

MARLBOROUGH COUNTY COUNCIL

20280-144-1

App 43

BUILDING APPLICATION FORM

The County Engineer,
(attn. Building Inspector),
Marlborough County Council,
BLLENHEIM.

MICROFILMED

Date 21-5 19 71.

Dear Sir,

I hereby apply for permission to Garage Garage
erect
alter
convert
reinstate
add
demolish

For Mr G E Stratford / (Previous Owner)

Address: Carluka Rai Valley

Builder G E Stratford (Name) Carluka Rai Valley (Address)

Drainlayer/Plumber _____ Address _____

According to the plans and specifications deposited herewith in duplicate.

- LOCALITY Rai Valley
- VALUATION No. 2028/144/1
- DESCRIPTION: Lot No. DP 2200 Pt sec 75. Blk.
I Mahamaraia SD.

4. AREA OF GROUND FLOOR 480 s. ft.

5. AREA OF OUTBUILDING _____ s. ft.

6. ESTIMATED VALUE OF: Building or Alterations	\$ <u>800.</u>	Fee \$ <u>4 : 00.</u>
Plumbing and Drainage	\$ _____	Fee \$ _____
		\$ _____
	Building and Research Levy	\$ _____

TOTAL \$ 4 : 00

If work valued at over \$20,000 state estimated date of commencement _____ / _____
month year

estimated date of completion _____ / _____
month year

- ARE THERE ANY OTHER BUILDINGS ON THE SITE yes
- PROPOSED PURPOSES for which every part of above building is to be used or occupied (describe separately each part intended for use or occupation for a separate purpose).



Yours faithfully,
Signature of Applicant G E Stratford
Address Rai Valley

FOR OFFICE USE ONLY

Application No. <u>43</u>	Date <u>1 / 1</u>	Approved <u>[Signature]</u>
Permit No. <u>0047398</u>	Date <u>9 / 7 / 71</u>	Date <u>21/6/71</u>
Fee Paid \$ <u>4-00</u>	Date <u>1 / 1</u>	Conditions _____
Receipt No. <u>4013</u>	Date <u>21/5/71</u>	

Zone _____

Remarks _____

Would like approval to start as soon as possible. Phone 44 Rai Valley.



I N F O R M A T I O N

BUILDING BY-LAWS — NZSS 1900 N.Z. STANDARD MODEL BUILDING BY-LAWS

Building Permits are required among other things for the erection, re-erection, reconditioning of a building, alteration, repair, addition or removal from one place to another (maintenance-work, other than structural is not deemed a repair). For buildings whether temporary or permanent, movable or immovable. For retaining walls within 4 ft of a boundary or exceeding 4 ft. in height; tanks 5000 gals and over and tanks 400 gals and more supported at a height of more than 6 feet.

Applications:

Both applications for Building, Drainage and Plumbing (if required) to be submitted with the fees. In duplicate — site plan, foundation and floor plan, elevations and cross section, and specifications of material and workmanship.

Estimate value means the value of the completed work including all materials and labour.

The Engineer shall have absolute determination of the valuation of such work.

No person shall erect or cause to erect a building without first obtaining a permit. Nor shall they commence any excavations or filling to form access from any road or reserve without prior approval from the Engineer.

The Building Inspector is to be notified at least 24 hours prior to foundations being poured.

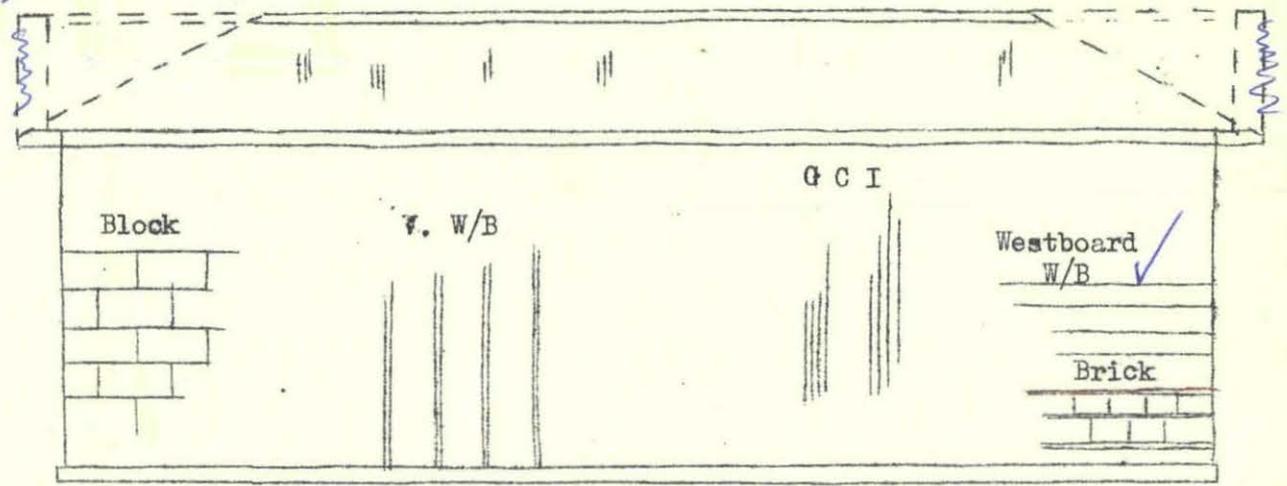
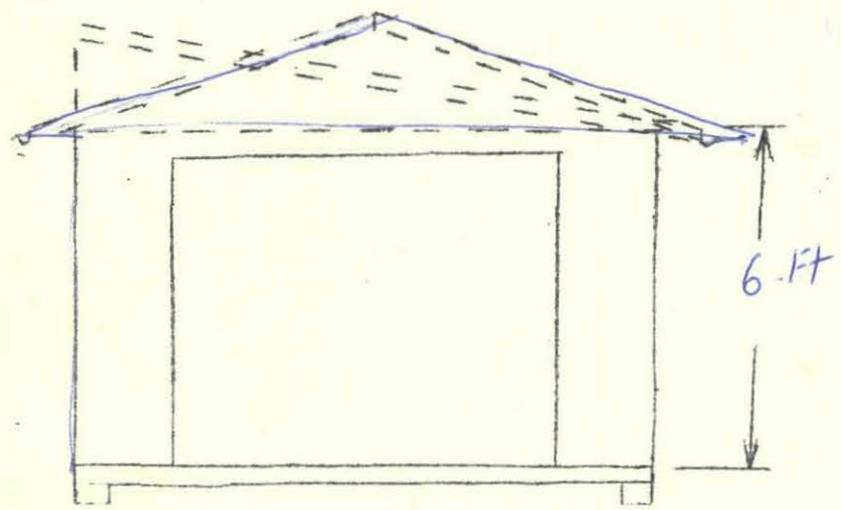
The Economic Stabilisation Regulations 1968:

Proposed buildings or additions over \$20,000 in value other than a single household unit. Written notice to be given to the Authority (Ministry of Works).

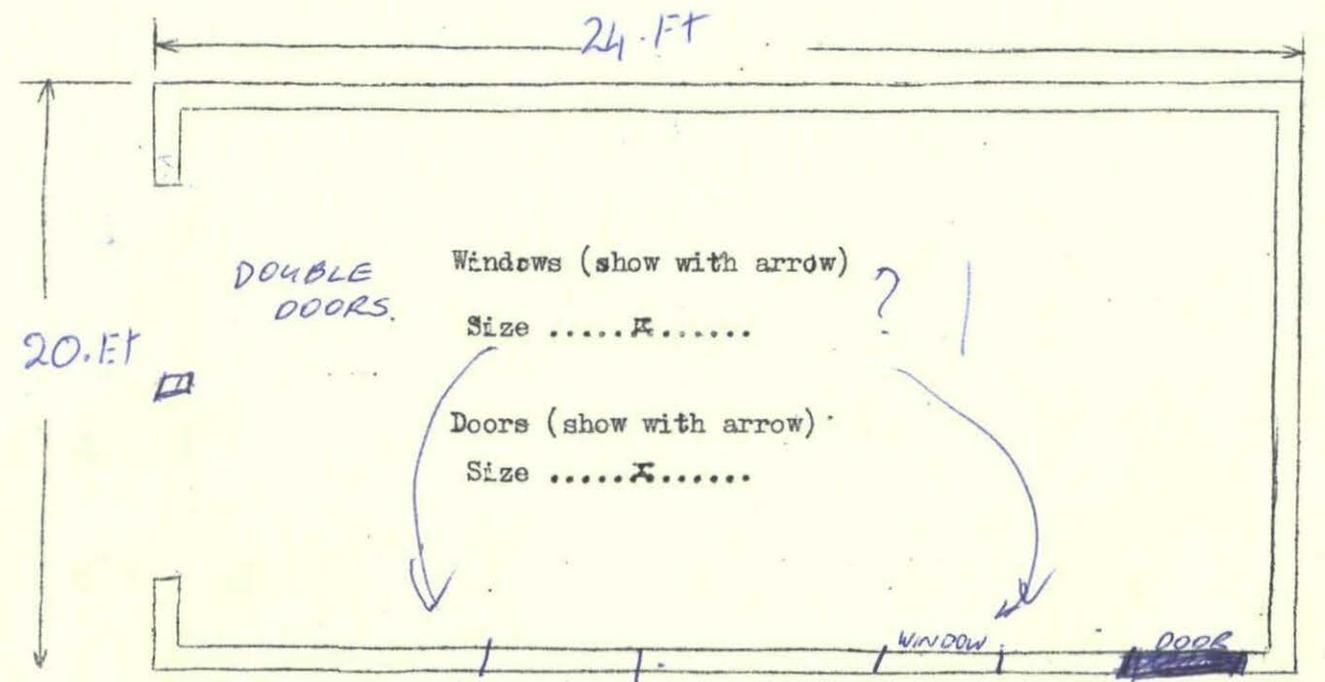
Schedule of Fees:

				Estimated Value of Work		
				FEE	BUILDING RESEARCH LEVY	
				\$	Total Value	Levy
				0.50	(including plumbing)	\$
Up to \$20						
Over	\$20	and not exceeding	\$200	1.00	3,000- 4,000	2.00
"	\$200	" " "	\$400	2.00	4,000- 5,000	2.50
"	\$400	" " "	\$600	3.00	5,000- 6,000	3.00
"	\$600	" " "	\$800	4.00	6,000- 7,000	3.50
"	\$800	" " "	\$1,000	5.00	7,000- 8,000	4.00
"	\$1,000	" " "	\$1,200	6.00	8,000- 9,000	4.50
"	\$1,200	" " "	\$1,400	7.00	9,000-10,000	5.00
"	\$1,400	" " "	\$1,600	8.00	10,000-11,000	5.50
"	\$1,600	" " "	\$1,800	9.00	11,000-12,000	6.00
"	\$1,800	" " "	\$2,000	10.00	12,000-13,000	6.50
"	\$2,000	" " "	\$2,500	12.00	13,000-14,000	7.00
"	\$2,500	" " "	\$3,000	14.00	14,000-15,000	7.50
"	\$3,000	" " "	\$3,500	16.00	15,000-16,000	8.00
"	\$3,500	" " "	\$4,000	18.00	16,000-17,000	8.50
"	\$4,000	" " "	\$5,000	21.00	17,000-18,000	9.00
"	\$5,000	" " "	\$6,000	24.00	18,000-19,000	9.50
"	\$6,000	" " "	\$7,000	27.00	19,000-20,000	10.00
"	\$7,000	" " "	\$8,000	30.00	20,000-21,000	10.50
"	\$8,000	" " "	\$9,000	33.00	21,000-22,000	11.00
"	\$9,000	" " "	\$10,000	36.00	22,000-23,000	11.50
"	\$10,000	" " "	\$12,000	40.00	23,000-24,000	12.00
"	\$12,000	" " "	\$14,000	44.00	24,000-25,000	12.50
"	\$14,000	" " "	\$16,000	48.00	25,000-26,000	13.00
"	\$16,000	" " "	\$18,000	52.00	26,000-27,000	13.50
"	\$18,000	" " "	\$20,000	56.00	27,000-28,000	14.00
"	\$20,000	" " "	\$25,000	64.00	28,000-29,000	14.50
"	\$25,000	" " "	\$30,000	72.00	29,000-30,000	15.00
					30,000-31,000	15.50

Date 21-5-71
 Proposed garage - shed Garage
 for G.E. Stratford Carleke at Rain Valley

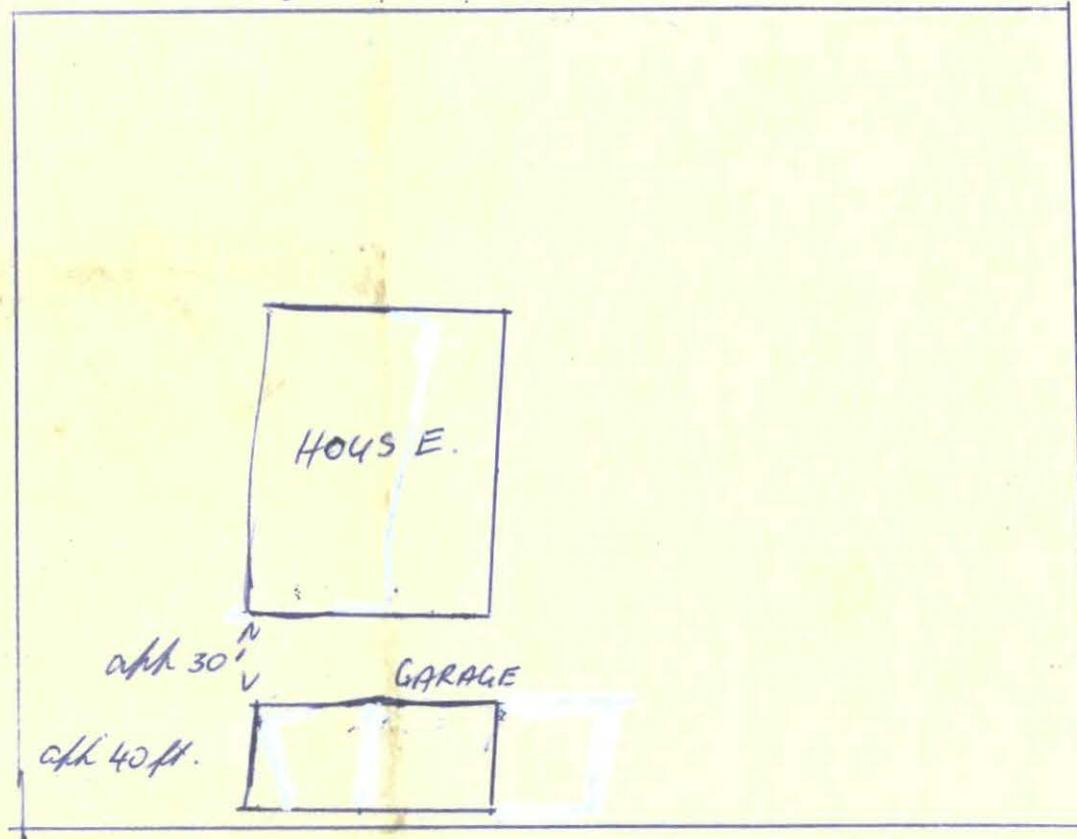


- Foundations concrete
- Reinforcing
- Floor dent
- Studs Size 4x2 Spacing 24"
- Rafters Size 4x2 Spacing 36"
- Bracing 4x2
- Trimmers 4x2
- Roof Iron
- Exterior covering West Board



20980-144-1
 App. 43

OPOURI ROAD.



Want to go to back boundary
as close as possible

old buildings app 200 ft away ↓

File No. 3804

Permit No. H017650

MARLBOROUGH DISTRICT COUNCIL RECEIVED
APPLICATION FOR BUILDING PERMIT

22 MAR 1007
MARBOROUGH DISTRICT COUNCIL

WARNING — The issue of this Permit is an approval to do the work described herein. IT DOES NOT IMPLY OR MEAN: That the method of construction is adequate or appropriate or, that the foundations are appropriate or adequate or, that Council accepts any obligations of supervision or, that Council accepts any liability whatever.

To THE ENGINEER, Sir,
I/We hereby apply for permission to ~~erect, add, demolish, resite a~~ (state type of work) a veranda

Please indicate Work ✓

at No. Opaari RAI VALLEY Road/Street

For (owner-occupier) Faye Edith Stratford

of (full postal address) Carlisle Rai Valley Phone 054. 26044

Name and address of owner (of the land if not that stated above) according to locality plan and detailed plans, elevations, cross-sections, and specification of building deposited herewith in DUPLICATE
Previous owner Don Wilson

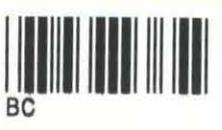
PARTICULARS OF LAND

Val. Roll No. 20280 144 0100 LOT A 11 DP 2200 Being Pt. section 75-76

Property No. 149745 Rural Gate No. Nil

PARTICULARS OF BUILDING

Total floor area:m² Area of Accessory Building.....m²
B. JONES Builder 2 BASIN ILE WAKEFIELD Address
Name of Available Phone.....
..... Plumber Address
Name of Phone.....
..... Drainlayer Address
Name of Phone.....



ESTIMATED VALUE

Building \$ 3000
Plumbing \$
Drainage \$
Total \$ 3000
Signature of Owner [Signature]
Signature of Applicant [Signature]
Address of Applicant
Date of Application Phone 054. 26044

OFFICE USE ONLY

FEES PAYABLE -		Receipt Numbers
Buildings	\$ 63:00	
Footpath Services	\$:	1987
Damage Deposit	\$:	05-04
Building Research Levy	\$:	
Plumbing	\$:	
Drainage	\$:	
Sewer Connection	\$:	
Water Connection	\$:	
Stormwater Connection	\$:	
Vehicle Crossing	\$:	
Reserves Cont. Fee	\$:	
Travel Fee	\$ 63:00	
	\$:	
	\$:	
	\$:	
	\$:	
TOTAL	\$ 126:00	

Approved [Signature]
DISTRICT COUNCIL BUILDING INSPECTOR
Date 28.3.90
Footpath Damage Deposit Refunded Retained

MARLBOROUGH DISTRICT COUNCIL

File No: _____

Routine Check List

Date: 27 3 90

LEGAL DESCRIPTION: Val. Roll No: 20280-14401 Lot: All D.P.: 2200

PROPOSED BUILDING: Verandah addition ADDRESS: Opposite Valley

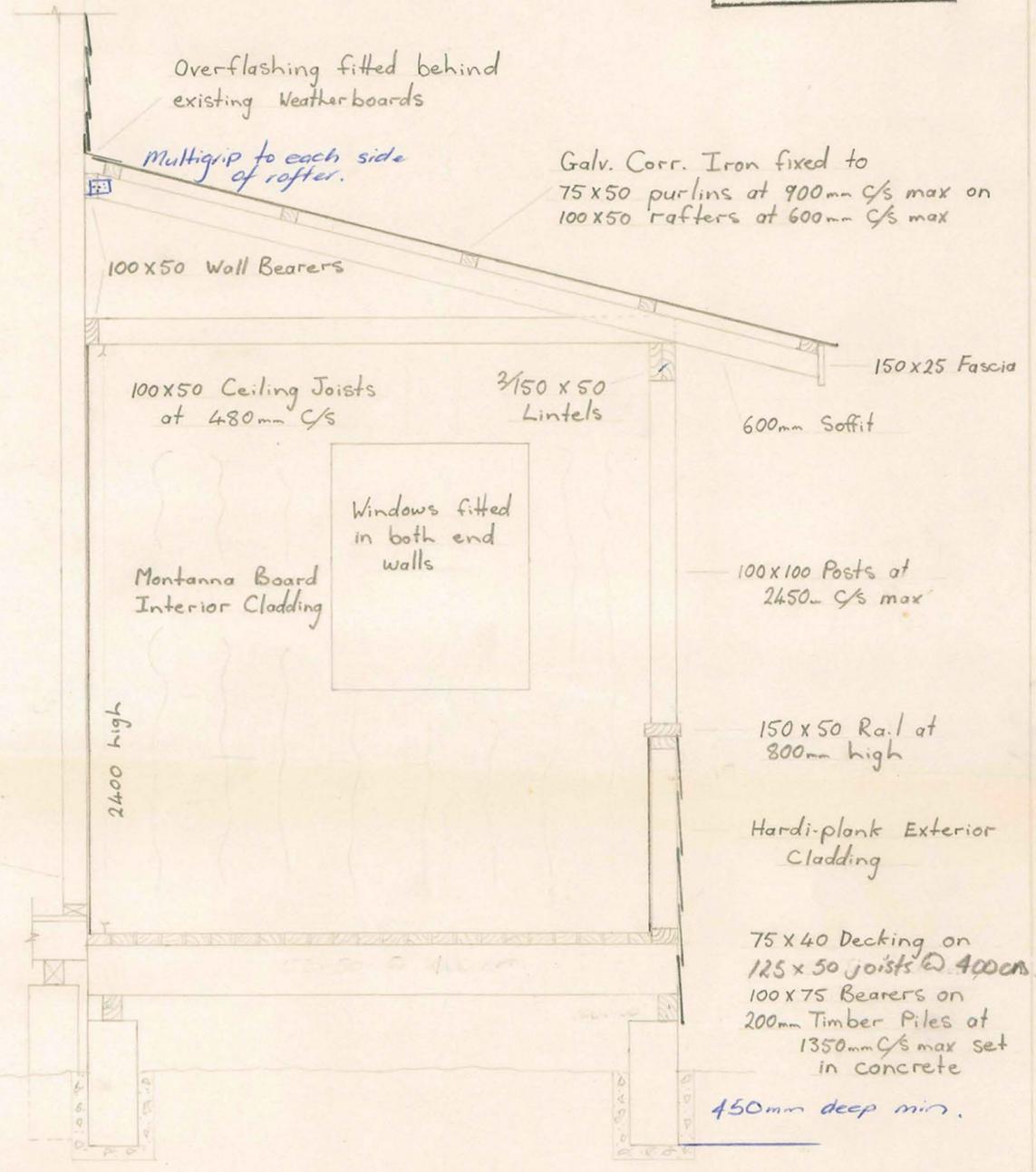
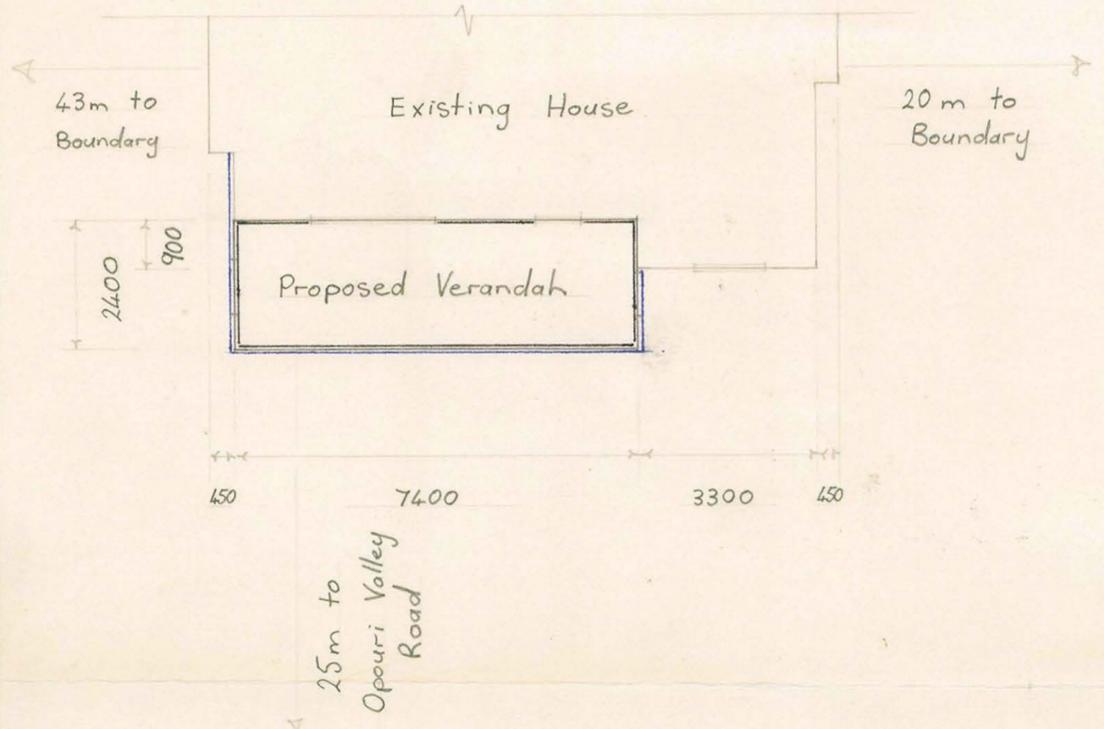
OWNER: F. E. Stottford BUILDER: B. Jones

DEPARTMENT;	CHECKLIST:	REMARKS;	INITIALS:	DATE:	
TOWN PLANNER	Zoning, Use and Site	<u>Rural A.</u>			
	Yards and Height	<u>OK</u>			
	Site Coverage	<u>"</u>			
	Off Street Parking	<u>N.A.</u>			
	Street Set Back/Building Line Restriction	<u>"</u>			
	Length in Relation to Yards	<u>"</u>			
	Other buildings on site	<u>yes</u>			
	Width of Eave	<u>OK</u>			
	Critical floor level area	<u>"</u>			
	Catchment Board	<u>N.A.</u>			
	Council Approval Required	<u>"</u>			
	BUILDING INSPECTOR	Certificate of Registration	<u>OK</u>		
		Value of Application	<u>"</u>		
Foundation		<u>"</u>			
Concrete		<u>N.A.</u>			
Reinforcing		<u>"</u>			
Framing		<u>OK</u>			
Roof		<u>"</u>			
Insulation		<u>N.A.</u>			
Veneer		<u>"</u>			
Chimney		<u>"</u>			
Room Sizes and Combination		<u>"</u>			
Stud height		<u>"</u>			
Light Ventilation		<u>"</u>			
Fire Wall-Lateral Support Requiring Specific Design	<u>"</u>				
HEALTH-PLUMBING AND DRAINAGE	General Plumbing				
	Number of Sanitary Fittings				
	Sewer				
	Sewer invert (Relative to floor level)				
	Stormwater Drains				
	Stormwater to Street				
	Water Supply				
	Isolation of W.C. Compartments				
	Sewer Connection				
	Water Connection				
Stormwater Connection					
WORKS	Footpath Crossing Required				
	Footpath Level				
	Sewer Invert Level				
	Finished Floor Level				

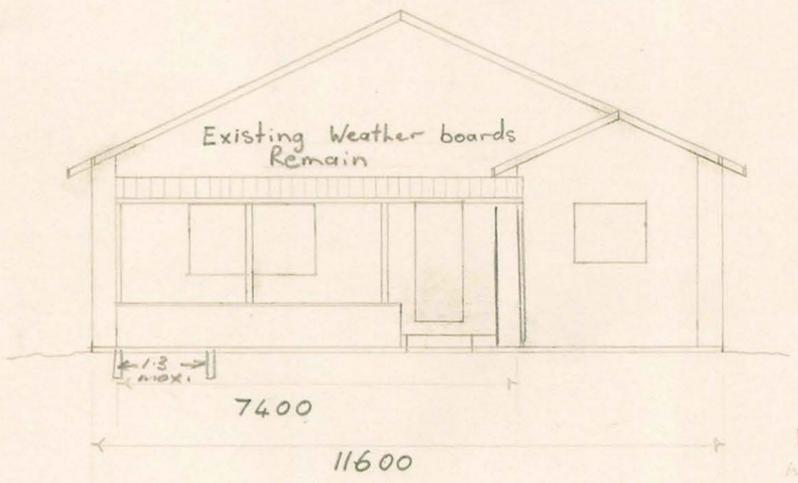
28-3-90

RECEIVED
 22 MAR 1009
 MARLBOROUGH
 DISTRICT COUNCIL

— Hardi-plank Cladding
 — Montanna Board



Typical Section View



MARLBOROUGH DISTRICT COUNCIL
 APPROVED SUBJECT TO:
 1. All work complying with the Council Building By-Laws.
 2. 72 hours notice being given to the Building Inspector prior to pouring any concrete.
 GARTH CONGDON Building Inspector

Proposed Verandah Extensions For
 Stratford Residence at Carluke
 Rai Valley



MARLBOROUGH COUNTY COUNCIL

BUILDING APPLICATION FORM

The County Engineer,
(attn. Building Inspector)
Marlborough County Council,
BLENHEIM.

Date



Dear Sir,

I hereby apply for permission to

erect
alter
~~convert~~
reinst~~ate~~
add
demolish

WOODSHED, VEHICLE MARLBOROUGH COUNTY COUNCIL

(Type of Building)

Mr GEORGE SPITTAL & MRS FAY STRATFORD N/A
(Owner/s) (Previous Owner)
Address: CARLUKE, RAI VALLEY
Builder: BRIAN JONES 2 BASTIN TCE, WAKEFIELD.
(Name) (Address)
Drainlayer: N/A Address: —
Plumber: N/A Address: —

According to the plans and specifications deposits herewith in duplicate.

1. ADDRESS OF BUILDING SITE CARLUKE, RAI VALLEY
2. VALUATION No. 20280 14401
3. DESCRIPTION: Lot No. All D.P. 2200 BIK I, Wakamanga S.D.
3a. RURAL GATE NUMBER Prop. No. 149745 LAND AREA 4014m² ZONE Rural A
Rec. No.

4. FLOOR AREA 32 m² Inspection Fee \$ 39.00 010825
5. AREA OF OUTBUILDING m² Travelling Surcharge Fee \$ 39.00
6. ESTIMATED VALUE OF WORKS (incl. GST) Plumbing and Drainage Fee \$ NIL
Building \$ 1950.00 Building Research Levy \$
Plumbing Labour \$ — TOTAL \$ 38.00
and Drainage Materials \$ — GST \$ 7.80
Total incl. GST \$ 1950.00 Total incl. GST \$ 85.80

7. LIST EXISTING BUILDINGS ON SITE NONE
8. PROPOSED PURPOSES for which every part of above building is to be used or occupied (describe separately each part intended for use of occupation for a separate purpose). Wood SHED & VEHICLE PARKING

Yours faithfully,



Signature of Applicant F E Stratford. (054) 26444
Address Carluka Rai Valley

NOTE: Fees, Plans and Specifications should accompany this application (see Reverse)
NOTE: No active work will be commenced on any building until necessary permits have been issued.

FOR OFFICE USE ONLY

Application No. 34 Date 17/04/89 Approved B.L. Langdon
Permit No. 9022324 Date 23 JUN 1989 Date 16.5.89
Fee Paid \$ 85.80 (010825) Date 3/05/89 Condition

Remarks

INFORMATION

BUILDING BY-LAWS — NZSS 1900 N.Z. STANDARD MODEL BUILDING BY-LAWS

Building Permits are required among other things for the erection, re-erection, reconditioning of a building, alterations, repair, addition or removal from one place to another (maintenance-work, other than structural is not deemed a repair). For buildings whether temporary or permanent, movable or immovable. For retaining walls with 1.25m of a boundary or exceeding 1.25m in height.

Applications:

Both applications for Building, Drainage and Plumbing (if required) to be submitted with the fees in duplicate — site plan, foundation and floor plan, elevations and cross section, and specifications of material and workmanship, and all measurements to be in metrics.

Estimate value means the value of the completed work including all materials and labour, the Engineer shall have absolute determination of the valuation of such work.

No person shall erect or cause to erect a building without first obtaining a permit. Nor shall they commence any excavations or filling to form access from any road or reserve without prior approval from the Engineer. Especially where the garage is above or below the road level.

The Building Inspector is to be notified at least 24 hours prior to foundations being poured.

Any enquiries regarding zoning and land use refer to the County Land Planning Officer.

SCHEDULE OF FEES:

FIRST SCHEDULE

Building Permits

Examination and Inspection Fee based on the value of work

Value of Work	Fee
Up to — \$1,000	\$36
1000 — 20,000	\$5 per \$1000 plus \$30
20,000 — 100,000	\$2.5 per \$1000 plus \$100
100,000 — and over	\$6 per \$1000 plus \$250
	\$1

THIRD SCHEDULE

Travel Surcharge

The travel surcharge applies to all works valued at \$1000 and over but shall not exceed the application fee.

0 — 6 kms	\$ 5
6.1 — 11 kms	10
11.1 — 16 kms	18
16.1 — 31 kms	24
31.1 — 46 kms	32
46.1 — 60kms	48
over 60 kms	64

FOURTH SCHEDULE

Building Research Levy

The fee shall be as required by the Building Research Levy Act and its amendments from time to time.

FIFTH SCHEDULE

Fees Payable for Special Duties

For inspecting old timber before reuse — \$10
All other inspections — fees on request.

BUILDING RESEARCH LEVY FOR VALUE EXCEEDING \$10,000

Total Value (including plumbing) \$	Levy \$
10,000 — 11,000	11.00
11,000 — 12,000	12.00
12,000 — 13,000	13.00
13,000 — 14,000	14.00

Additional fees may be calculated at \$1 per \$1000 value or part thereof.

Building Research Levy
for Value Exceeding \$20,000
Fees to be calculated on the
total value of the work
(including plumbing and drainage)
\$1 per \$1000 value.

MARLBOROUGH COUNTY COUNCIL

P.O. Box 443,
Blenheim

16. 05. 89

To Mr G. Spittal
Carluka
Rai Valley.

Application No. 34
Reference No. 20280-14401

Dear Sir/Madam,

Your application to erect a woodshed & garage

for yourself & Mrs Stralford

at Carluka

has been Approved, Deferred, Declined for the following reasons.

Denying the receipt of building
permit fees totalling \$85.80.

PAYEE NO
3184100

0809531023

No active work shall be commenced on any building until all necessary permits have been issued.

Yours faithfully,

B. P. Longson
Engineer / Building / Health Inspector

No. 008

No.

MARLBOROUGH COUNTY COUNCIL

P.O. Box 443
Blenheim

Application No.

Reference No.

To

TRUST BANK
 CAN PROPERTY
 24 MAY 1989
 NELSON
 UNIT 1

Dear Sir Madam,
Your application to

for

of

has been Approved, Deferred, Declined for the following reasons:

No other work shall be commenced on any building until all necessary permits have been issued.
Yours faithfully,

Building Inspector

CASH RECEIPT & TAX INVOICE
MARLBOROUGH COUNTY COUNCIL

G.S.T. No.

1 0 3 4 1 0 9 4

P.O. Box 443
Blenheim

Telephone
83-249 Blenheim

G. Spittal & F. Stratford

01.06.89

Carlisle

Rai Valley

Building Permit fee

78-00

SUB TOTAL \$

78-00

GOODS AND SERVICES TAX \$

7-80

TOTAL DUE

\$

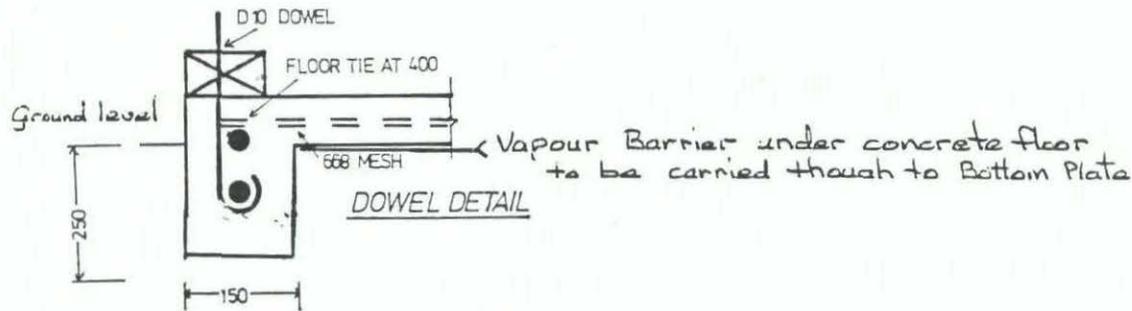
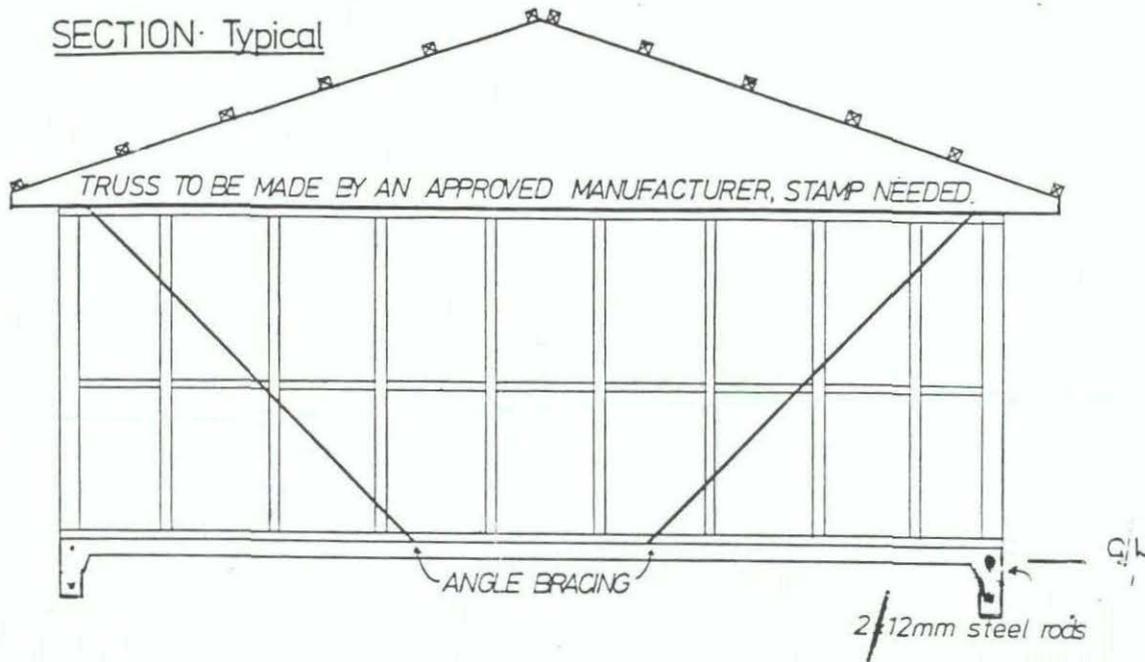
85-80

Official Receipt

TERM 01 A/C 1 31/05/89
CASH 01 G/L 0106175R36 15:14
REC 010825 MIS/GST CHQ \$85.80

SPECIFICATION

SECTION: Typical



CONCRETE FLOOR SLAB AND FOUNDATIONS

Floor slab should be a minimum of 100mm thick with edge thickening to perimeter a minimum of 250mm.

Minimum concrete strength shall be of 12.5 MPa.

Soft ground conditions and sloping sites shall require extra concrete in edge thickening and extra metal fill under the floor slab.

4.0mm galv. wire ties shall be cast in as detailed above, where concrete piles or a continuous low height concrete foundation is required then these shall be constructed to a separate specification.

DAMP COURSE

2 ply bituminous d.p.c shall be fixed between all timber plates and concrete foundations.

TIMBER

All timber shall be pinus radiata, machine gauged, No. 1 framing grade and interior treated to meet the requirements of TFA (NC specification 08.)

WALL FRAMING

All studs shall be at 600mm maximum centres. Studs, top and bottom plates and nogs shall all be 100x50

ROOF FRAMING

Furries shall be at maximum centres on nail plate timber trusses at centres.

Trusses shall be secured over plate to studs with 2 nails.

ROOFING

Roofing shall be 0.45mm galvanised corrugated steel or 0.45 mm pre-painted galvanised steel nailed in accordance with the manufacturer's recommendations. Roofing shall be laid over building paper supported by polyethylene string or galvanised wire netting.

Flashing shall be 0.45mm galvanised steel with lead edging or pre-painted galvanised steel with lead edging.

FACIA GUTTER AND DOWN PIPES

.....

WALL CLADDING

Wall cladding shall be.....

.....
 bituminised paper shall be behind all claddings.

WINDOWS & DOORS

.....

Marlborough County Council.
 Building Permit Application Aid.

LIGHT TIMBER FRAMED ACCESSORY BUILDING.

OWNER'S NAME: _____ LOT _____ DP _____

ADDRESS OF WORK: _____



RECEIVED
8 APR 1989
MARLBOROUGH
COUNTY COUNCIL

With the compliments

of the

Marlborough County Council

2 copies of Plans
Specifications

⊕

Site Plans are
required with the completed
application form.

19 HENRY STREET,
BLenheim

TEL. 83-249

P.O. BOX 19
BLenheim

RECEIVED

18 APR 1989

MARLBOROUGH
COUNTY COUNCIL

MARLBOROUGH COUNTY COUNCIL

PLEASE ENSURE THAT THE
FOLLOWING INFORMATION IS
INCLUDED ON THE SITE PLAN, IF
APPLICABLE.

1. Distances to watercourses.
 2. Distances to nearest building - All existing buildings must be shown.
 3. Distances to all boundaries.
 4. The slope of the land to be shown and foundation details drawn accordingly.
 5. Legal description to be given.
 6. Measurements to be in metrics.
- PLEASE ENSURE PLAN IS DRAWN
IN INK & THAT ALL LINES ARE
RULED.

LEGAL DESCRIPTION -

VALUATION NO. -

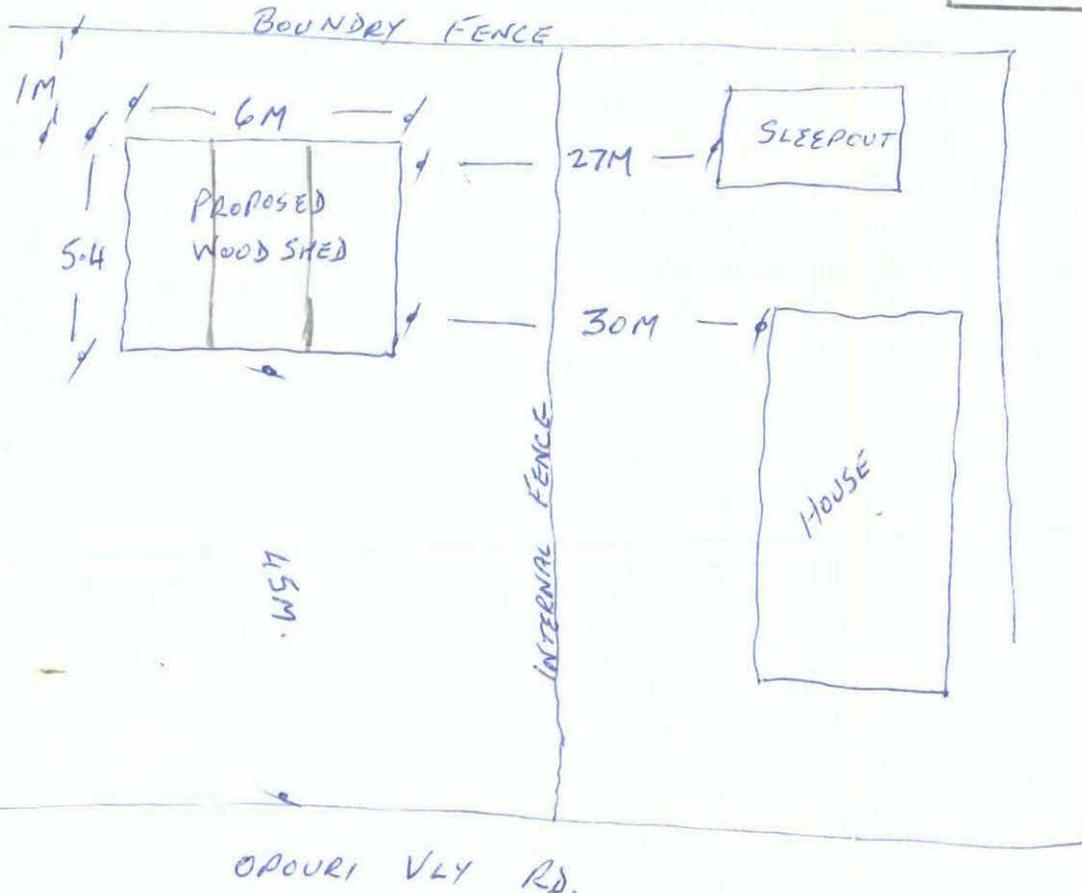
NAME -

ADDRESS -

.....

.....

FARMLAND



SITE PLAN

Receipt No. 010825

Date Permit Issued 23/ 6 / 89

OWNER

Name G. Spittal & F Stratford

Mailing Address Carluke
Rai Valley

BUILDER

Name B. Jones

Mailing Address 2 Bastin Tce
Wakefield

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name Carluke

Town/District Rai Valley

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. 20280 - 14401

Lot A 11 D.P. 2200

Section _____ Block 1

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Woolshed, Vehicle Bay.

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres		Number Erected	
ESTIMATED VALUES \$	Building		1950
	Plumbing		
	Drainage		
	G.S.T.		
	TOTAL		1950

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 78 00	Water Connection	\$ _____
Street Damage Deposit	\$ _____		\$ _____
Building Research Levy	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ 7 80
M.S. Plumbing	\$ _____	TOTAL:	\$ 85 80

Receipt No. 010825

Date of Payment 31 / 5 / 89

Authorised Officer [Signature]

Special Conditions: (In addition to those noted on reverse): _____

2.14 Deviation from permit

2.14.1 After a permit has been issued no departure shall be made from any of the particulars supplied upon any plan, drawing, specification or document deposited with the application upon which the permit was issued, unless amended particulars clearly describing the intended deviation are supplied to the Engineer in his office and the Engineer shall have given his written approval of the deviation.

Section boundaries must be identified by the owner and the issue of this permit does not involve approval of the site as being within the boundaries of the owner's land.

Indubitably in those cases funding forewarns reserves but in cases of any doubt the owner must if necessary identify his boundaries by a survey and enclose the building site is with a three boundaries. The Council specifically excludes itself from any liability arising from the inspection of the site or approval conveyed by this permit in terms of the exact location of the building.

Notification needed when foundations ready for inspection.

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws.

IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.

Marlborough County Council No.

Receipt No. 010825

Date Permit Issued 23/ 6 / 89

OWNER
Name G. Spittal & F Stratford
Mailing Address Carlisle Rai Valley

BUILDER
Name B. Jones
Mailing Address 2 Bastin Tce Wakefield

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE
Street No.
Street Name Carlisle
Town/District Rai Valley
Riding

LEGAL DESCRIPTION
Valuation Roll No. 20280 - 14401
Lot A 11 D.P. 2200
Section Block 1
Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE
Woolshed, Vehicle Bay

FLOOR AREA DWELLING UNITS
Whole Sq. Metres Number Erected

Table with columns for ESTIMATED VALUES (\$) and Building, Plumbing, Drainage, G.S.T., TOTAL. Value 1950 is entered for Building and TOTAL.

NATURE OF PERMIT (TICK BOX)
NEW BUILDING
FOUNDATIONS ONLY
ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
NEW CONSTRUCTION OTHER THAN BUILDINGS
DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE
Table listing fees: Building Permit (\$78.00), Street Damage Deposit, Building Research Levy, Plumbing, Drainage, Sewer Connection, Vehicle Crossing Levy, M.S. Plumbing, Water Connection, G.S.T., TOTAL (\$85.80). Includes Receipt No. 010825, Date of Payment 31/ 5 / 89, and Authorised Officer signature.

Special Conditions: (In addition to those noted on reverse):

2.14 Deviation from permit

2.14.1 After a permit has been issued no departure shall be made from any of the particulars supplied upon any plan, drawing, specification or document deposited with the application upon which the permit was issued. unless amended particulars clearly describing the intended deviation are supplied to the Engineer in his office and the Engineer shall have given his written approval of the deviation.

Section boundaries must be identified by the owner and the issue of this permit does not involve approval of the site as being within the boundaries of the owner's land. Particularly in those cases freedom for others reserves but in cases of any doubt the owner must if necessary identify his boundaries by a survey and ensure the building site is within those boundaries. The Council specifically excludes itself from any liability arising from the inspection of the site or approval conveyed by this permit in terms of the exact location of the building. Notification needed when foundations ready for inspection.

NOTICE TO APPLICANT

PERMISSION IS HEREBY GRANTED YOU to carry out the works as proposed in accordance with the drawings and other documents submitted, and with any conditions defined; such work to be subject to inspection at any time during progress and to be carried out in strict conformity with the requirements of the Council By-Laws. IMPORTANT - YOU ARE FULLY RESPONSIBLE for any damage done to any works such as telephone cables, power cables, water mains, gas mains, sewers, pipes, footpaths, roads or other services.



TRUST BANK

TRUST BANK CANTERBURY LTD
P.O. BOX 203, CHRISTCHURCH

MARLBOROUGH COUNTY COUNC
P O BOX 19
BLENHEIM 7300

Date 29/05/89

Ref. 8184100

Page No. 1

Payment
Schedule

Please find enclosed our cheque for payments detailed below.

Our Ref.,	Customer's Name	Your Ref.	Amount
PAYMENTS MADE *****			
08095311023	MRS F E STRATFORD	C	85.80
		CHEQUE HEREWITH	85.80

RECEIVED
1 - JUN 1989
MARLBOROUGH
COUNTY COUNCIL

MARLBOROUGH COUNTY COUNCIL

P.O. Box 443, Blenheim

16.05.89

To Mr G. Spittal
Cortlake
Rai Valley

Application No. 34
Reference No. 20250-14401

Dear Sir/Madam,

Your application to erect a woodshed & garage

for yourself & Mrs. Stratford
at Cortlake

has been Approved, Deferred, Declined for the following reasons.

Pending the receipt of building
permit fees totalling \$85.50.

No active work shall be commenced on any building until all necessary permits have been issued.

Yours faithfully,

S. R. Gordon
Engineer / Building / Health Inspector

149745

Valuation No. 20280-14401

Owner: G. SPITTAL & F. STRATFORD

Property No. 149745

Address: CARLUKE

Application No. 34

RAI VALLEY

Building: Woodshed / Garage

CHECK LIST: Health Building Inspector
Checked For:—

Zoning: Rural A

Assistant Executive Officer
Comments

Engineer
Comments

Yard Requirement: OK

Coverage: OK

Access to Property: OK

Off-Street Parking: N.A.

Building Line Restrictions: N.A.
(Road Widening)

Design Certificate: N.R.

Site Stability: OK

Fire Zoning: Outer B.

Stormwater Disposal: Soakhole

Water: —

Sewer Rates Notified Septic Tank

Industrial Connection S.499 L.G.A. Agreement

Referral to Asst. Executive Officer Yes/No

Referral to County Engineer Services Yes/No

Roading

Council Approval Required:

Minute No.:

Date:

Dispensation Date:

Approved Health Building Inspector: S. R. Baynton 02.06.89.

Permit No. 9022321 23 JUN 1989

P & D No.:

Approved Assistant Executive Officer:

Approved: County Engineer:

REQUISITIONS

Health Building Inspector

Assistant Executive Officer

Engineer

Comments

*Memo 998 sent re fees. 16.5.89
18/5 Phoned Mrs Swafford Re: fees.*

Conditions

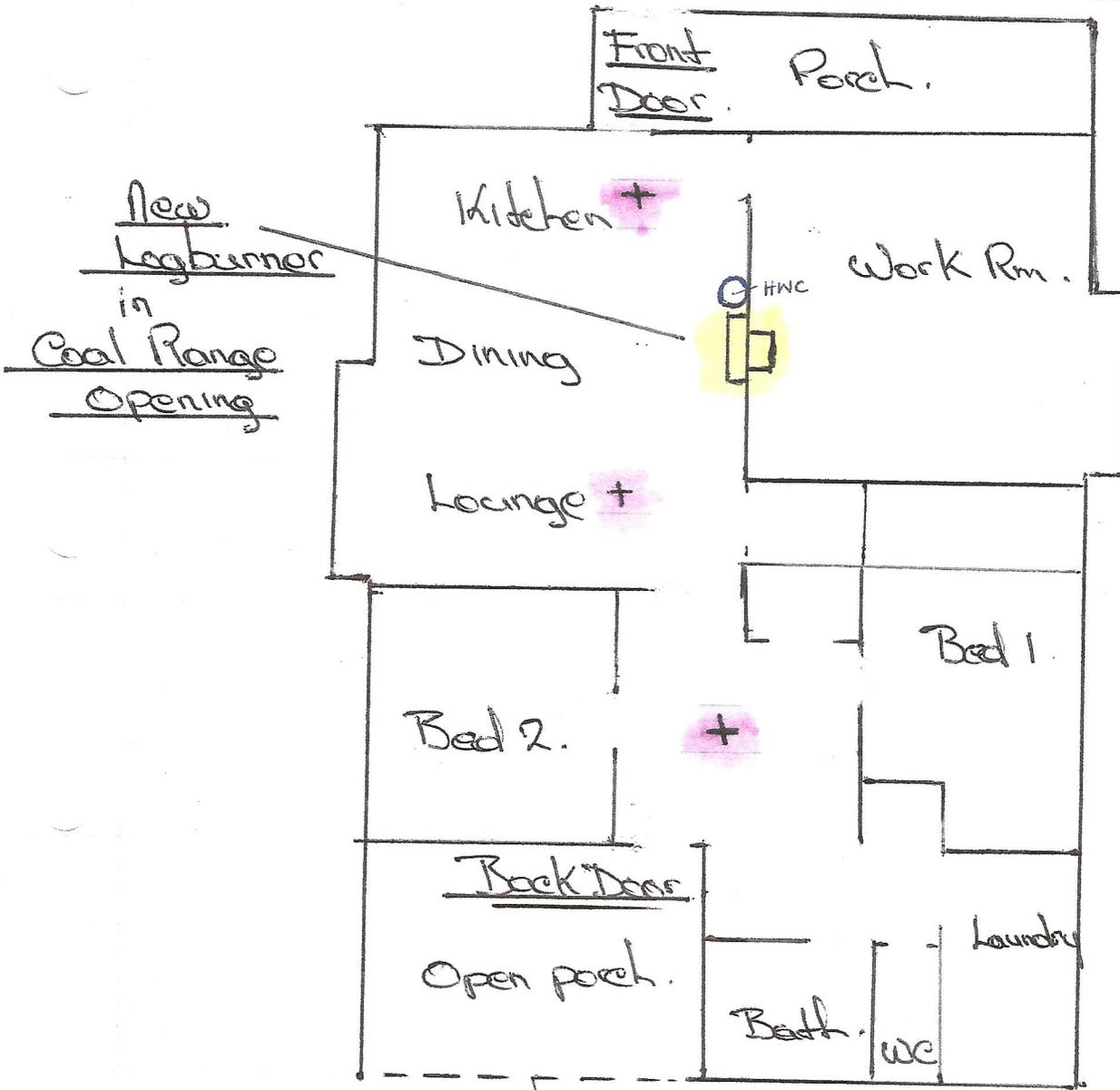
Comments

Conditions

Comments

Conditions

Floor Plan & Log Fire Position for Mrs F. Stratford
Rox Valley



Smoke Alarm
+

INSERT FLUE SYSTEM INSTALLATION INSTRUCTIONS

AS PER AS/NZS2918:2001

These instructions are to be read in conjunction with the manufacturer's instructions

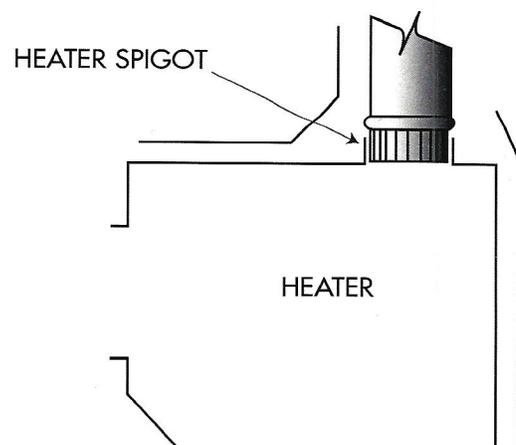
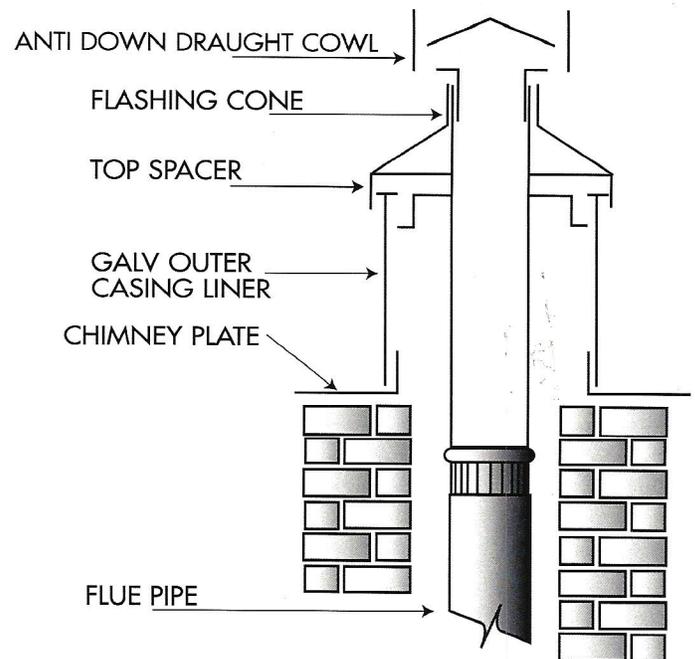
CAUTION: Mixing of appliance or flue system components from different sources or modifying the dimensional specifications of components may result in hazardous conditions. Where such action is considered the manufacturer should be consulted in the first instance.

WARNING: The appliance and flue system shall be installed in accordance with AS/NZS2918:2001 and the appropriate requirements of the relevant building code or codes.

1. Position heater in fireplace. Extend plumb line from top of chimney, ensuring heater spigot is in line with top of chimney. If not, flue pipe offsets will be required.
2. Assemble flue pipes ensuring all seams are in line and assembly is straight and tight with crimped ends pointing downwards. Secure flue pipes with at least 3 stainless steel or monel rivets and seal.
3. Fasten chimney plate supplied onto the chimney top. The chimney plate must be weather sealed with silicone or mortar.
4. Install chimney liner on top of the chimney plate.
5. Ensure flue pipe is extended over the chimney liner by 180mm. Secure top spacer bracket to the flue pipe and ensure slots fit snugly inside the chimney liner.
6. Slide flashing cone over top of flue, until it rests firmly over top spacer. Secure with pop rivets or self tapping screws.
7. Fit anti-down draught cowl. Do not secure as it must be removed for cleaning.

Notes (refer to diagram page 32):

- a) The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1 metre above the penetration if more than 3 metres from the ridge.
- b) No part of the building, or any adjacent building may be in or above a circular area of a horizontal radius of 3 metres from the flue exit.



	<p>MODEL</p>	<p>R5000L or R5000P (NZ, AU & NZ Rural)</p>
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INSTALLATION SPECIFICATION SHEET

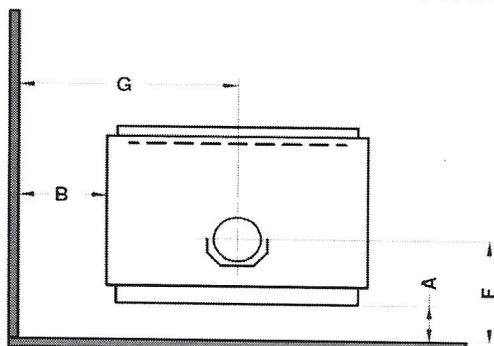
These instructions must be used in conjunction with the 'General Installation Instructions' for Masport wood fires.

CLEARANCE REQUIREMENTS

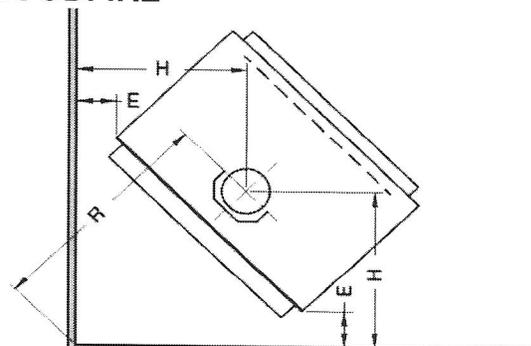
This fire has been tested and complies to the Australian/New Zealand Standard AS/NZS 2918:2001 and all installations must be in accordance with the minimum clearances to combustibles indicated in these instructions.

The minimum clearances to combustibles may be reduced if the combustible walls are shielded with an approved non-combustible material. Details of suitable materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

POSITIONING YOUR FREE-STANDING WOODFIRE



PARALLEL INSTALLATION



CORNER INSTALLATION

NEW ZEALAND

MINIMUM DISTANCES TO HEAT SENSITIVE WALLS (mm)

MODEL	FLUE SYSTEM & FLUE SHIELD	A	B	E	F	G	H	R§
R5000L/R5000P (SW) (Dry/Wet/Fan/Rural)	MASPORT FLUE + MASPORT DOUBLE SKIN SHIELD + TOP FLUE DIVERTER PLATE	128	200	85	324	550	441	624

AUSTRALIA

MINIMUM DISTANCES TO HEAT SENSITIVE WALLS (mm)

MODEL	FLUE SYSTEM & FLUE SHIELD	A	B	E	F	G	H	R§
R5000L/R5000P (HW) (Dry / Fan)	FLOMET UNIVERSAL FLUE SYSTEM	188	280	150	384	630	506	716
	FLOMET FLUE + MASPORT DOUBLE SKIN SHIELD + TOP DIVERTER PLATE	124	280	120	320	630	476	674
	AIR-GROUP SPECIAL INSULATED FLUE KIT WITH TOP DIVERTER PLATE *	125	395	155	321	745	511	723

§ Valid only when the room walls are at 90° to each other.

‡ Note: Clearances are for fire hazard only. For durability of finishes or surfaces you should contact the relevant manufacturer for their specification. Masport accepts no responsibility for the deterioration of surfaces or finishes.

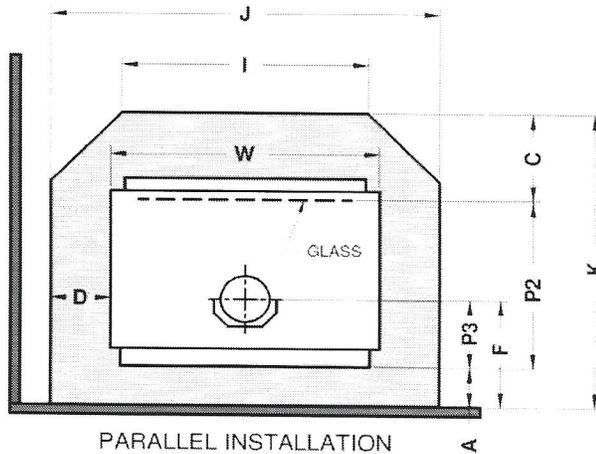
* Air-Group Special Insulated Flue Kit is same as AHD Special Insulated Flue Kit

PRT. NO.	583268
DATE:	02.04.2013

Marlborough District Council
Date Received: 29/01/2016

FLOOR PROTECTOR (Hearth) REQUIREMENTS PARALLEL INSTALLATION

MINIMUM FLOOR PROTECTOR DIMENSIONS IN mm



DIMENSIONS IN THE TABLE ARE VALID ONLY WHEN THE FIRE IS EXACTLY AT ITS MINIMUM ALLOWABLE WALL CLEARANCE.

NEW ZEALAND

MODEL	Flue Shield	Floor Protector height	A#	C#	D	F	I	J	K#	P2	P3	W	Floor Protector Type Ø
R5000L/R5000P (SW) (Dry/Wet/Fan/Rural)	LDS	ANY	128	300	100	324	522	900	968	540	196	700	AFP

LDS = MASPORT / LOGAIRE DOUBLE SKIN SHIELD 1200mm HIGH + TOP DIVERTER PLATE

AFP = ASH FLOOR PROTECTOR

AUSTRALIA - ALL WITH FLUE HEATSHIELD

MODEL	Flue Shield	Floor Protector height	A#	C#	D	F	I	J	K#	P2	P3	W	Floor Protector Type Ø
R5000L/R5000P (HW) (Dry / Fan)	FUF	ANY	188	300	100	384	600	900	1028	540	196	700	AFP
	FUL	ANY	124	300	100	320	600	900	964	540	196	700	AFP
	AGA	ANY	125	300	100	321	600	900	965	540	196	700	AFP

FUF = FLOMET UNIVERSAL FLUE SYSTEM

FUL = FLOMET UNIVERSAL FLUE + MASPORT DOUBLE FLUE SHIELD + TOP DIVERTER PLATE

AGA = AIR GROUP / AHD SPECIAL INSULATED FLUE KIT + 900mm S/S REFLECTOR SHIELD + TOP DIVERTER PLATE

AFP = ASH FLOOR PROTECTOR

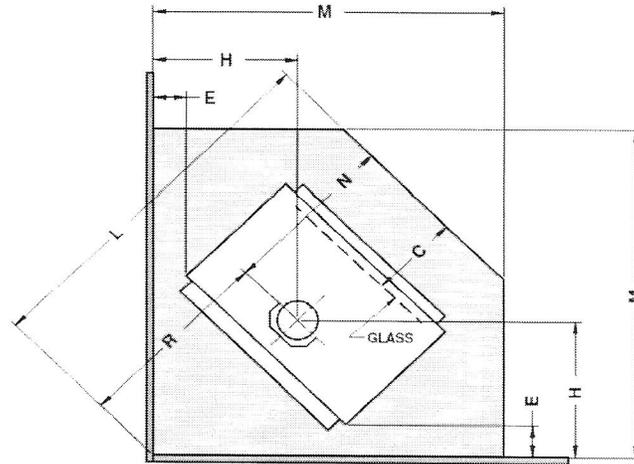
Ø for minimum constructional requirements see general installation instructions.

Valid only when the fire is exactly at its minimum allowable wall clearance.

NOTE: Where a fan is being fitted, you may prefer to increase the 'A' dimension to 100 mm to provide easier access for servicing. If so, the amount you add to 'A' to bring it to 100 mm must also be added to the 'C' and 'S' dimensions.

FLOOR PROTECTORS (Hearth) REQUIREMENTS CORNER INSTALLATION

MINIMUM FLOOR PROTECTOR DIMENSIONS IN mm



CORNER INSTALLATION

DIMENSIONS IN THE TABLE ARE VALID ONLY WHEN THE FIRE IS EXACTLY AT ITS MINIMUM ALLOWABLE WALL CLEARANCE.

NEW ZEALAND

MODEL	Flue Shield	Floor Protector Distance above Floor	C	E	H#	L#	M#	N	R#	FLOOR PROTECTOR TYPE
R5000L/R5000P (SW) (Dry/Wet/Fan/Rural)	LDS	ANY	300	85	441	1268	1109	644	624	ASH

LDS = MASPORT / LOGAIRE DOUBLE SKIN SHIELD 1200mm HIGH + TOP DIVERTER PLATE

AFP = ASH FLOOR PROTECTOR

AUSTRALIA

MODEL	Flue Shield	Floor Protector Distance above Floor	C	E	H#	L#	M#	N	R#	FLOOR PROTECTOR TYPE
R5000L/R5000P (HW) (Dry / Fan)	FUF	ANY	300	150	506	1360	1174	644	716	ASH
	FUL	ANY	300	120	476	1318	1144	644	674	ASH
	AGA	ANY	300	155	511	1367	1179	644	723	ASH

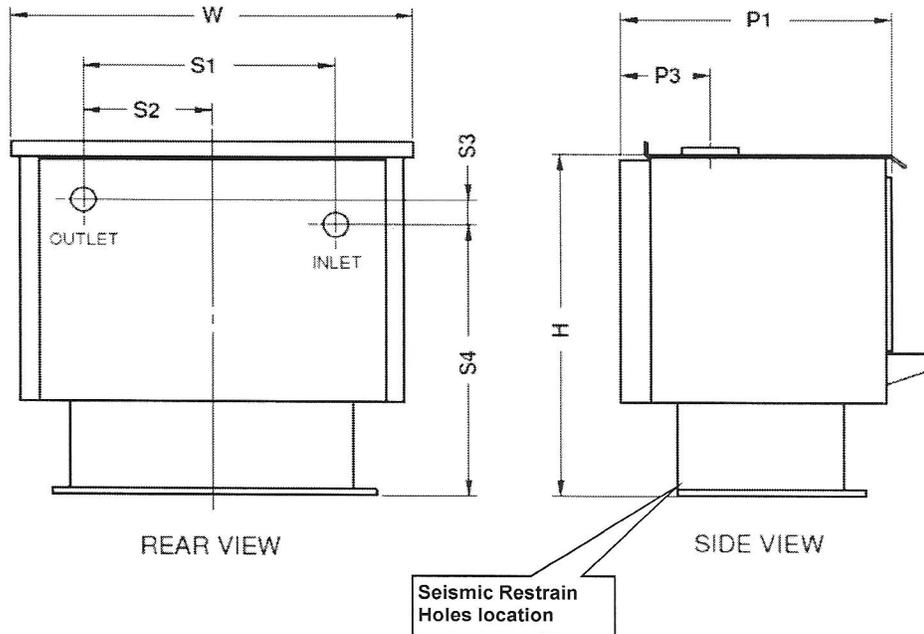
FUF = FLOMET UNIVERSAL FLUE SYSTEM

FUL = FLOMET UNIVERSAL FLUE+MASPORT DOUBLE FLUE SHIELD+TOP DIVERTER PLATE

AGA = AIR GROUP / AHD SPECIAL INSULATED FLUE KIT + 900mm S/S REFLECTOR SHIELD WITH TOP DIVERTER PLATE

AFP = ASH FLOOR PROTECTOR

FREE STANDING FIRE DIMENSIONS



MODEL	P1	P3	H	W	S1	S2	S3	S4
R5000L or R5000P (NZ, AU & NZ Rural)	576	196	720	700	340	170	20	587

Seismic Restrain - In New Zealand and some part of Australia, it is required that the wood fire and floor protector are secured to prevent shifting in the event of an earthquake. This is best done by fastening the wood fire right through the protector to the floor, using two screws not less than 12 gauge or the equivalent size of coach bolts or toggle fasteners.