



SAFE AND SANITARY REPORT

DWELLING



**73 DEVON STREET
ROTORUA**

SAFE AND SANITARY REPORT

I have been engaged by Pauline Murray to inspect and produce a Safe and Sanitary Report in respect of the original dwelling at 73 Devon St, Rotorua. A site inspection was undertaken on Wednesday 12th Feb 2025. The weather conditions were fine and overcast.

The owner of this property has requested to have this information reported on, as the property file at the Rotorua Lakes Council is incomplete.

- The original dwelling had Permit No 976 Issued 03/10/49, with no inspections carried out, therefore no final sign off was obtained.
- Also lounge addition Permit No A128653, issued 01/05/67 with no inspections carried out, therefore no final sign off was obtained.
- Garage removed.

In my opinion the works relating to the above comply with the relevant building regulations and law at the time they were carried out.

I can report that all areas have been inspected with details of construction, along with photos, plans.

This is NOT a Pre purchase Building Inspection Report.

LIMIT OF REPORT

This report comments on the construction of the original dwelling, addition. This inspection does not include any invasive testing. This was a visual inspection only, which covered the state of condition of the completed structure against permit plans, specifications, and standards of that day.

CONSTRUCTION DETAILS

- Timber framing with pitched roof framing, appears visibly solid and in reasonable condition. Concrete and timber piles with 4 x 3 bearers, 6 x 2 joists, and T & G native flooring.
- Appears to be solid and correctly fixed.
- Ground barrier installed.



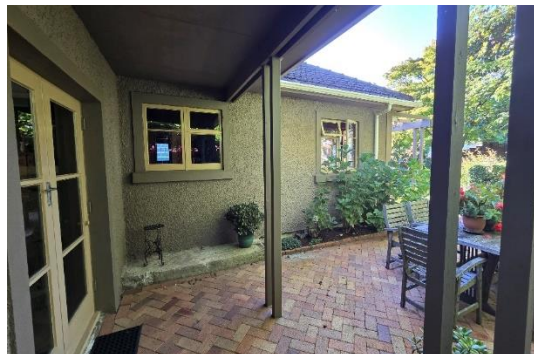
- Insulation to the roof space is Fiberglass/ Polyester R3.2.
- The foundation space has Fiberglass to areas visible.



- Roof material Concrete Tile will need re mortar in near future.
- Flashings are lead, metal.
- Terminal vent pipe.



- Exterior cladding is wooden weather board, with Stucco plaster system over top. Pre 1991.
- Exterior joinery is wooden with single glazing.
- Standard hardware, all working with opening sashes and provides adequate light and ventilation.

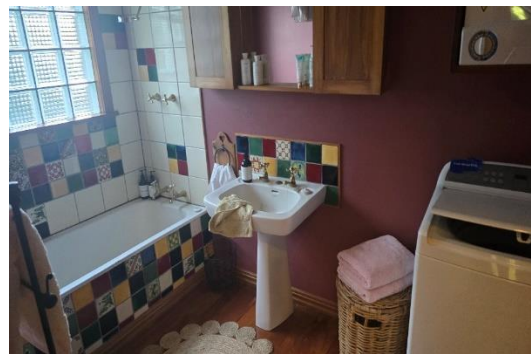


- Interior walls are plasterboard.
- Interior ceilings are plasterboard.



INSPECTION DETAILS

- The site has fall to the rear and front of the dwelling.
- The floor plan is a single-story dwelling.
- Moisture was not present at the time of the inspection.
- The plumbing is copper and grey buteline.
- Hot water low-pressure cylinder.
- S-Trap PVC waste pipes falling to gully traps.
- Timber and vinyl floor coverings.
- Vents are installed.



- Spouting and downpipes are PVC, falling to soak holes.
- Smoke alarms are installed, not tested to the hallway, lounge.
- Switchboard/meter box is located internally.



IN SUMMARY

The dwelling, in its current condition is Safe and Sanitary for the purpose in which it is intended.

Thank you for the opportunity to supply you with this information and should you have any questions regarding this report or if you need anything further, please do not hesitate to contact me.

Regards

BDKenny

Brendon Kenny
Registered/Qualified Builder (LBP)
BOINZ Accredited.
PROPERTY INSPECT LIMITED