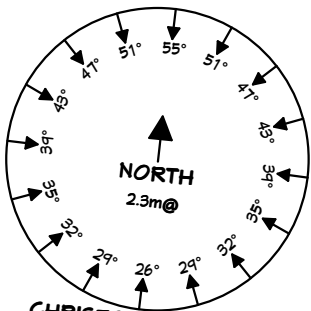


COVERAGE

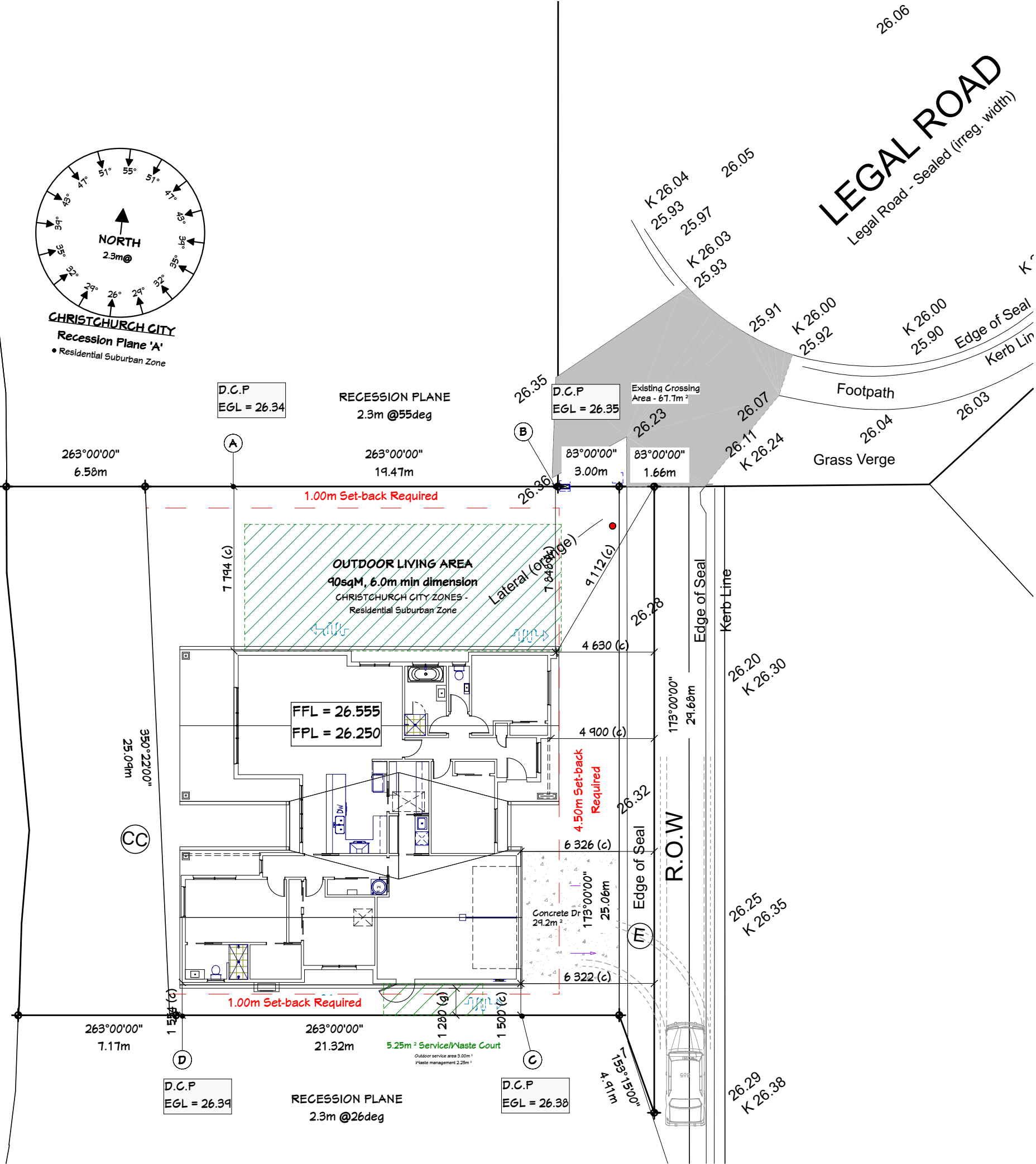
Site area	= 760m ²
Footprint (over cladding)	= 213.7m ² = 28.1%

Knights Stream

Adopted boundary is not coincident with waters edge



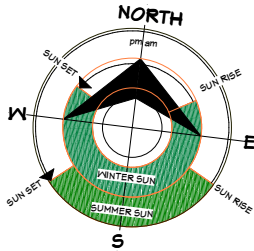
CHRISTCHURCH CITY
Recession Plane 'A'
• Residential Suburban Zone



Design & Build - © GOLDEN HOMES HOLDINGS LTD



- NOTES:
- KEY**
- FFL = Finished floor level
 - FGL = Finished ground level
 - FPL = Finished platform level
 - EGL = Existing ground level
 - D.C.P = Daylight control point
 - (f) = Dimension to foundation
 - (c) = Dimension to cladding
 - (g) = Dimension to gutter/leave
 - = Bubble Up Chamber
 - = Type 1 sump
 - = Type 2 sump
 - ▬ = Drainage channel
 - = Overland flow path
 - = Fall of paving



CLIENT:

Kosir Residence
Lot 14, DP 571567
Kahurangi Road,
Knights Stream
Halswell, Canterbury

TERRITORIAL AUTHORITY:

Christchurch City Council
Residential Suburban Zone

SITE DATA (for zones upto & including):

Sub-soil Classification:	E
Soil Classification	REF GEO - TC2
Wind Zone:	High
Earthquake Zone:	2
Exposure Zone:	C
Climate Zone:	3
Rain Intensity (10%AEF):	53.7mm/hr
Snowload:	1.0kPa

Site Planning

JOB No:	97815	SALES:	Sonja
LBP:	C. Neame 101178		
DRAWN:	Katherine	DATE:	25/10/2022
SCALE:	1:200	SHEET No.	3 OF 55

NOTES:

- If windows & doors are shown upto soffit, window and door sizes are to be measured on site prior to the manufacture of those units.

FFL = Finished Floor Level
FGL = Finished Ground Level
FPL = Finished Platform Level
EGL = Existing Ground Level

ⓈⓈ Indicates safety glass

Safety Glazing

- All glazing is to be in accordance with the NZ Building Code Handbook and NZS.4223, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
- All glazing panels to bathrooms and toilets to have safety glazing to the interior panel only
- All glazing to be confirmed by the manufacturer prior to construction

Callout of Details

ⓈⓈ = Reference to Cladding Details CD####

CLIENT:

Kosir Residence
Lot 14, DP 571567
Kahurangi Road,
Knights Stream
Halswell, Canterbury

TERRITORIAL AUTHORITY:

Christchurch City Council
Residential Suburban Zone

SITE DATA (for zones upto & including):

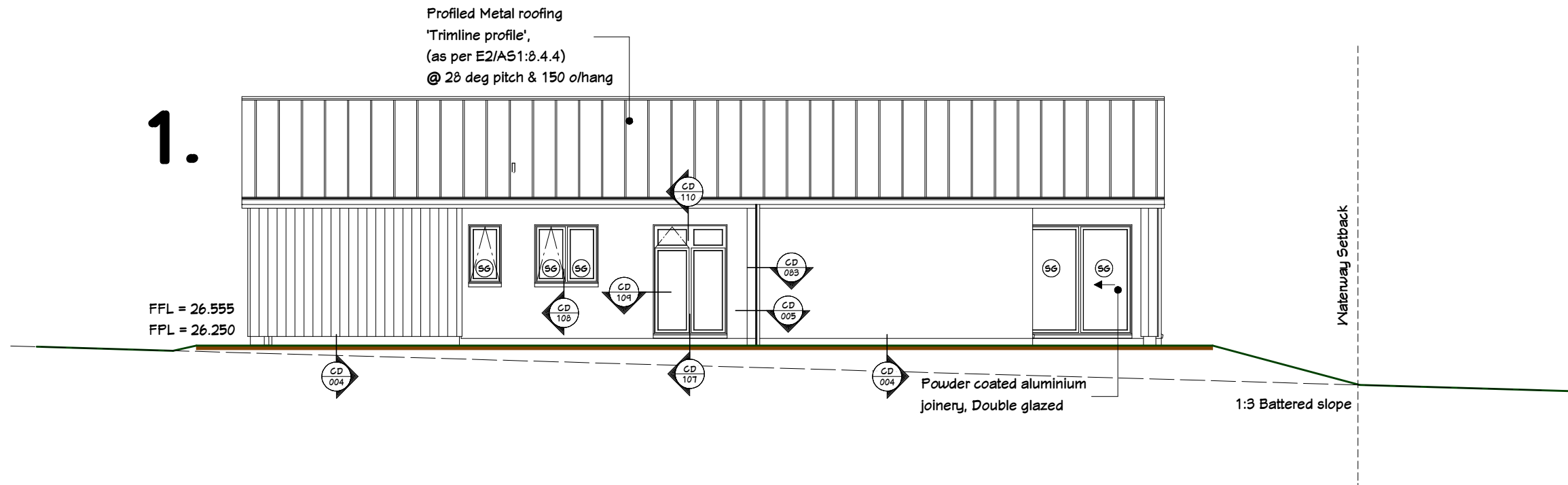
Sub-soil Classification: **E**
Soil Classification: **REF GEO - TC2**
Wind Zone: **High**
Earthquake Zone: **2**
Exposure Zone: **C**
Climate Zone: **3**
Rain Intensity (10% AEP): **53.7mm/hr**
Snowload: **1.0kPa**

Elevations .1

JOB No: 97815 SALES: Sonja
LBP: C. Neame 101178
DRAWN: Katherine DATE: 25/10/2022
SCALE: 1:100 SHEET No. 10 OF 55

HEIGHT RESTRICTION 8.0m

1.



2.

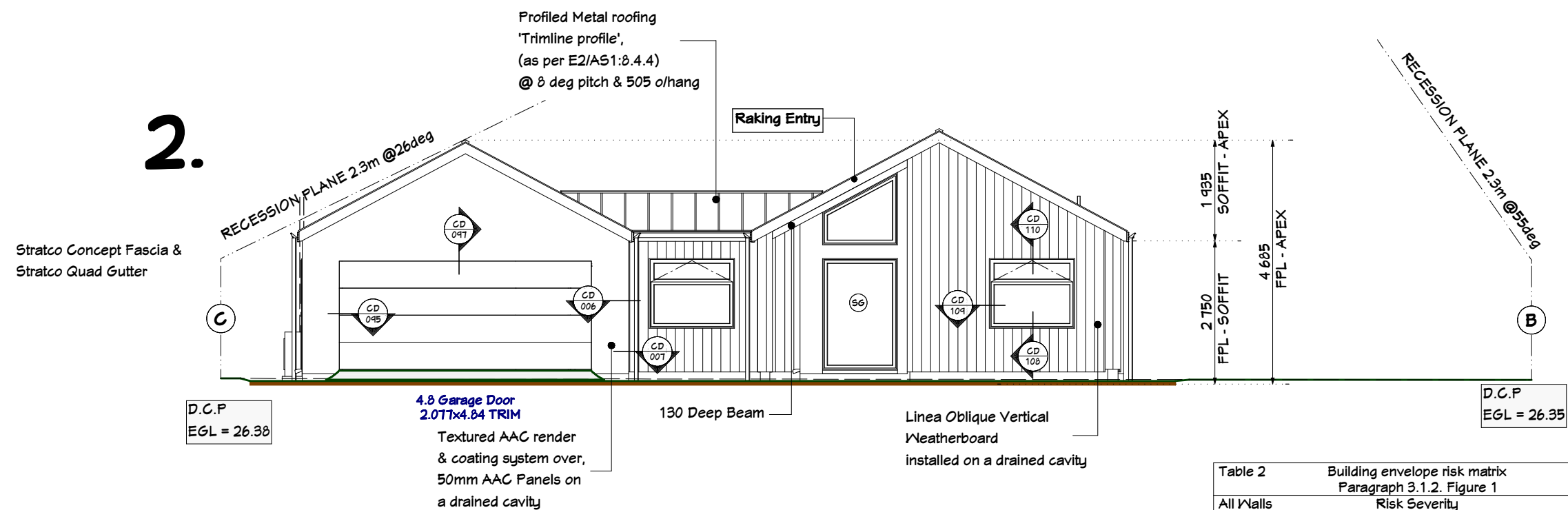


Table 2 Building envelope risk matrix Paragraph 3.1.2. Figure 1					
All Walls Risk factor	Risk Severity				Subtotals for each risk factor
	Low	Med	High	Very High	
Wind zone (per NZS 3604)	0	0	1	2	1
Number of storeys	0	1	2	4	0
Roof/wall intersection design	0	1	3	5	3
Eaves width	0	1	2	5	2
Envelope complexity	0	1	3	6	1
Deck Design	0	2	4	6	0
Total Risk Score					7

NOTES:

- If windows & doors are shown upto soffit, window and door sizes are to be measured on site prior to the manufacture of those units.

FFL = Finished Floor Level
FGL = Finished Ground Level
FPL = Finished Platform Level
EGL = Existing Ground Level

(SG) Indicates safety glass

Safety Glazing

- All glazing is to be in accordance with the NZ Building Code Handbook and NZS.4223, Parts 1, 2, & 3 Code of Practice for Glazing in Buildings.
- All glazing panels to bathrooms and toilets to have safety glazing to the interior panel only
- All glazing to be confirmed by the manufacturer prior to construction

Callout of Details

= Reference to Cladding Details CD####

CLIENT:

Kosir Residence
Lot 14, DP 571567
Kahurangi Road,
Knights Stream
Halswell, Canterbury

TERRITORIAL AUTHORITY:
Christchurch City Council
Residential Suburban Zone

SITE DATA (for zones upto & including):

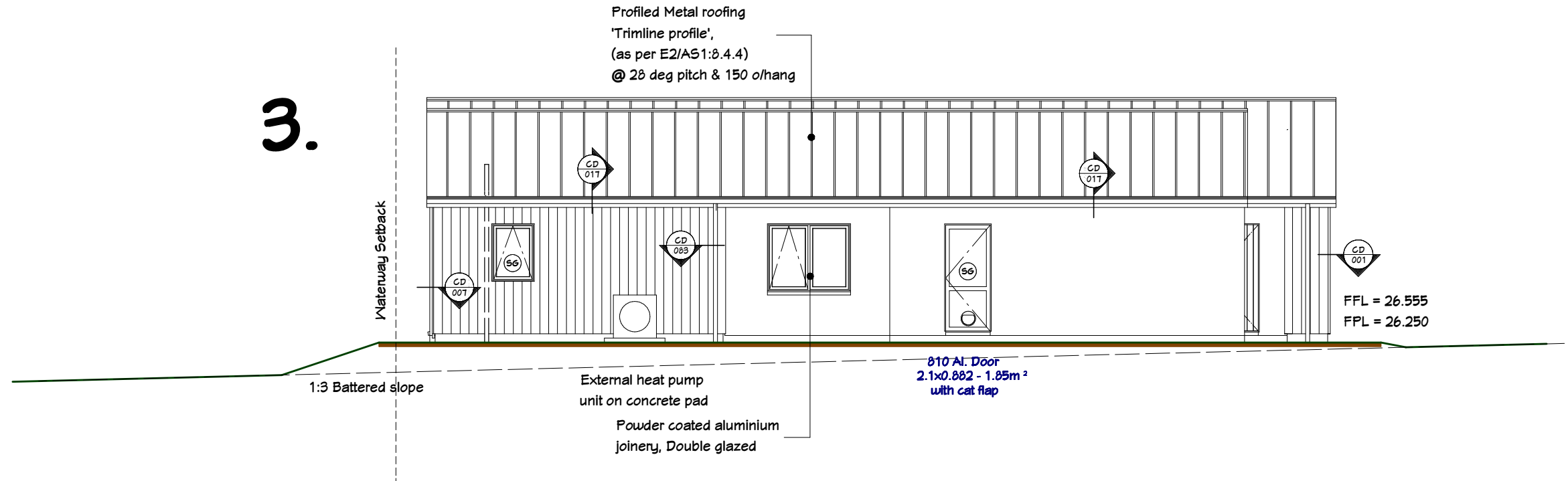
Sub-soil Classification: **E**
Soil Classification: **REF GEO - TC2**
Wind Zone: **High**
Earthquake Zone: **2**
Exposure Zone: **C**
Climate Zone: **3**
Rain Intensity (10%AEF): **53.7mm/hr**
Snowload: **1.0kPa**

Elevations .2

JOB No: 97815 SALES: Sonja
LBP: C. Neame 101178
DRAWN: Katherine DATE: 25/10/2022
SCALE: 1:100 SHEET No. 11 OF 55

Design & Build - © GOLDEN HOMES HOLDINGS LTD

3.



4.

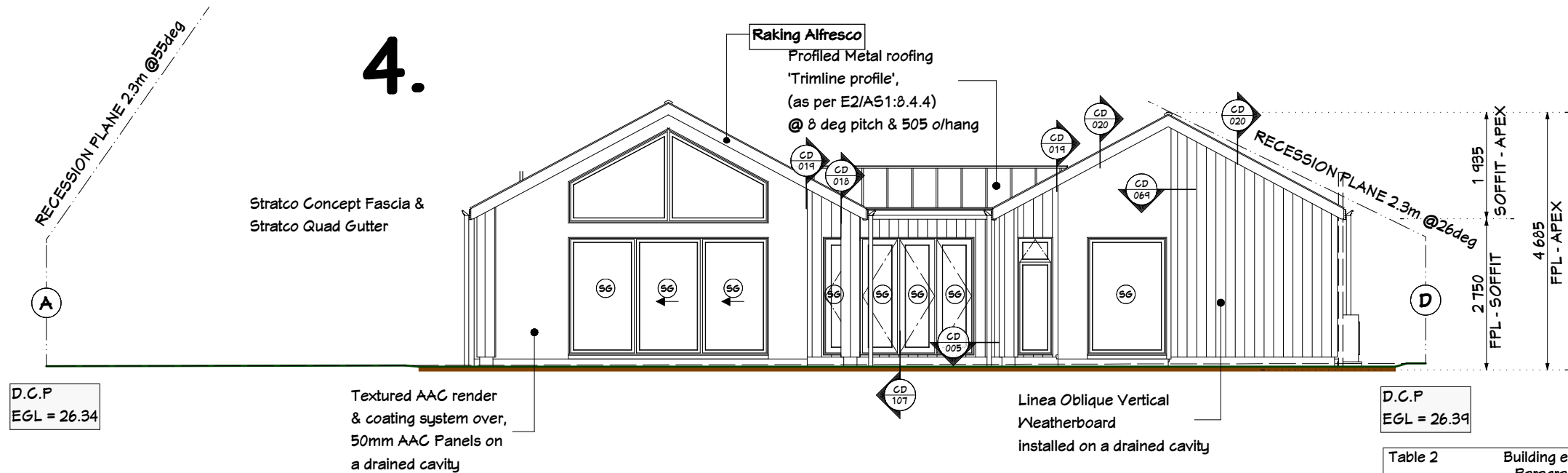
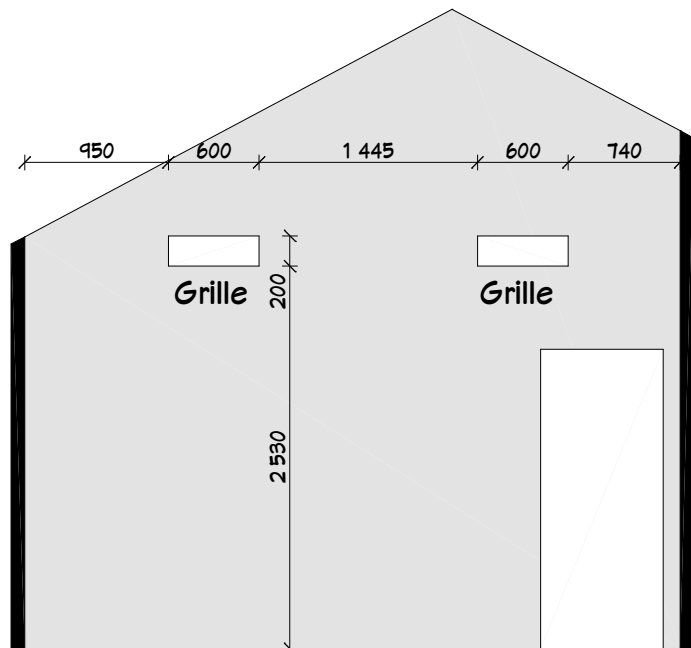
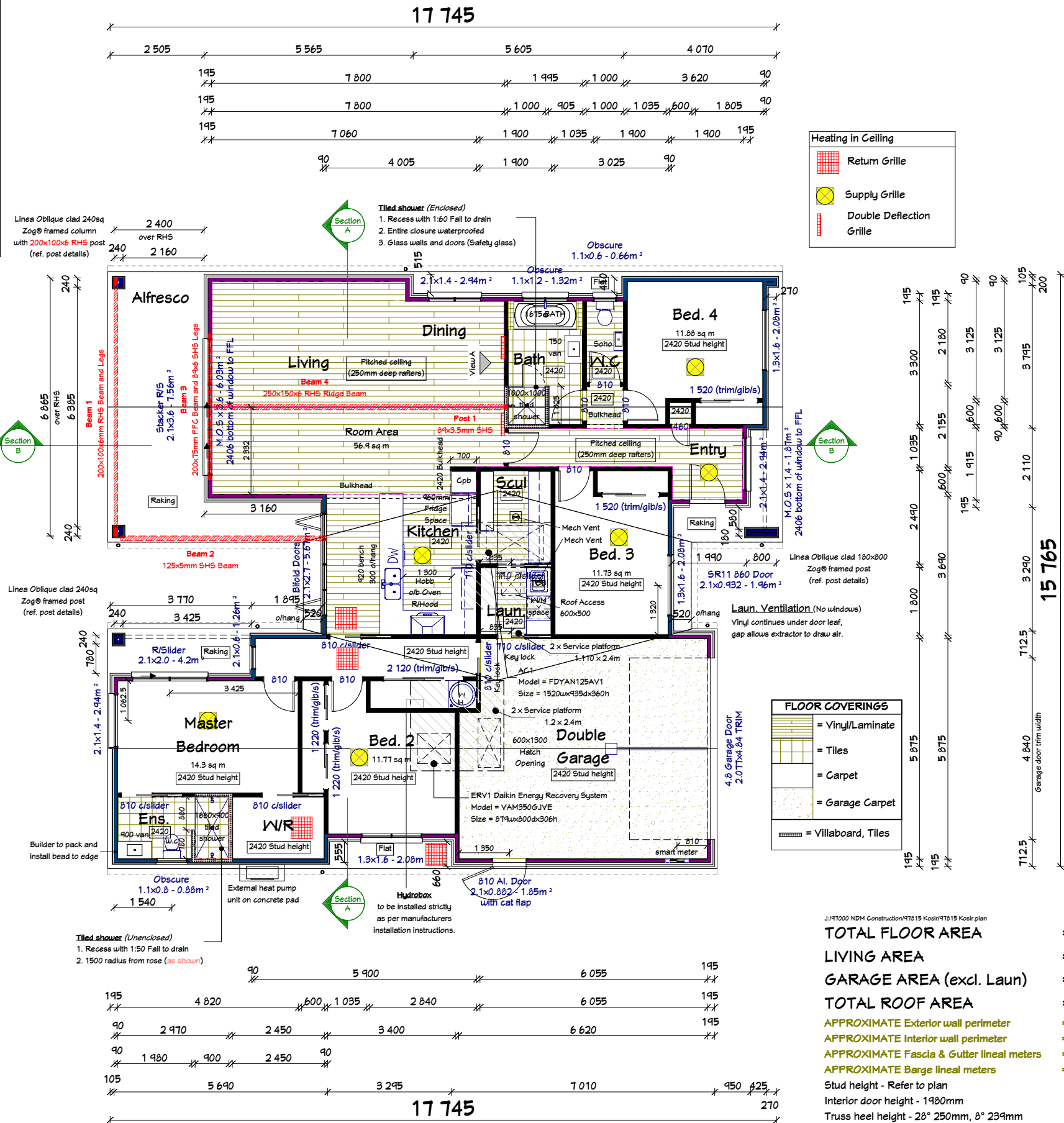
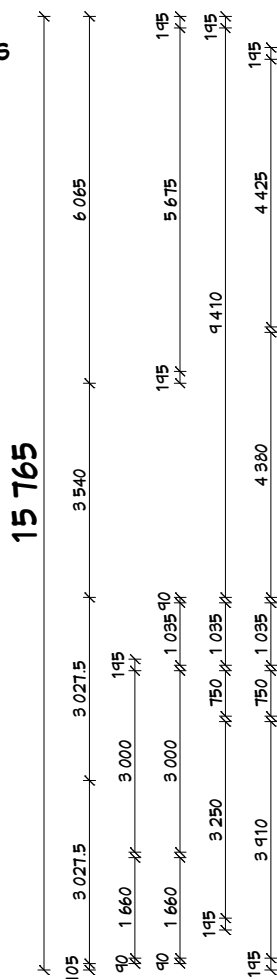


Table 2 Building envelope risk matrix Paragraph 3.1.2. Figure 1					
All Walls Risk factor	Risk Severity				Subtotals for each risk factor
	Low	Med	High	Very High	
Wind zone (per NZS 3604)	0	0	1	2	1
Number of storeys	0	1	2	4	0
Roof/wall intersection design	0	1	3	5	3
Eaves width	0	1	2	5	2
Envelope complexity	0	1	3	6	1
Deck Design	0	2	4	6	0
Total Risk Score					7



View A - Trim Positions



Heating in Ceiling	
	Return Grille
	Supply Grille
	Double Deflection Grille

FLOOR COVERINGS	
	= Vinyl/Laminate
	= Tiles
	= Carpet
	= Garage Carpet
	= Villaboard, Tiles

J:\91000 NDM Construction\91815 Kosir\91815 Kosir plan

TOTAL FLOOR AREA

LIVING AREA

GARAGE AREA (excl. Laun)

TOTAL ROOF AREA

APPROXIMATE Exterior wall perimeter

APPROXIMATE Interior wall perimeter

APPROXIMATE Fascia & Gutter lineal meters

APPROXIMATE Barge lineal meters

Stud height - Refer to plan

Interior door height - 1980mm

Truss heel height - 28° 250mm, 8° 239mm

= 213.7sqm

= 173.2sqm

= 40.5sqm

= 256.7sqm

= 77.7m

= 83.3m

= 52.2m

= 30.9m

SITE DATA (for zones upto & including):

Sub-soil Classification: E

Soil Classification REF GEO - TC2

Wind Zone: High

Earthquake Zone: 2

Exposure Zone: C

Climate Zone: 3

Rain Intensity (10%AEF): 53.7mm/hr

Snowload: 1.0kPa

Floor Plan Dimensioned

JOB No: 97815 SALES: Sonja

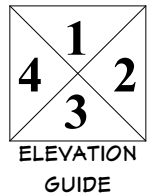
LBP: C. Neame 101178

DRAWN: Katherine DATE: 25/10/2022

SCALE: 1:125 SHEET No. 13 OF 55

NOTES:

- 89x41mm ZOG® framing
- Natural lighting is provided via glazing to 10% of floor areas for individual rooms
- Natural ventilation is provided via exterior openings of no less than 5% of floor area for individual rooms
- Internal and external walking surfaces to comply with NZBC D1/AS1 2.1.1 - 2.1.3, and Table 2
- External Access Routes surface is either; brushed concrete, exposed crushed aggregate concrete, profiled timber with the profile across the direction of travel, or be flooring selected by the client with a wet slip coefficient of no less than 0.4, refer to the specification for compliance procedure in such situations
- Where FFL is greater than 1.0m from FGL and the bottom of the opening is closer than 760mm to the FFL or a climbable fixture, a restrictor stay is to be fitted to limit the maximum opening so that a 100mm dia sphere cannot pass through it.
- All access routes are to be protected by dangerous projections as shown in D1/AS1, Fig 6



CLIENT: Kosir Residence
Lot 14, DP 571567
Kahurangi Road,
Knights Stream
Halswell, Canterbury
TERRITORIAL AUTHORITY:
Christchurch City Council
Residential Suburban Zone