The subdivider shall submit three copies of plans and specifications of all works to the Council for approval. Approval of complying documents shall be given in writing and work should not commence until this has been received from the Council.

- 9.2 The plans and specifications shall satisfy the Council's relevant asset managers with respect to, where, when and how connection to their utilities are made and also with respect to (some as yet to be ascertained) servicing aspects of the development.

- 9.3 The subdivider shall forward with the engineering plans and specifications, copies of any other consents granted in respect of this subdivision.

- 9.4 Any subsequent amendments to the plans and specifications shall be submitted to Council for approval.

10. Subsoil

The subdivider shall, prior to the commencement of any work, provide a report from a practising registered Civil Engineer with specialist knowledge in geomechanics who shall certify the suitability of each lot for the proposed development. The report shall comment on all relevant matters including land stability, the location and capacity of load bearing strata, the type of foundation that may typically be required. The report shall also indicate if there is a need to restrict development or access to specific areas. The areas so restricted shall be shown on both the land transfer title plans and the "As Built" plans to be supplied to the Council.

11. Supervision and Setting Out

- 11.1 A practising Registered Civil Engineer or Registered Surveyor, who shall be engaged prior to commencement of any works, shall supervise all engineering works and setting out.
- 11.2 The supervising Engineer/Surveyor shall supply a certificate to the Council, stating that all works have been designed in accordance with the appropriate standards and sound engineering practice.

specifications. The reticulation design shall incorporate the following minimum requirements:

- (a) Provision of individual and separate domestic sewer laterals to 1.0 m inside the roadside boundary of each lot, or to the head of each right of way
- (b) The provision of self cleansing velocities at all times
- (c) Minimum grades & minimum cover to top of pipe shall be provided and meet the Engineering Code of Practice's minimum requirements.
- (d) Flush tanks will not be approved for permanent use.

23.4 The proposed new sewer pumpstation (adjacent to the stormwater detention pond) shall be designed & constructed to:

- (a) Meet Council approval with respect to engineering design, construction & materials
- (b) Accord with the requirements of WSA publication, Sewerage Pumping Station Code of Australia
- (c) Include Telemetry (DATRAM), a concrete or concrete block pumpstation building, sealed access and flood protection (2% Annual Exceedance Probability) DATRAM shall be connected to the Council's telemetry monitoring system and commissioned prior to the completion certificate issue for stage 1.
- (d) Include wash-down facilities
- (e) Kiosks in place of a pumpstation building will not be approved

23.5 The subdivider shall provide a new rising main from the pumpstation southwards along the paper road to pump to the Council's proposed new pumpstation in Beach Road. The subdivider shall construct this rising main wholly at their cost.

23.6 The subdivider shall own, operate and maintain the proposed new sewer pumpstation (adjacent to the stormwater detention pond) and rising main until either:

- (a) The completion certificates have been issued for stages 2 & 3
OR
- (b) Certificates of title have been issued for 121 dwelling lots
WHICHEVER OCCURS FIRST.

24. Stormwater

24.1 The subdivider shall:

- (a) Provide a stormwater and land drainage system designed and constructed to outfall in accordance with the subdivision proposal plan.
- (b) The outfall of this system should be into an approved stormwater reticulation utility.
- (c) Include provision of secondary flow paths with a design capacity equal to that of a 2% AEP (50 year) storm.

24.2 The subdivider shall install all stormwater reticulation to service each

individual lot within the subdivision in accordance with the approved plans and specifications.

24.3 Each new lot should be provided with a separate connection to an approved stormwater reticulation system.

24.4 The reticulation design shall incorporate the installation of a bubble up sump in the roadside kerb and channel where more than 2 rear lots together drain to the roadside swale. Roads may be utilised for secondary flowpaths but will not be approved where they are expected to function as storage/detention/retention.

24.5 The subdivider shall maintain the detention/retention pond and drain outfall system for a minimum period of three years.

24.6 The subdivider shall design the detention pond to attenuate the 50 year storm event and to pass no more peak flow than the pre-development 50 year event.

24.7 The subdivider shall provide each new dwelling & reserve lot with a standard uPVC kerb outlet wherever practical & possible. This outlet shall be constructed to accord with standard dwg 800-224 Kerb Outlet (attached).

24.8 The subdivider shall design the stormwater system to accommodate pre-development flow conditions by matching pre-development flows in the following flow scenarios, (Refer also Engineering Code of Practice):

- (c) 1 year- 24 hour
- (d) 5 year- critical duration
- (e) 50 year-critical duration

P.24

24.9 Stormwater shall outfall via dedicated detention, retention and outfall to McIntosh Drain that will then be pumped into the Waikariri River by way of a new off-site pumpstation, at cost to the subdivider.

However, the issue of a pumpstation at the Waikariri River will require some future-proofing to enable efficient upgrading by the Council for the greater McIntosh catchment.

24.10 For the new stormwater pumpstation that the developer shall provide off-site, the subdivider shall include:

- (a) Telemetry (DATRAM)
- (b) Concrete or concrete block pumpstation building. Kiosks will not be approved.
- (c) All weather vehicle access
- (d) Flood protection (2% Annual Exceedance Probability) Requirements should be subject to specific Council approval & include appropriate an appropriate maintenance period that matches length of time over which the development will consume plus six months.

24.11 The subdivider shall provide for and facilitate as Council deems necessary, a

18. Dust Control

A water cart shall remain on site during working hours. It shall be available & used to prevent and minimise wind borne dust nuisance.

19. Noise Control

19.1 During construction activities noise on the site shall not produce noise sufficient to exceed the following standard: NZS 6803P 1984 Measures and Assessment of Noise from Construction, Maintenance and Demolition Work.

19.2 After construction activities noise at the site boundaries shall not produce noise sufficient to exceed the following standards: NZS 6801, NZS 6802 or their successors and as detailed at the stated times below:

Monday to Saturday inclusive except public holidays: 55 dBA
All other times: 40 dBA
measurement L₉₀

19.3 No single event noise shall exceed 75 dBA or exceed the background noise level by more than 30 dBA during the periods covered by "all other times" above.

20. Stormwater Runoff

20.1 Stormwater runoff from all excavated areas shall be controlled to prevent silt-laden water from entering surface water and accord with the Earthworks Management Plan.

20.2 Whilst each stage is under construction, The subdivider shall provide detention ponds to accommodate runoff water the site such that no more water discharges from the property (for the duration of a design storm) than that which currently leaves the property.

20.3 The subdivider shall design and construct stormwater reticulation for the development to accommodate a secondary flow path/s for a 2% AEP storm. Evidence of this shall be submitted to the Council for approval and include appropriate measures to ensure this path/s are retained for this purpose.

21. Road Opening/Trenching

21.1 All works involving trenching shall meet the requirements of the Council's Standard conditions for Trenching. No excavation shall commence within a public road reserve without the prior receipt of a Trenching Permit from the Waikariri District Council.

21.2 In the event of any works or trenching being required across the frontage of adjacent properties the subdivider shall inform the affected occupiers of those properties, 48 hours prior to the commencement of any work.

22. Water Supply

22.1 For stage 1, water shall be supplied from the existing main in Williams Street.

22.2 Proposed Lots 1-11, 14,15, 33-71, 77-83, 171 and 207 (stage 1) shall be connected to the water main from Beach Road and discontinued from the existing main in Williams Street, within three months of this service being available. This condition shall be subject to a consent notice imposed in accordance with Section 221 of the Resource Management Act 1981 and registered on the new titles to issue for proposed Lots 1-11, 14,15, 33-71, 77-83, 171 and 207

22.3 Prior to the issue of the completion certificate for stages subsequent stage 1, the subdivider shall lay a 375mm diameter PN9 water main from Beach Road northwards along the paper road to the subdivision. The subdivider shall then connect into the 375mm diameter water main and lay a 300mm diameter PN9 water-main northwards through the subdivision to its north boundary. The Council will pay the subdivider the marginal cost for this larger truck water main over that which the subdivider requires for only their use.

22.3 The subdivider shall provide an adequate and potable domestic water supply to each dwelling lot.

22.4 The subdivider shall install all water reticulation to service each individual lot within the subdivision in accordance with the approved plans and specifications.

The reticulation design shall incorporate the following minimum requirements:

- (a) The installation of an appropriate number of medium pattern screw down fire hydrants on all new mains 100mm diameter or larger in accordance with the approved plans and the requirements of the Engineering Code of Practice
- (b) A system of 50 millimetre NB Class D (PN12) jointed sub mains
- (c) Provision of 15 millimetre diameter water laterals to the roadside boundary of each front lot, or (for each rear lot) 20 millimetre diameter water laterals to the head of each right of way
- (d) Toby valves and valve boxes at each lot boundary, including isolating tobes at the road boundary of any combined service lateral supplying more than one rear lot
- (e) Non testable backflow prevention devices suitable for low hazard use

1.1.1. As the network utility provider, the Council at the subdivider's expense shall carry out all connections to the existing public water supply.

23. Sewerage

23.1 The subdivider shall install all sanitary drainage reticulation to service each individual dwelling lot within the subdivision, in accordance with the approved plans and specifications. The outfall for each dwelling lot should be by gravity into public sanitary sewer in accordance with approved plans and specifications and the requirements of the Engineering Code of Practice.

23.2 The reticulation for the proposed new dwelling lots shall gravitate to the proposed new pumpstation located at the eastern side of the subdivision.

23.3 The subdivider shall install all sewer reticulation to service each individual lot within the subdivision in accordance with the approved plans and

27. Access

- 27.1 The subdivider shall construct all vehicle crossings to access ways for rear lots and rights of way as shown on the subdivision proposal plan to accord with the requirements of Engineering Code of Practice drawing 600-211A (attached).
- 27.2 The subdivider shall construct the rights of way shown on the subdivision proposal plan to accord with the requirements of the Engineering Code of Practice drawing 600-274 (attached).
- 27.3 The subdivider shall Clegg Hammer test all right of ways prior to sealing. A measured Clegg Impact Value of at least 35 shall be obtained to assure adequate compaction and pavement strength prior to sealing.
- 27.4 The subdivider shall provide a pedestrian accessway from the new road through to the paper road, between proposed Lots 150 & 151 & 149 & 152.

28. Reserves

- 28.1 The subdivider shall provide access to the reserve Lot 500 from the curve of the adjacent new road that accommodate vehicle access, parking and a visual link from the road to the reserve.

- 28.2 The subdivider shall fill, shape, trim and grass proposed Lot 500.

29. Landscaping

- 29.1 The subdivider shall landscape the street frontages. The minimum standard shall include grass berms & street trees. A landscaping proposal shall be submitted to the Council for approval at the time of submission of the engineering plans and specifications for Council approval.
- 29.2 Where a subdivider wishes to install a plant watering system, this shall comply with the Council's Policy 582 'Street Trees and Local Purpose Reserves - Subdivision - Water Systems'. A design showing all engineering details shall be submitted to the Council for approval at the time of submission of the engineering plans and specifications.
- 29.3 'As Built' plans of the system shall be supplied to the Council in accordance with the 'As Built' requirements contained elsewhere in this approval.

30. Conditions Auditing

The Council will audit compliance with the conditions of consent by both site inspections and checking of associated documentation to the extent necessary to ensure the work is completed in accordance with the approved plans and specifications and to the Council's standards. The Council will undertake inspections and checking. The subdivider, or their authorised agent, shall notify Council at least one working day prior to commencing various stages of the works. This is to enable audit inspections required by the consent to be performed. Should the developer wish the Council to accept requests for inspections from any contractors engaged, Council must receive written authorisation.

The minimum level of inspection shall be as follows:

piped drainage reticulation system across the reserve lot (Lot 500). This system shall be used to adequately and effectively solve upcoming stormwater disposal for the existing properties to the west of the lower two thirds of the subdivision. There potential exists for stormwater disposal difficulties. This is particularly the case for the property that adjoins the concrete retaining wall, initially highlighted in green at the southwest corner of the subdivision proposal plan file 15969 drawing 1 Issue A dated 5/10/01 (rear section 294 Williams Street).

25. Roading and Footpaths

- 25.1 The subdivider shall develop & construct all new roads and intersections to meet the minimum requirements of:
- The Engineering Code of Practice - Section 3 Roading
 - Proposed District Plan as amended by Council decisions Chapter 29
 - Transit New Zealand
 - Austrroads
- 25.2 The subdivider shall ensure the placement of street trees anywhere in road reserve and especially centrally at intersections shall not compromise visibility for road users and traffic movements. Required sight lines and safe sight distances shall meet all relevant rules & clause requirements. These matters shall be assessed at the time of engineering plan approval.
- 25.3 There are two proposed no-exit roads that stop against the subdivision's north boundary. These shall be physically constructed so as to avail themselves to allow turning traffic at their heads. The construction of a formed and sealed cut-de-sac type bowl shall be required for the interim life of the subdivision, prior to the development of the neighbouring land to the north. Refer drawing 600-275 Cut de Sac Turning Areas (attached). The Council may consider alternatives to a cut-de-sac head. Although this requirement will not be addressing the application as lodged, this can be provided physically without the need for legal or perpetual instrument.
- 25.5 Access to the stormwater detention pond & the sanitary sewer pumpstation shall be provided, formed and sealed. Access dimension and construction requirements should accord with the requirements of drawing 600-274 Right of Way Typical Cross Section Residential Zone & Business Zone (attached).
- 25.6 The subdivider shall provide all new roundabouts, Give-Way signs and markings in accordance with the relevant standards mentioned above.
- 25.7 The minimum road corridor width shall accord with the requirements of the Engineering Code of Practice unless greater widths than these requirements are shown on the subdivision proposal plan.
- 25.8 The minimum carriageway formation widths for each new road shall accord with the requirements of Proposed District Plan as amended by Council decisions Chapter 29 Table 28.1 Road Design Attributes By Zone.
- 25.9 The subdivider shall design the new road's intersection with Williams Street such that all vehicle-turning movements shall safely and adequately

Roading, Footpaths & Cycleways

- Following shaping of roading and footpath sub-grade prior to placement of subbase material
- Following metalling up, prior to pouring of kerb and any channel
- Following compaction of base course prior to sealing. The carriageway shall be tested with a Benkelman Beam and a Clegg Hammer. The results shall be submitted to Council for approval or assessed respectively

Services

- Testing of water, sewer and stormwater mains and laterals
- Disinfection of water mains

Water

- Following completion of required works

Trenching

- Prior to backfilling of service trenches

Footpaths

- Prior to pouring footpath concrete

Entrances/Rights of Way

- On completion of excavation to sub-grade
- Following compaction of base course prior to final surfacing
- On relocation of Stables vehicle crossing as necessary
- For rights of way following compaction of base course prior to sealing the formation shall be tested a Clegg Impact Hammer

Whole Works

- Prior to issue of a certificate under Section 224(c) of the Resource Management Act
- One week prior to end of maintenance period (where applicable)
- On completion of maintenance period (where applicable)

Where repeat inspections are required because of faulty workmanship or work not being ready contrary to the receipt of a notification, such inspections will be carried out at the current hourly rate for staff time and vehicle running costs for kilometres travelled. Currently these rates are between \$50/hr and \$70/hr depending on the Council officer inspecting and between \$.45/km and \$0.70/km for kilometres travelled.

accommodate a 90-percentile three-axle truck (tandem rear axles).

- 25.10 Concrete kerb and channel shall be installed along all sides of the carriageway formation. Where the subdivider seeks specific approval, the Council may consider and may then approve a mountable kerb and channel profile.
- 25.11 The subdivider shall carry out Benkelman Beam tests or other approved in situ formation bearing tests following completion of the base course layer and prior to sealing.
- 25.12 The subdivider shall carry out Clegg Hammer testing of footpath and cycleway (where separate from carriageway) formation bearing tests following completion of the base course layer and prior to concreting/surfacing. measured minimum Clegg Impact Value of 35 shall be obtained to assure adequate compaction and pavement strength prior to sealing/pouring concrete.
- 25.13 Sealing shall comprise a two wet coat seal system (grade 6 chip over grade 4 chip) over the entire carriageway surface, except for the cut-de-sac head, which shall be surfaced with minimum 25mm AC10 over a single hot bitumen Grade 4 chip seal coat.
- 25.14 Footpaths shall be minimum 1.5 metres wide, constructed of concrete, accommodate shrinkage 'crack' formation, and are to be located directly adjacent to the kerb or as otherwise agreed to by the Council.
- 25.15 The remaining areas of the road reserve shall be shaped and sown in grass.
- 25.16 Kerb pedestrian out downs shall be provided at all intersections and reserve entrances.
- 25.17 A standard vehicle cut-down shall be provided at all reserve entrances.
- 25.18 The subdivider shall submit for approval a Traffic Management Plan (format attached) detailing traffic control works (including sketch layout and control signs). This plan may be submitted at the time of engineering plan approval and shall be submitted prior to work commencing on or in the road reserve of Williams Street. Traffic Management shall be to Level 1, as described in the TNZ & LTSA Code of Practice for Temporary Traffic Management.
26. Street Lighting
- 26.1 Street lighting shall be provided in accordance with NZS 6701: 1983 Code of Practice for Road Lighting and those other relevant New Zealand standards detailed in Engineering Code of Practice Section 3 Clause 3.2.8. The subdivider shall provide details of street lighting proposals prepared in consultation with the power supply authority, to the Council for approval at the time of submission of the engineering plans and specifications.
- 26.2 The Council will require evidence to be submitted for approval that the appropriate utility service provider (MashPower) accepts the lights and all associated fittings as being to their approval.

minimum standards. Where the subdivider proposes alternative higher standards or more aesthetically acceptable alternatives than these shall be submitted to the Council for approval.

- (c) The subdivider is advised that vehicle access to any lot must comply with the requirements of the Waimakariri District Vehicle Crossings Bylaw 1987. Wherein no vehicle may be taken onto any property in the Waimakariri District other than by way of a properly formed vehicle crossing. The owner or occupier of any lot who may require vehicular access across any footpath, berm and water channel adjoining that lot is required to apply in writing to the Council to construct a vehicle crossing at the owner's or occupier's cost. No owner or occupier of any lot can build, or allow to be built, any dwelling, other significant building or any part of such a building on any property unless the building site on that property is provided with adequate site access in terms of the above-mentioned bylaw.
- (d) The subdivider is advised the Council has modelled water-main requirements north from the Beach Road connection to supply Moorecroft and future growth projected in the Council's long-term strategy. From the Beach Road/paper road intersection this main would need to be 375mm diameter for approximately 400m then 300mm diameter for approximately 750m to the north boundary of the subdivision. The Council will contribute to an increase in the size of this main (over that size that only Moorecroft would need) along the paper road and through the development to its north end. This will ensure provision of a trunk main for future growth to the north. The Council's contribution to this will be on the basis of marginal cost. Please contact the Council regarding this matter.
- (e) The subdivider is advised that the proposed stormwater retention/detention basin will be included within the developable land. The Council may consider offsetting some costs to landscape the new lot against reserve contributions required. Please contact the Council regarding this matter.
- (f) Road Upgrading Costs. The subdivider will need to upgrade the property's Williams Street frontage to Residential Zone standard. This shall include road shoulder construction, kerb and channel, footpath and street lighting. The subdivider will be required to contribute approximately 50% to the estimated cost for this work, the value of which shall be determined at a later time. Please contact the Council regarding this matter.
- (g) The subdivider proposes to construct traffic splitter island at a number of locations (intersections & roundabouts) within the subdivision. Due to the turning nature of traffic, particularly commercial vehicles, this may not be desirable. However, this may be acceptable provided the design can accord with Transit New Zealand and Austroads road and intersection design requirements, including sightlines, pedestrian & cyclist traffic and streetlighting.
- (h) The subdivider is advised that the subdivision proposal's initial landscaping plan proposes a number of items to enhance the entrance and road corridor appearance. Both the roading & community facilities asset managers will need to approve all plans and specifications with respect to these matters, including water features/fountains/ponds & the like (which may not be approved). The colour perspective (Digital Presentations Ltd) & the

subdivision proposal plan also show a water feature/s in the road reserve. The roading asset engineer will not support these in the road reserve. Furthermore, the community facilities asset manager will not approve them. Please contact the Council regarding this matter.

- (i) The subdivider is advised that the subdivider has stated they wish to carry out major landscaping on the Main North Road on/adjacent to the subdivision's frontage. This will need specific approval from the Council (that may not be granted). These matters should be discussed post-consent with the Roading Asset Engineer. Please contact the Council regarding this matter.
- (j) The subdivider is advised that any additional works on the reserve (Lot 500) may possibly be offset against reserve contributions payable, e.g. drainage works, footpaths and landscaping. A post-consent exchange of letters could best achieve an understanding of the amounts to be agreed. Please contact the Council regarding this matter.
- (k) The subdivider is advised that until such time as the Council forms the paper road, the Council does not wish to maintain the paper road reserve. Where bund lies in the road reserve, the subdivider will be required to maintain the bund for six months after all the subdivision's stages are completed.
- (l) The subdivider is advised that where a pedestrian walkway is constructed along the paper road reserve, the Council will maintain the walkway.
- (m) The subdivider is advised that appropriate fencing should be provided for the surrounding farmland to ensure stock will not graze the perimeter bund.
- (n) The Council will price the cost of the water main construction from Damley Square to the new Beach Road pumpstation at a later time. The subdivider's contribution will be levied later, but not later than when the completion certificates for stages 4 & 5 are issued (assuming stages are completed in the order of their numerical sequence).
- (o) For the subdivision's first-stage connection can be made to the Council's 200mm diameter main, at approximately the location where the paper road meets Williams Street, opposite the golf course. This connection will be temporary. Stage 2 may seek to temporarily connect to this main also, however, this scenario may cause adverse effects to existing reticulation and will not be approved at this time.
- (p) The Council will not contribute to the cost of the new sewer pumpstation.
- (q) The time period for maintaining the detention/retention pond of a minimum of three years is considered reasonable and should enable the system to experience a minimum of two winters and two summers, thereby giving the Council reasonable assurance of the system's efficiency and durability. Furthermore, because the subdivider proposes to stage the subdivision's development, this greater period of time (for maintenance) will more realistically & more reasonably demonstrate the system's capacity and adequacy.
- (r) With reference to the colour digital perspective graphic (submitted with the application) depicting the new intersection at Williams Street:

31. Maintenance

- 31.1 For any specifically designed stormwater or land drainage, underdrains, soakpits, detention or retention basin or outfall works that are constructed, the subdivider shall be responsible for the maintenance for a period of three years following the date of issue of the Council's 'Condition Certificate' for the subdivision's first stage completion. A bond equal to 5% of the cost of construction of these works shall be lodged with Council for the same period.

Maintenance shall include:

- Appropriate and regular maintenance (to be approved in the specification to be submitted for approval), mowing of grass and watering of any plants or trees together with the replacement of any dead specimens.
- Repair of any damage or defects in any of the works or services associated with this part of the development of the subdivision as consented to.

Note: To assist in complying with this clause the subdivider is advised not to release the Contractor until the end of the maintenance period or without the Council having inspected and approved the works. Also to include in sale and purchase agreements a mechanism to ensure that the owners and or builders working within the development are made accountable for damage caused by their construction traffic.

- 31.2 The subdivider shall be responsible for the maintenance of all subdivision works (except stormwater or land drainage, underdrains, soakpits, detention or retention basin or outfall works) for a period of six months following the date of issue of the Council's 'Condition Certificate'. A bond equal to 5% of the cost of construction works shall be lodged with Council for the same period.

Maintenance shall include:

- Appropriate and regular mowing of grass and watering of all plants and trees together with the replacement of any dead specimens.
- Repair of any damage or defects in any of the works or services associated with the development of the subdivision as consented to.

Note: To assist in complying with this clause the subdivider is advised not to release the Contractor until the end of the maintenance period or without the Council having inspected and approved the works. Also to include in sale and purchase agreements a mechanism to ensure that the owners and or builders working within the development are made accountable for damage caused by their construction traffic.

32. As Built Plans

- 32.1 'As Built' plans setting out in detail the location of all services shall be provided to the Council immediately following completion of the works and are to be available at the time of the Condition Certificate inspection. Two sets of plans are to be provided at a scale of 1:1000 and 1:500. In addition to the plans a practising registered civil engineer or chartered civil engineer (as is timely appropriate) or registered surveyor shall provide a separate certificate

stating that the As-built plans are a true and accurate record of all services.

Furthermore, where plans have been prepared using computer aided drafting techniques a copy of the file may be made available to the Council in either of the following format - Microstation (.DGN), AutoCAD (.DWG), or (.DXF).

- 32.2 The subdivider shall provide daily site sealing records from the sealing contractor as part of the As-Built record. This will facilitate the establishment of accurate RAMM records the new road construction.

33. Street Names

The subdivider shall submit a minimum of three Street names for approval.

34. Works Conditions

- 34.1 That a certificate under Section 224(c) of the Resource Management Act 1991 will not be issued until conditions 1 to 33 above have been met to the satisfaction of the Waimakariri District Council, at the expense of the subdivider.

- 34.2 The Council agrees with the staging of the subdivision provided that those conditions that relate to each stage of the development are complied with and that the balance area remains a complying lot in terms of the District Plan's requirements.

35. Staging

- 35.1 The subdivision shall be staged in accordance with the numbering sequence shown on the attached approved plan.

- 35.2 The subdivider shall complete stages 9 & 10 as shown on the subdivision proposal plan (20654 Issue A dated 7/02) prior to issue of the completion certificate for either of stages 6 or 7. Completion shall include road, servicing & street works to Council approval.

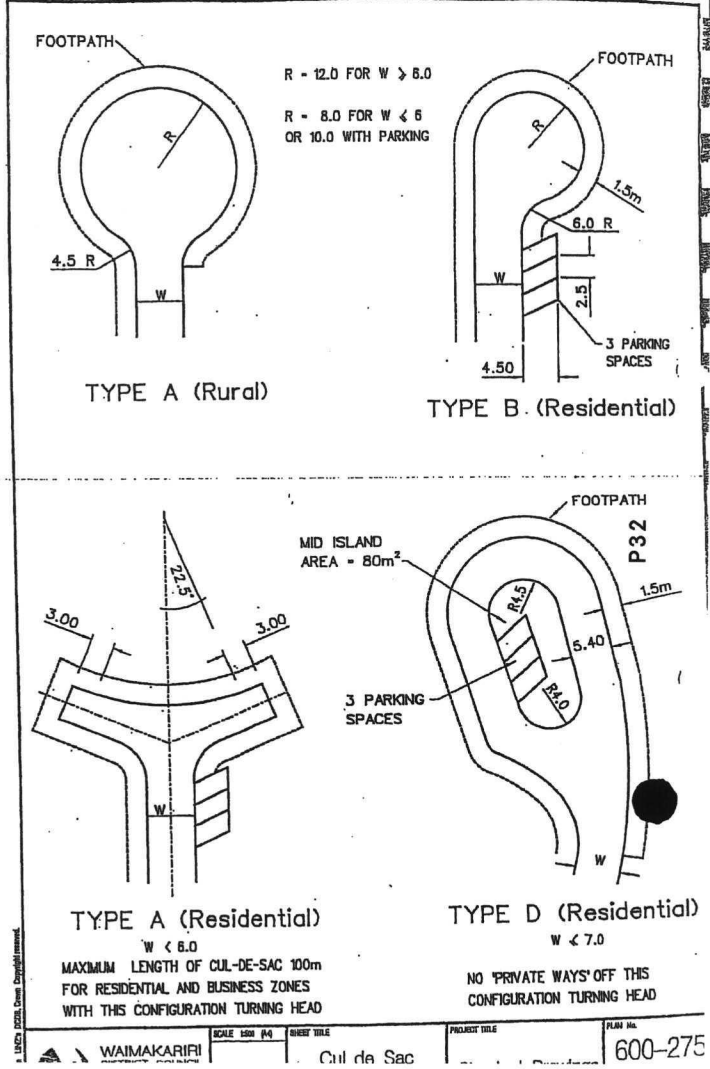
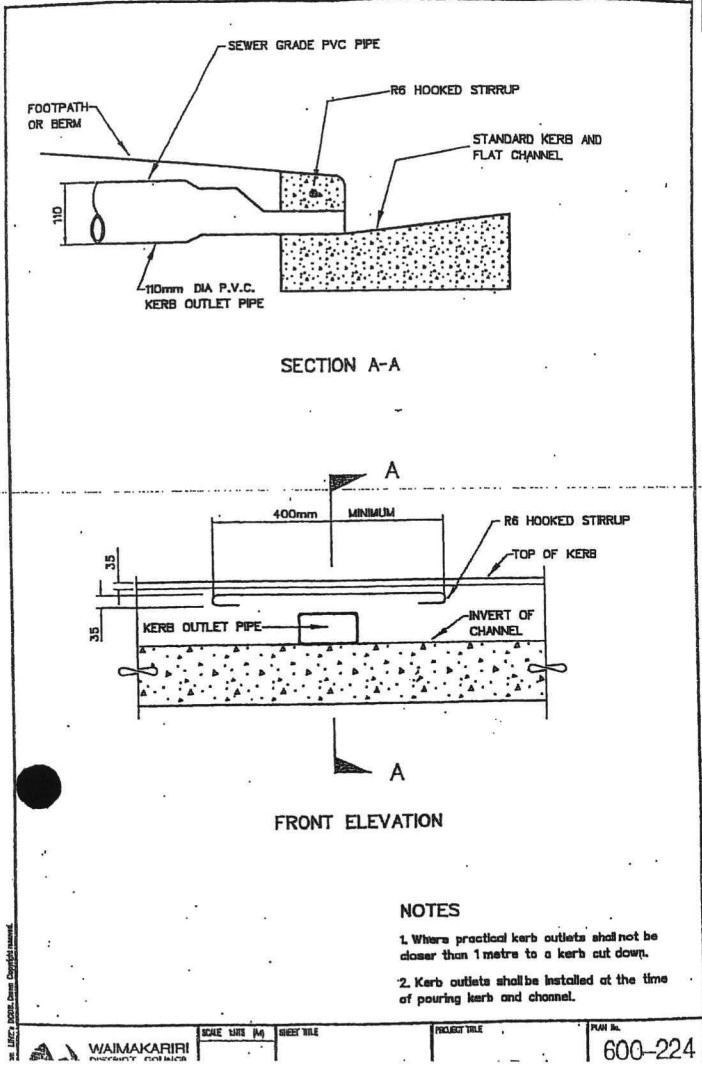
36. Rights of Way

That the rights of way shown as A-Z, AA-AZ & BA-BK as shown in the memorandum of assessments table on the subdivision proposal plan 20654 Issue A dated 7/02 are approved pursuant to Section 348 of the Local Government Act 1974.

THAT pursuant to Section 37 of the Resource Management Act 1991, this consent shall lapse five years from the date of approval.

ADVICE NOTES

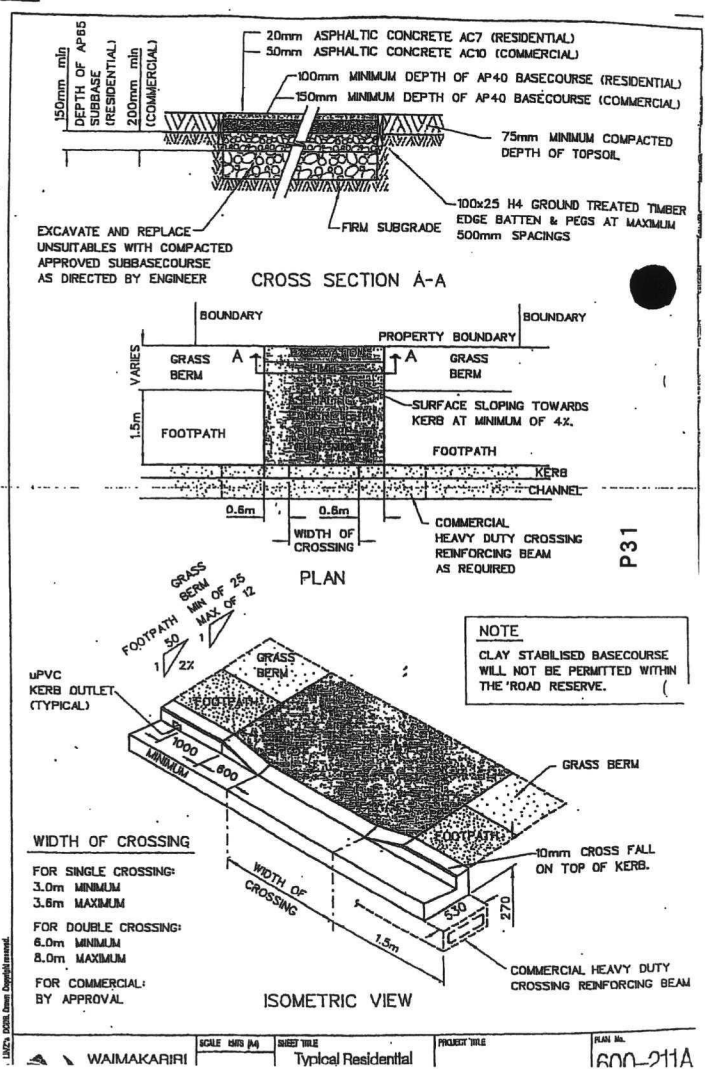
- (a) All amounts shown above are GST inclusive.
- (b) The requirements and conditions listed are a statement of the Council's



Public Notification		
Other Traffic Management Plans		
Personnel Safety		
Monitoring & Maintenance of Traffic Management Procedures		
Layout Diagrams		
Contractor's Traffic Control Supervisor	Sign: _____ Name: _____	Contact Phone Numbers: _____ (Working Hours) _____ (After Hours)
Prepared By	Contractor: _____ _____ _____	Date: _____ _____ _____
Acceptable/Requires Amendment	Consultant: _____ _____ _____	Date: _____ _____ _____

(Delete the provision that does not apply)

Notes: Traffic Management Plan (TMP) is to be submitted to the Engineer at least two working days prior to commencing any work. For comment or amendment.



26. NATURAL HAZARDS - RULES

26.1.1.13 Within the area of the Residential 2 Zone to the north of Kaiapoi (Meadow Estates) and contained within parcels Lot 2 DP 16264 comprised in CT 26F/1217, Lot 3 DP 16264 comprised in CT 26F/1218, Lot 2 DP 27274 comprised in CT 9K/336, Lot 3 DP 27274 comprised in CT 9K/337, Lot 1 DP 30615 comprised in CT 12K/801, Lot 2 DP 30615 comprised in CT 12K/802, Lot 1 DP 4532 comprised in Part CT 33F/506, Part Lot 5 DP 4102 comprised in Part CT 33K/375, or Part Lot 3 DP 17065 comprised in CT 730/2; and as shown on Figure 26.7, any dwellinghouse shall have a floor level of at least 3.96 metres above mean sea level.

RMA 246/99
29/2002

26.1.1.14 Within any localised flooding area identified on the District Plan Maps other than within the Residential 6 Zone and Pegasus Bay Rural Zone, the construction of any structure shall be limited to:

- Any fence, stock yard, or water tank and its associated reticulation systems; and
- Structures required for the maintenance and upgrading of any electrical and associated telecommunication facilities; and
- Any structure that is less than 5 square metres in floor area and less than 2 metres in height.

*26.1.1.13A In East Rangiora on land identified on District Plan Map as being subject to a Natural Hazard Area Rule:
i. Any dwellinghouse shall be sited within building platforms 1 or 2 as shown in Figure 26.8; and
ii. Any dwellinghouse sited within the building platforms shown in Figure 26.8 shall have the following minimum floor levels:
• Building platform 1: 31.82 metres above ms sea level
• Building platform 2: 31.10 metres above ms sea level.

26.1.2 Exemptions

26.1.2.1 Any structure which is replacing a structure which was lawfully established as at 20 June 1998, and was not damaged or destroyed by any flood event, is exempt from Rules 26.1.1.1 to 26.1.1.14.

26.1.2.2 The replacement, maintenance and minor upgrading of an existing utility is exempt from Rules 26.1.1.1 & 26.1.1.2

26.1.2.3 The following structures are exempt from complying with Rules 26.1.1.1 and 26.1.1.2:

- Any structure that is less than 5 square metres in floor area and less than 2 metres in height; and
- Any fence; and
- Any stock yard; and
- Any water tank and its associated reticulation system; and
- Any water conveyancing structure below 0.3 metres in height.

26.2 DISCRETIONARY ACTIVITIES (RESTRICTED)

26.2.1 Except where provided for by Rule 31.3 or 31.4 the subdivision of land involving land within any localised flooding area, other than within the Residential 6 Zone and Pegasus Bay Rural Zone, as identified in the District Plan Maps, is a discretionary activity (restricted).

26.2.2 Any land use which does not comply with one or more of the conditions under Rule 26.1.1 and is not otherwise exempted by Rule 26.1.2 is a discretionary activity (restricted).

SUPPLEMENTARY INFORMATION

Liquefaction

A study has been carried out on behalf of the Waimakariri District Council and Environment Canterbury on the effects of liquefaction (when soil temporarily behaves like a fluid and loses its strength during an earthquake) in the area shown on the attached map. A copy of the executive summary of the report is available from the Council. This property is in an area where liquefaction may occur during a severe earthquake. The Council does not require any additional site investigation or structural provisions for normal residential dwellings at this stage. It is considered that compliance with the New Zealand Building Code will protect the structural integrity of normal residential dwellings from the effects of liquefaction, although a severe earthquake is likely to cause damage and may disrupt utility services. If you have any particular concern it may be advisable to have the potential liquefaction investigated by a suitably qualified engineer.

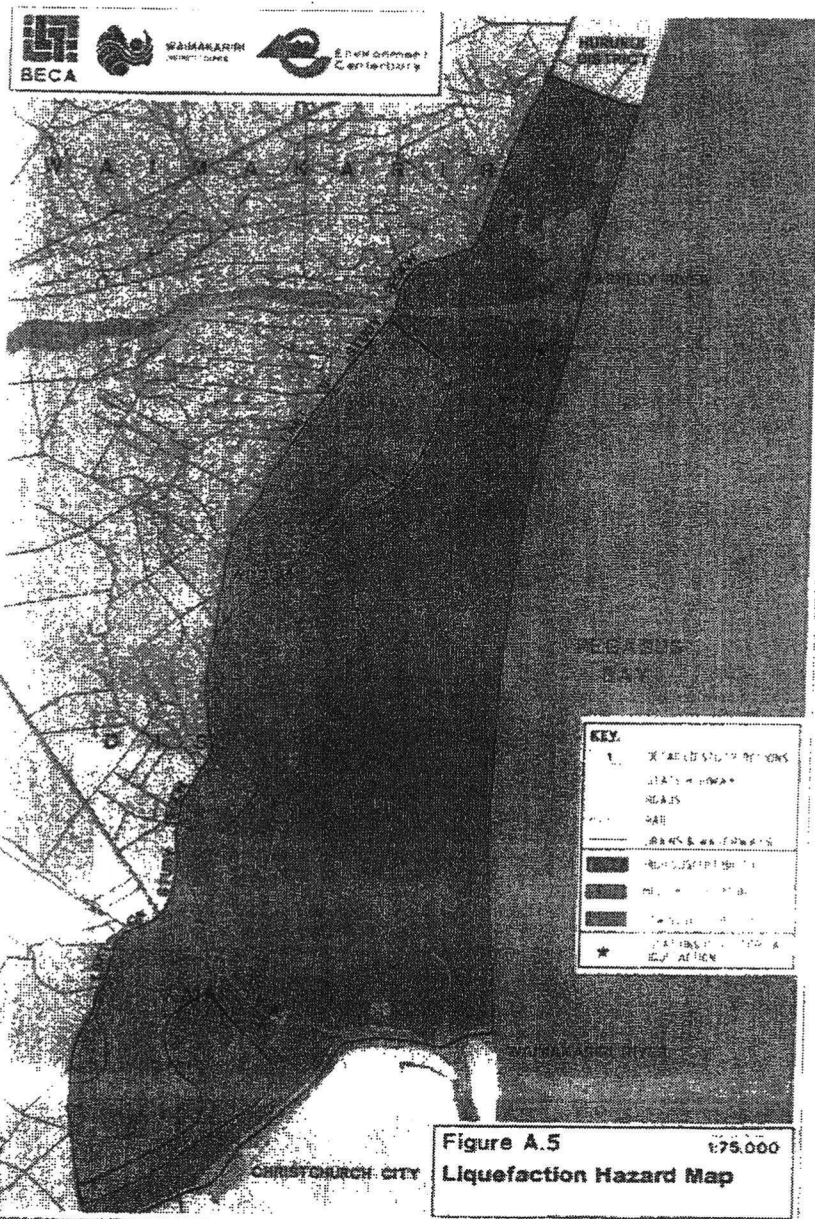


Figure A.5: Liquefaction susceptibility for the Study Region for both Alpine and Pothills Earthquake scenarios.

Telecom New Zealand Limited
Network Delivery
Level 6 Telecom House
109 Hereford Street,
PO Box 1473
CHRISTCHURCH

Our Ref: CN101563
Your Ref:

Telephone: 03 353 3675
Facsimile: 03 3650934

Meadows Estates Ltd
C/O Davis Ogilvie & Partners Ltd
137 Armagh St
PO Box 13 0019
CHRISTCHURCH.
Attention: Grant Cox

Date: 17/11/2004

RE: Proposed Subdivision Moorcroft Stage 4

TELEPHONE NETWORK PROVISIONING SUBDIVISION SIGN OFF

The above subdivision has been reticulated to the standards of Telecom New Zealand Ltd.
It should be noted that this certificate does not cover service lead-ins to individual lots.

Yours faithfully

Peter Gilbertson
Network Deployment Specialist

18 NOV 2004

MainPower
NEW ZEALAND LIMITED

FAX

Date 25-November-04

To Waimakariri District Council

Fax No 03 313 4432

FAXED

Attention Bruce Cathro

From Greg O'Sullivan

High Street, Rangiora
P O Box 346, Rangiora
New Zealand (+64)
Telephone 03-311 8316
Fax 03-311 8301
Email grego@xtra.co.nz

No. of pages, including
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Network Reference Number 3278

Re. Proposed Subdivision of Moorcroft Stage 4 Allison Crescent, Kaiapoi

MainPower confirms that the electrical reticulation of the above 54 Lot subdivision is complete.

Please do not hesitate to contact me if you have any questions.

Regards

Greg O'Sullivan
Engineering Assistant

CC. Davis Ogilvie & Partners LTD
P O Box 13 0019
Christchurch
8051

Attention: Grant Cox

Fax 03 379 2348

P37

Received Time 25-Nov. 16:33

city care
LABORATORY

City Care Laboratory, 205 Springs Road, Christchurch, New Zealand Phone 03-941 7616 Fax 03-941 7618

NUCLEAR DENSITY TESTING

Page 1 of 2 Pages
Lab Reference: 0854 / 04

Client:
Contact Name:

Davis Ogilvie and Partners Limited
Mr Grant Cox

Location:
Material Tested:
Contractor:

Moorecroft Subdivision
Sands, Clays, Gravels (Backfill for Sections)
K B Contracting and Quarries

Tested By:
Date of Test:
Test Method:
Results:

P. Ryder
16 November 2004
NZS 4407:1991 Test 4.2.1

Site Number	Material Type	Depth (mm)	Dry Density (kg/m ³)	Wet Density (kg/m ³)	Moisture (%)
154	1 Sand	250	1580	1720	8.5
156	2 Clay	250	1580	1970	25.0
158	3 Clay	250	1710	2020	18.5
126	4 Clay	300	1530	1870	22.5
126	5 Pit Run	250	2190	2210	1.0
128	6 SubBase	250	2050	2270	10.5
129	7 Silty Sand	300	1510	1830	21.0
133	8 Silty Sand	300	1500	1670	11.5
140	9 Clay	300	1720	2040	18.5
144	10 Contains Gravel	300	1820	2110	15.5
148	11 Silty Clay	300	1640	1990	21.5

Date of Issue:

17 November 2003

Issued By:

(T. O'Regan, Laboratory Supervisor)

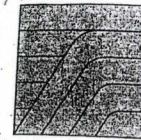
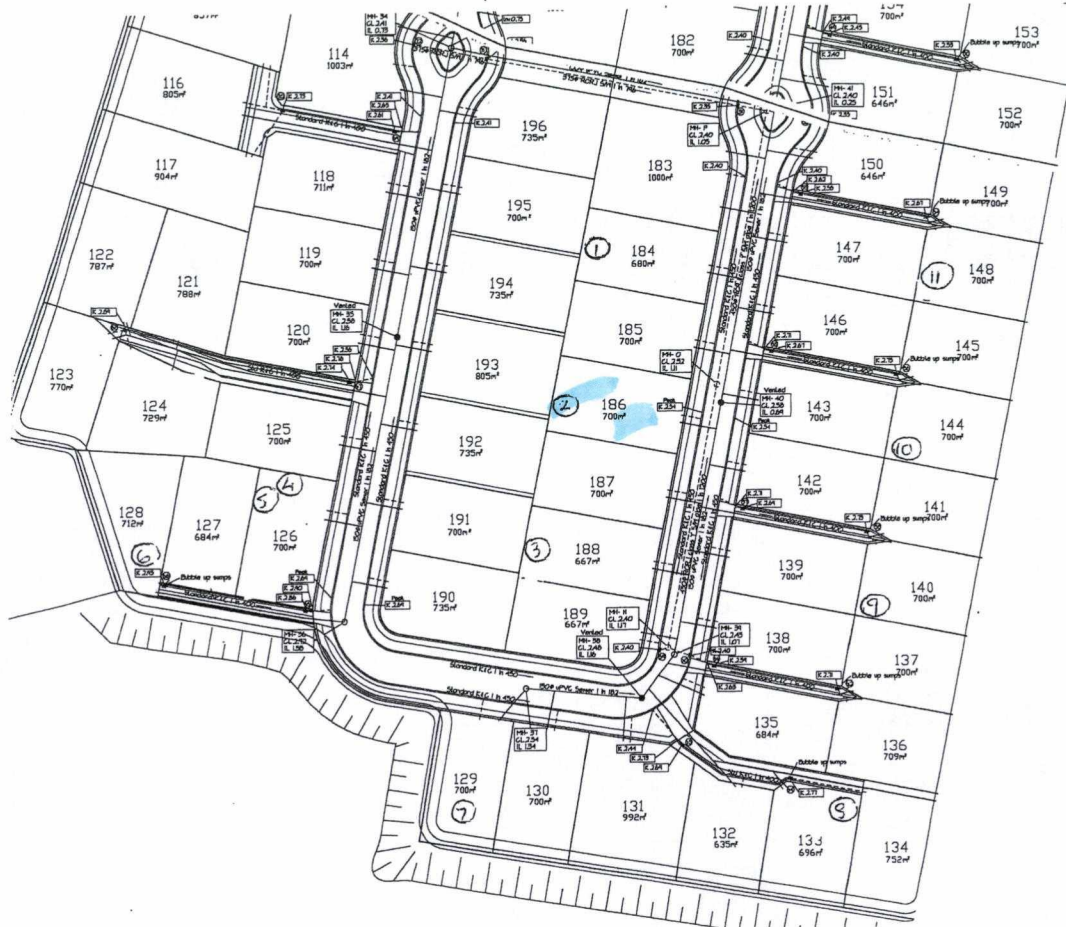
Checked By:

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Moorecroft Subdivision

Page 2 of 2 Pages
Lab Reference: 0854 / 04



INDEPENDENT CIVIL LABORATORY LIMITED

Roading + Foundations + Subdivisions

e-mail labmanager@clear.net.nz
P.O. Box 2193, Christchurch 8015, NZ
Mobile: 021 613 703

Laboratory Reference: 04-0383

Page 1 of 3 Pages

DETERMINATION OF SURFACE-MOISTURE DENSITY

Attention: Grant Cox
Client: Meadow Estates Limited C/o Davis Ogilvie Limited
Test Site Location: Moorecroft Subdivision KAIAPOI
Test Site: Bulk filling
Date Tested: 2 June 2004 at 3:30 P.M.
Material Tested: River Run
Test Equipment Used: Troxler 3411b Nuclear Moisture Density Gauge
Serial Number 12101
Test Method Used: NZS 4407 1991 Test 4.2.1.

Calibration Of Test Equipment Used:
Calibration Test Method Used: NZS 4407 1991 Test 4.2.3.
Calibration Valid To: 10 October 2005
Calibrated By: Ground Test Equipment Limited Auckland.
(Calibration endorsed by International Accreditation New Zealand)

Accreditation: Independent Civil laboratory is IANZ Accredited, Laboratory Number 732.

Notes:

- 1) All sites measured in Backscatter mode using a 60 second count.

Report reviewed and approved for issued: on 22 July 2004

P.M. Yellowlees
Laboratory Manager
IANZ Approved Signatory in Soils & Aggregate Testing



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All tests and herein have been performed in accordance with the Laboratory's scope of accreditation

Checked By: *[Signature]*

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city care

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Test No	Result	Material	Lab
1	2170	RiverRun	ICLL
2	2140	RiverRun	ICLL
3	2090	RiverRun	ICLL
4	2150	RiverRun	ICLL
5	2130	RiverRun	ICLL
6	2160	RiverRun	ICLL
7	2140	RiverRun	ICLL
8	2120	RiverRun	ICLL
9	2110	RiverRun	ICLL
10	1970	RiverRun	ICLL
11	2130	RiverRun	ICLL
12	2090	RiverRun	ICLL
13	2170	Sand	ICLL
14	2140	Sand	ICLL
15	2130	Sand	ICLL
16	2080	RiverRun	ICLL
17	2140	RiverRun	ICLL
18	2110	RiverRun	ICLL
19	2140	RiverRun	ICLL
20	2080	RiverRun	ICLL

[illegible]

The silty material has been sourced from Northwood Redwood and Colarado Subdivisions and therefore Penetrometer tests have been carried out to confirm the strength and placement of this material

Penetrometer tests have been carried out to a depth of 600mm (i.e depth of silt and topsoil to filled areas) at the centre of each lot. Results are indicative only and normal testing for foundations as per NZS:3604:1999 and NZS:4229:1999 should be carried out for each individual dwelling.

issue	date	reason	approve

FILL CERTIFICATION PLAN ^{P41}

P41

design *GHC*
GHC
 17/11/04
 scale 1:500

21345

5 A



STATEMENT OF SUITABILITY OF EARTH
FILL FOR RESIDENTIAL DEVELOPMENT

Davis Ogilvie
Land Development Professionals

Subdivision Moorcroft Stage IV
Owner/Developer Meadow Estates Limited
Location Kaiapoi

The earth fills shown on the attached plan No 21345-5A have been placed in compliance with the terms of NZS 4431.

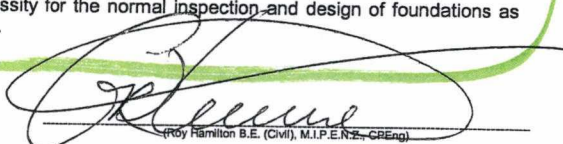
I am a Chartered Professional Engineer (Member ID 127491) (acting on behalf of Davis Ogilvie and Partners Ltd) and while the work was in progress I acted as the Inspecting Engineer.

During the work, I and/or staff under my supervision made periodic visits of inspection to the site where soil testing was carried out to check the quality of the fill.

The attached Plan No. 21345-5A shows Lot Nos. 125-150 & 184-194 to be affected by filling and the extent of fill. The maximum fill depth was 1500 mm.

In my professional opinion the following limitations should be observed: Foundations for individual dwelling shall meet the requirements of NZS:3604:1999 Timber Framed Buildings and NZS:4229:1999 Concrete Masonry Buildings Not Requiring Specific Engineering Design

This certification, that the earth fills have been placed in compliance with the terms of NZS 4431 does not remove the necessity for the normal inspection and design of foundations as would be made in natural ground.


(Roy Hamilton B.E. (Civil), M.I.P.E.N.Z., CPEng)

Director
(Position)

19/11/04
(Date)

On Behalf Of

Meadow Estates Limited
(Name of Owner/Developer)

PRODUCER STATEMENT - CONSTRUCTION
REVIEW SUBDIVISION CONSTRUCTION

Davis Ogilvie
Land Development Professionals

ISSUED BY: Graeme Roy Hamilton for Davis Ogilvie & Partners Ltd
(Suitably Qualified Design Professional)

TO: Meadow Estates Limited
(Owner)

IN RESPECT OF: Subdivision Construction
(Description of Building Work)

AT: Moorcroft Subdivision Stage IV
(Address)

LOT: 3002 DP: 332633 SO: _____

Davis Ogilvie & Partners Ltd has been engaged by Meadow Estates Limited
(Owner/Developer/Contractor)

to provide design and supervision services in respect of NZS:4404:1981 Code of Practice for Urban
(Extent of Engagement)

Land Subdivision and Waimakariri District Council Code of Subdivision (if applicable) and other
(Territorial Authority)

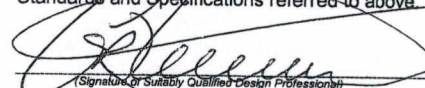
standards or specifications such as Davis Ogilvie Specification 21345 in regard to

The construction of the Moorcroft subdivision Stage IV as described by the drawings

and specifications prepared by Davis Ogilvie & Partners Ltd titled Moorcroft Subdivision Kaiapoi
(Design Firm)

and numbered 20654 sheets 1-22

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I or personnel under my control, have carried out periodic reviews of the work described above, and based upon these reviews and information supplied by the contractor during the course of the works I BELIEVE ON REASONABLE GROUNDS that ☒ All / ☐ Part only (as specified in the attached particulars) of the construction work detailed above has been completed to the extent required by the Codes, Standards and Specifications referred to above.


(Signature of Suitably Qualified Design Professional)

BE (Civil) MIPENZ (Civil, Business), CPEng
(Professional Qualifications)

137 Armagh Street, Christchurch
(Address)

Date 19/11/04

C P Eng ID 127 491

Member ACENZ ☒ IPENZ ☒ NZIA ☐

PENETROMETER TEST RESULTS

Job No. 21345
Date 18-Nov-04
Lot No. 186

TEST No 1

do
Davis Ogilvie
Land Development Professionals

DEPTH mm	BLOWS #/100mm	mm/blow	Bearing Capacity kPa	Ultimate Bearing Capacity kPa	CBR
0					
100	0	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!
200	5	20.00	160.00	480.00	10.00
300	5	20.00	160.00	480.00	10.00
400	3	33.33	100.00	300.00	6.00
500	3	33.33	100.00	300.00	6.00
600	3	33.33	100.00	300.00	6.00

