

FILE

70 02 186

26 September 2002

Anna Livingston

Geotec Low
P O Box 977
HAMILTON

Attention Kewwa Low

Dear Mr Low

APPLICATION FOR RESOURCE CONSENT – D & A JONES, 644 BRUNTWOOD ROAD, TAMAHERE

You are advised that at a meeting held on 18 September 2002 at which the Waikato District Council considered this application, the Council resolved:

"Pursuant to sections 105(1)(a), 105(2)(a), 108 and 220 of the Resource Management Act 1991 the Waikato District Council grants subdivision consent for a non complying activity under proposed Plan Change Seven to the Waikato District Plan, a restricted discretionary activity under section 36 of the Waikato District Plan and a non complying activity under section 9 of the Waikato District Plan to create two additional titles on a site legally described as Lot 4 DPS 14156 comprised in Certificate of Title 12B/530 subject to the following conditions:

GENERAL

- 1 The Land Transfer plan to give effect to this Resource Consent shall be generally consistent with the approved plan prepared by Geotec Low submitted with application 70 02 186 and received by Council on 24th June 2002 and further information received on the 22nd August 2002. A copy of the approved plan is attached.

ARCHAEOLOGICAL

- 2 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.

FINANCIAL CONTRIBUTIONS

- 3 Roding

Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for roading of \$8,754.00 (Eight Thousand Seven Hundred and Fifty Four dollars), inclusive of GST, shall be paid to the Council for the two additional Rural Lots. This is based on a Roding Contribution of \$4,377.00 (Four Thousand Three Hundred and Seventy Seven dollars), inclusive of GST, for each additional lot.

4 Reserves Contribution

Pursuant to section 108(2)(a) of the Resource Management Act 1991, a reserve contribution of \$2,250.00 (Two Thousand Two Hundred and Fifty dollars), inclusive of GST, shall be paid to the Council in lieu of vesting land.

5 Water

Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for trickle feed water supply of \$5,312.00 (Five Thousand Three Hundred and Twelve dollars) including G.S.T. shall be paid to Council prior to the issue of the section 224(c) certificate by Council. The quantum of the financial contribution is based on \$2,656.00 (Two Thousand Six Hundred and Fifty Six dollars) for both Lots 1 and 3.

ROADING

6 Lots 1 and 3 shall be provided with combined sealed standard residential vehicle entrances located on the common boundary of Lots 1 and 3 as indicated on the approved plan and constructed in accordance with Waikato District Council plan number TSG-E3 to the satisfaction of Council.

7 The width of the combined entrances at the edge of seal of Brinkworth Road shall be 12 metres with a separation of 1 metre between the gates at the back of the entrance.

8 The surface of the sealed entrances, shall be two coat chip seal, constructed with 180/200 grade bitumen and G3 and G5 chip. The seal shall extend not less than 5 metres from the edge of the existing seal, or to the property boundary if that is more than 5 metres.

UTILITIES

9 A separate water supply connection fitted with a manifold, flow restrictor and backflow preventer shall be provided to the boundary of Lots 1 and 3 to the satisfaction of Council. Such connection shall be installed by either Council staff or a Council approved contractor.

10 As-built plans at a scale acceptable to Council shall be provided for all connections and extensions to the public water system.

11 The existing dwelling on proposed Lot 2 shall have an independent potable domestic water supply sourced from within its boundaries or by way of legal easement to the satisfaction of Council.

VESTING OF LAND

12 Lot 4 shall vest in Council as road.

Advisory Notes:

1 The existing entrance located at Rural Address Property Identification Number 644 Bruntwood Road does not require upgrading.

- 2 The Waikato District Council's Area Engineer is to be contacted a minimum of two weeks prior to any works being carried out in the road reserve.
- 3 When Building Consents are applied for the following matters will need to be addressed in any applications:
 - (i) For some building sites a Registered Engineer may be required to confirm that ground conditions are suitable for building.
 - (ii) For some sites a registered engineer may be required to design a suitable effluent disposal system.
- 4 A separate financial contribution and connection fee will be payable if a Council water supply connection is required to service Lot 2 in the future.
- 5 An application form for water connection is attached and must be completed and returned to Council prior to the issuing of the section 224(c) certificate. Connection fees are in addition to the payment of a financial contribution.

The reasons for this decision are:

- a) The subdivision satisfies the Standards and Terms of 9S.2.9 of proposed Plan Change 7. The provisions of proposed Plan Change 7 have been given effect to under the provisions of section 19 of the Resource Management Act 1991 when assessing this application and little weight has been given to the rural subdivision provisions of the Waikato District Plan when determining this application.
- b) This application was processed as a non-notified application under the provisions of Rule 9S.2.4.1 of proposed Plan Change 7 and was considered without the need to obtain the written approval of affected parties.
- c) A reserve contribution is required for each lot created by subdivision upon which a dwellinghouse or dwellinghouses are authorised by this District Plan. The subdivision will result in the provision for one additional title to be created upon which a dwellinghouse could be constructed. Therefore one reserve contribution can be required.
- d) Financial contributions for roading and water supply have been included as conditions of the consent in accordance with the provisions of section 42 of the Waikato District Plan. The purpose of the financial contributions is to mitigate the effects of the increased development generated by this subdivision on Council's existing infrastructure."

A Lapsing of Consents

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- a The consent is given effect to, before the end of that period; or
- b An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

D Right of Appeal

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:

The Registrar
Environment Court
P O Box 5027
Wellington

- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully

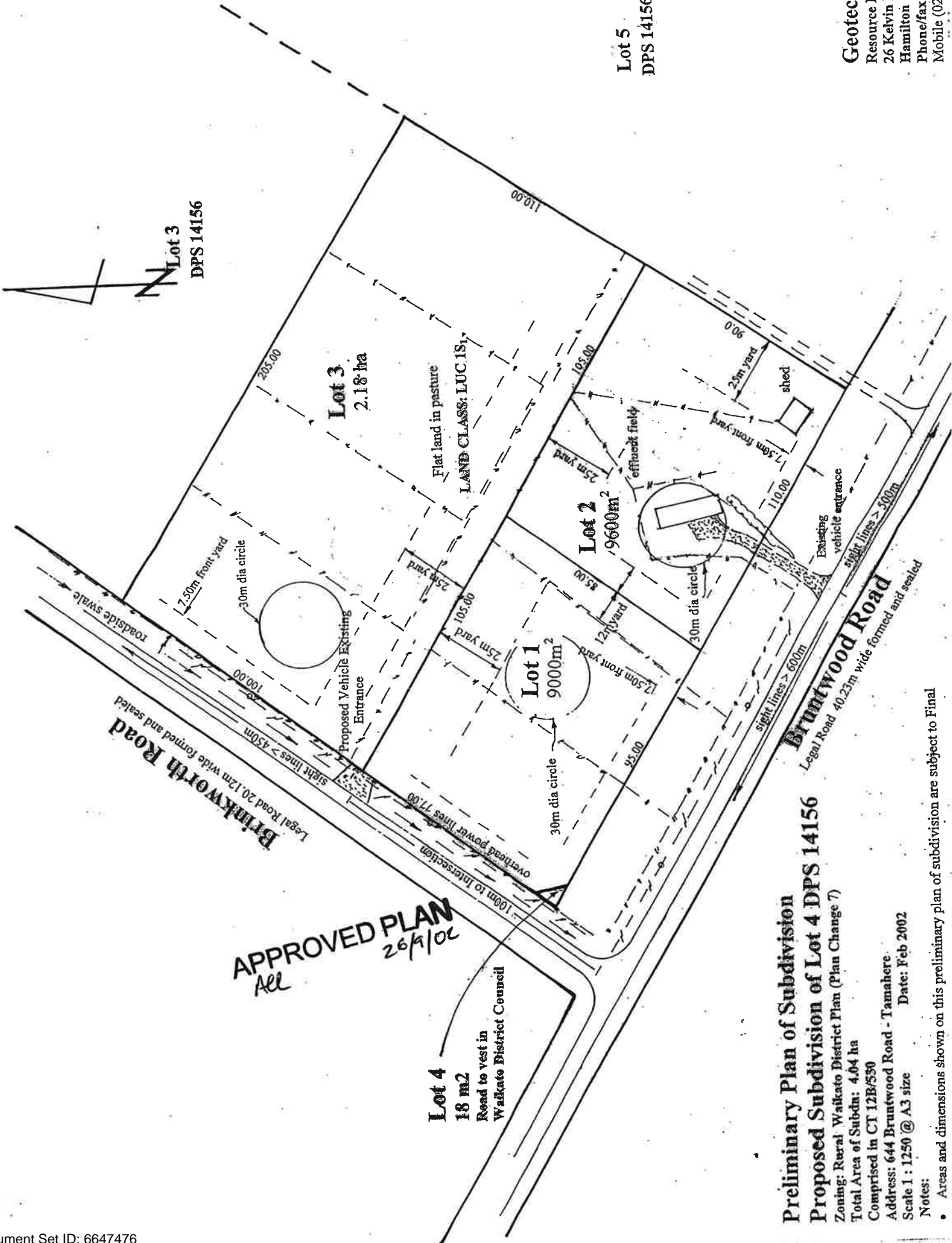


Shelley Wood
ENVIRONMENTAL SERVICES

Geotec Low
Resource Planners & Surveyors
26 Kelvin Place
Hamilton
Phone/fax (07) 858 3566 (07) 858 35
Mobile (025) 285 6595

Lot 5
DPS 14156

Lot 3
DPS 14156



APPROVED PLAN
All
26/9/02

Lot 4
18 m²
Road to vest in
Waikato District Council

Preliminary Plan of Subdivision
Proposed Subdivision of Lot 4 DPS 14156

Zoning: Rural Waikato District Plan (Plan Change 7)
Total Area of Subdn: 4.04 ha
Comprised in CT 12B/530
Address: 644 Bruntwood Road - Tamahere.
Scale 1 : 1250 @ A3 size
Date: Feb 2002

Notes:
• Areas and dimensions shown on this preliminary plan of subdivision are subject to Final



Waikato District
COUNCIL
Your Community Partner

Your Ref:

In reply please quote:
1008732; RMA1282

If calling, please ask for:
Anna Livingston

11 June 2002

Kerry Willetts
Smart Barns
105 Taplin Road
R D 3
HAMILTON

Dear Mr Willetts

APPLICATION FOR RESOURCE CONSENT: T & A JONES – 644 BRUNTWOOD ROAD, TAMAHERE

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the Environmental Services Group Manager.

"Pursuant to sections 34(4), 105(1)(b) and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants land use consent for a discretionary activity to erect a farm implement shed as an accessory building that shall encroach 15 metres into the 25 metre side yard requirement on the eastern boundary under the provisions of Plan Change Seven, on a site legally described as Lot 4 DPS 14156, being the land comprised within Certificate of Title 12B/530, South Auckland Land Registry, subject to the following conditions:

- 1 The development shall be in accordance with the plans submitted by the applicant for application number 1282 and received by Council on 28th May 2002. An approved copy of the plan is attached.
- 2 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Council when monitoring the conditions of this consent.

The reasons for this decision are:

- a Written approval has been obtained from every person whom Council is satisfied may be adversely affected by the granting of the consent.
- b The side yard encroachments will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties.
- c The Council has exercised its discretion to grant consent to this application with the weight being given to the provisions of the Waikato District Plan and to the provisions of Plan Change 7."

A **Lapsing of Consents**

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
or
- (b) An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

B **Compliance with Conditions**

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C **Changes to Conditions**

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

D **Review of Decision on non-notified application**

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.

E **Right of Appeal**

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:-

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:-

The Registrar
Environment Court
P O Box 5027
Wellington

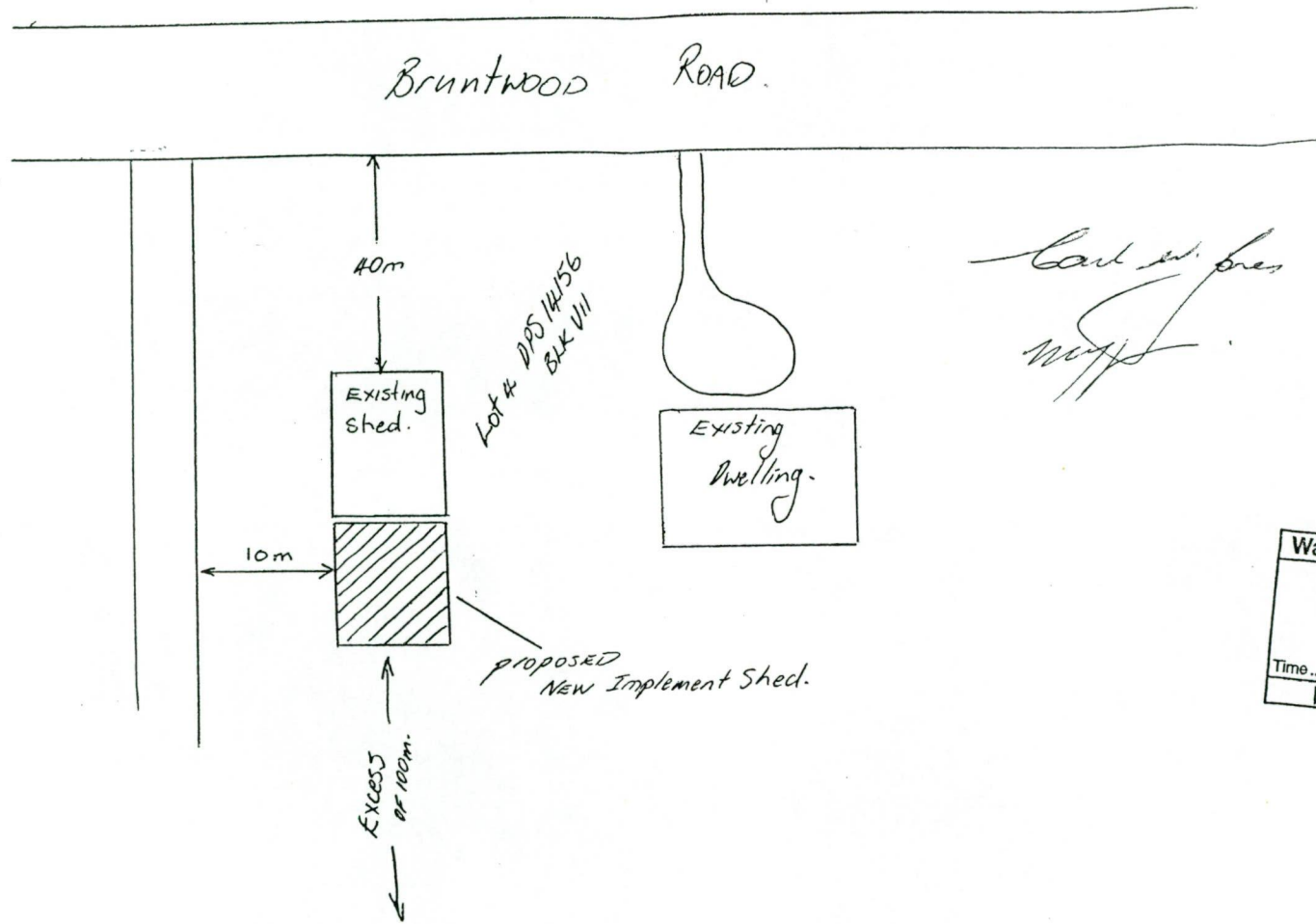
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- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully



Shelley Wood
ENVIRONMENTAL ADMINISTRATION



Waikato District Council
 28 MAY 2002
 Time Initials
 NGARUAWAHIA

Waikato District Council
 16 MAY 2002
 Time Initials
 NGARUAWAHIA

SITE PLAN for Proposed new
 Implement shed for Thomas & Annie Jones
 644 Bruntwood Road.

APPROVED PLAN

OWNER Mrs M.A. McMillen Permit No. I 027041

Roll No. 444/168 (4443/492)

PARTICULARS OF LAND: Value of Permit \$ 2,000.00

Lot No. 4 DPS 14156 Type of Building Haybarn

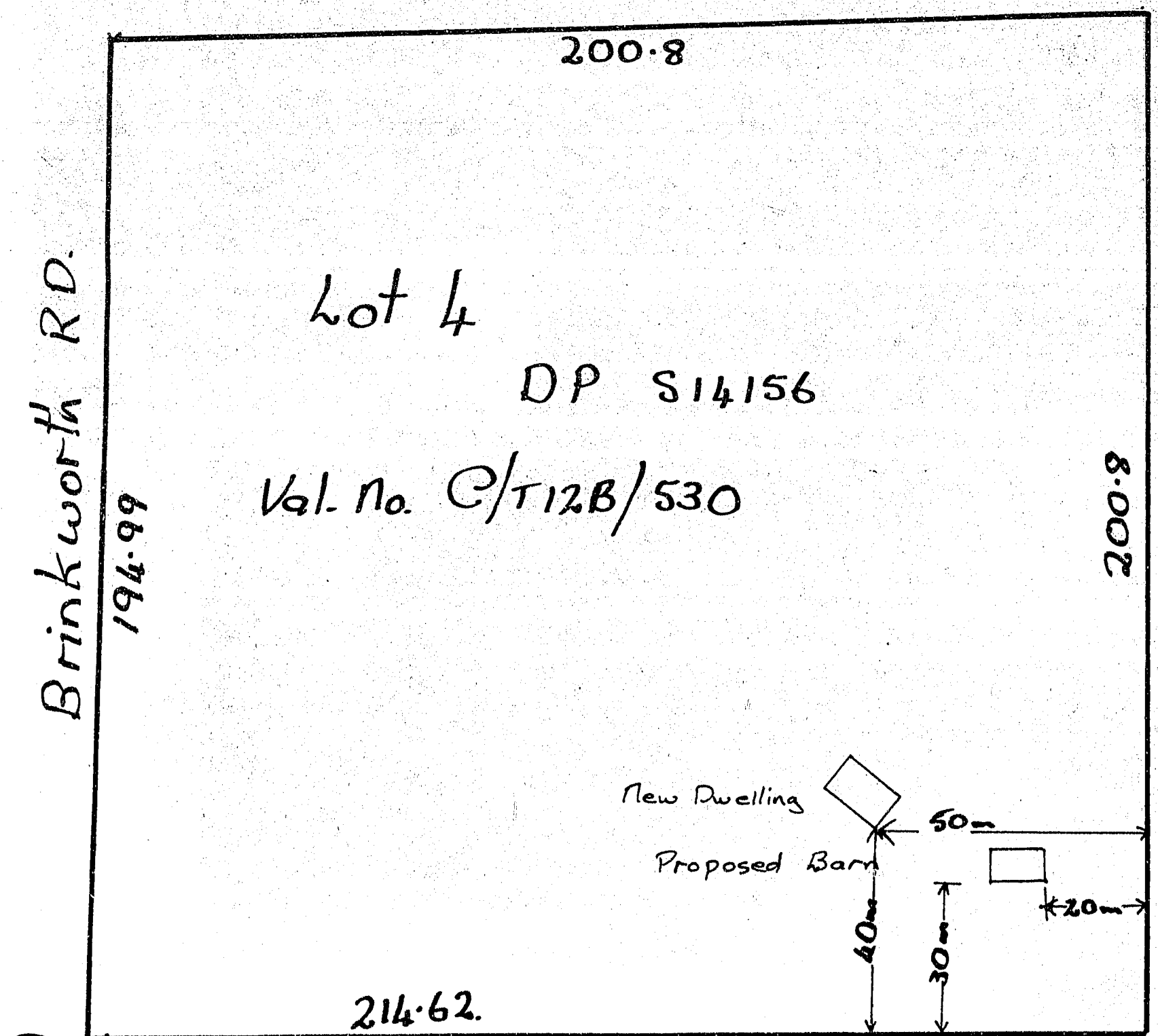
Parish _____ Issued 10-1-79

Riding Tamahere Completed FEB 1979

Street _____ Builder Rosswood Implements Ltd

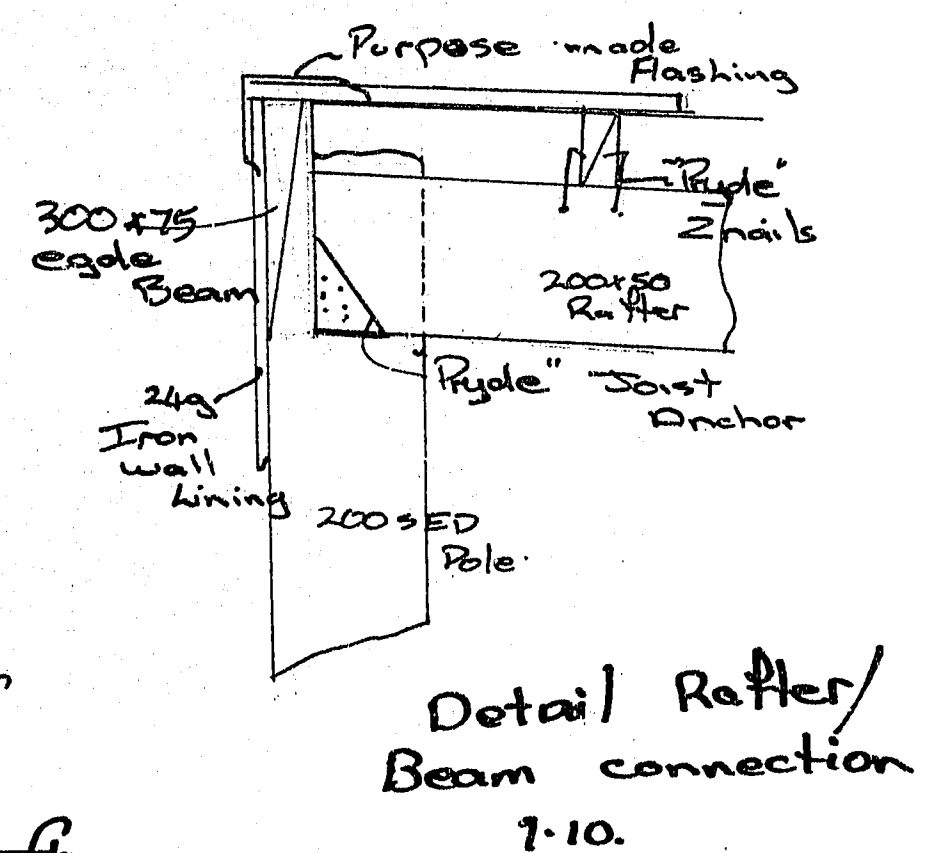
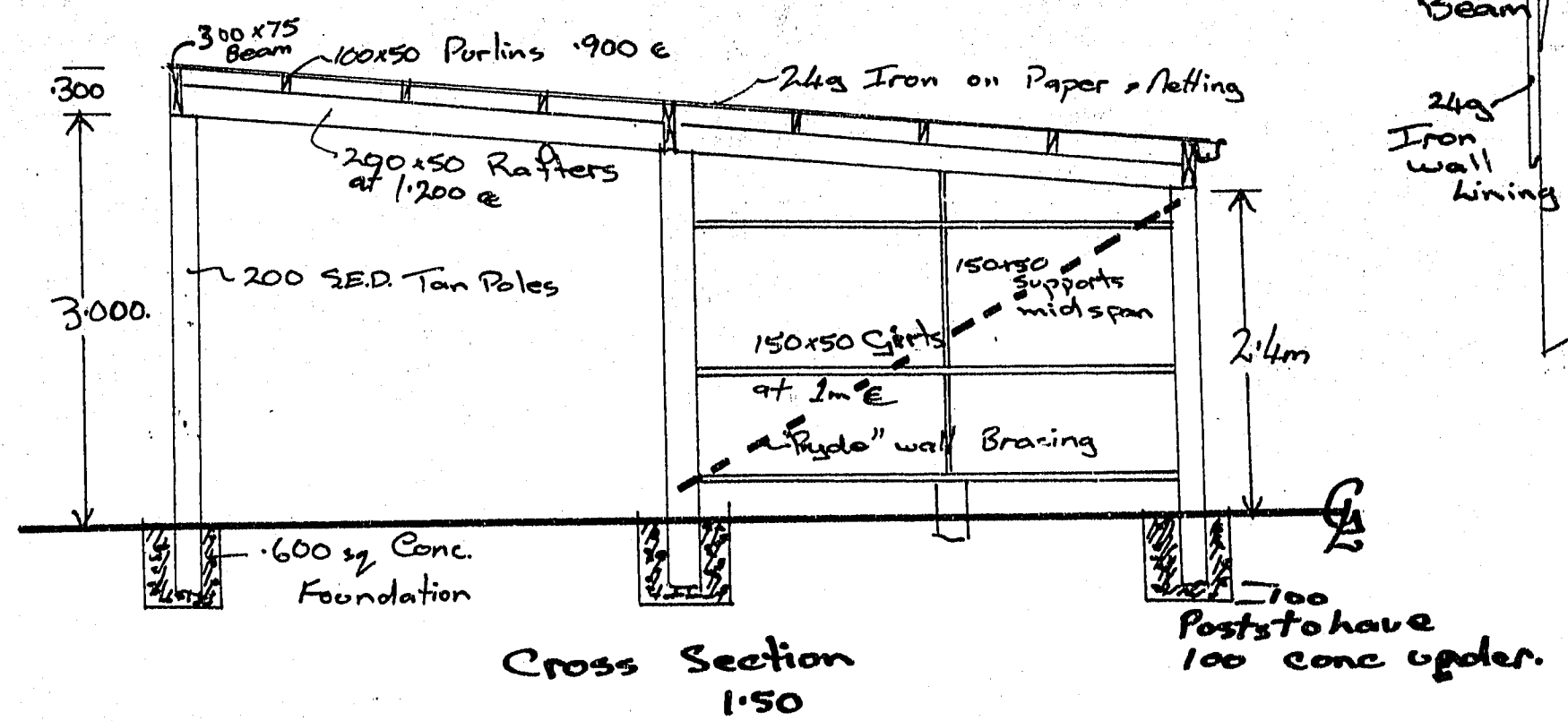
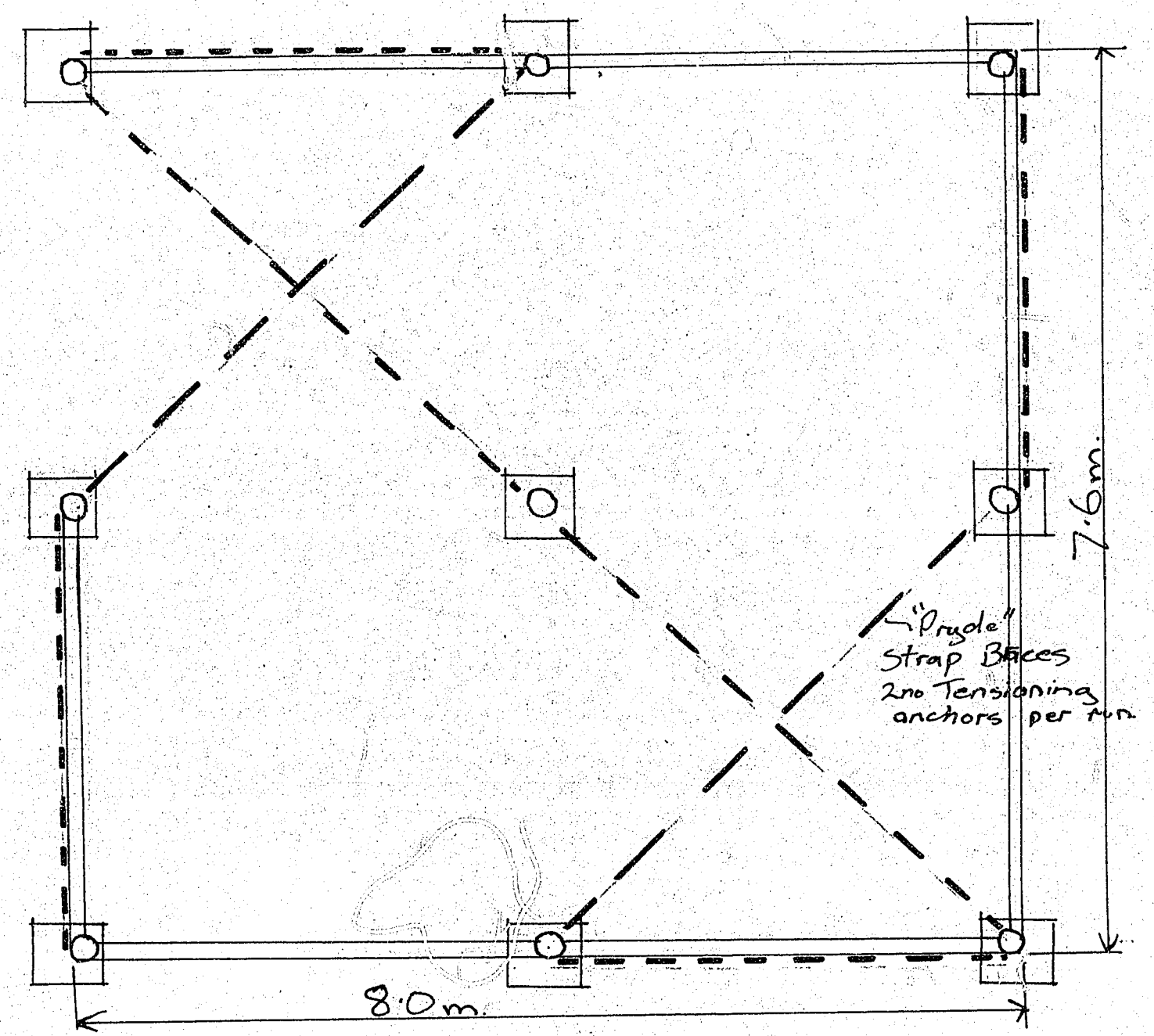
District _____ Address P.O. Box 254
Cambridge

REMARKS _____



DOS 688
444/89/4
6/10/86
Proposed Barn for Ms. H. Rattray.

Site Plan 1:1000



Drawn by S. Sittlington
PH 494 701
22.9.86.

**BUILDING INSPECTOR'S
FIELD SHEET**

AUTHORITY

Stats. No. **D 059401**

Waikato County Council

No. **1743**

Inspector: M _____

File No. _____

Receipt No. **37105**

30 MAY 1986

Date Permit Issued **30 / 5 / 86**

OWNER

Name Ms Hazel Kathleen Rattray

Mailing Address R D 3
Hamilton

opp Joe Stanley

BUILDER

Name Horizon Homes

Mailing Address 848 Victoria St
Hamilton

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name Bruntwood Road

Town/District _____

Riding Tamahere

LEGAL DESCRIPTION

Valuation Roll No. 444/168

Lot 4 D.P. s 14156

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Dwelling

FLOOR AREA DWELLING UNITS

Whole Sq. Metres 95.04 Number Erected _____

ESTIMATED VALUES \$	Building	56,350	00
	Plumbing	2,100	00
	Drainage	2,050	00
	TOTAL	60,500	00

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED
- include conversions and resited buildings

**NEW CONSTRUCTION
OTHER THAN BUILDINGS** - include demolitions

**DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS**

FEES APPLICABLE

Building Permit	\$ 285 00	Water Connection	\$ _____	Receipt No. <u>37109</u>
Street Damage Deposit	\$ 61 00	Vehicle Crossing Levy	\$ _____	Date of Payment <u>30 / 5 / 86</u>
Engineering Research Levy	\$ 45 00	M.S. Plumbing	\$ _____	Authorized Officer <u>K. W. Wright</u>
Plumbing	\$ 45 00			
Drainage	\$ _____			
Sewer Connection	\$ _____			
TOTAL:	\$ 436 00			

- No work is to commence before the permit is uplifted.
- Plumbing and drainage permits will not be issued until the respective tradesmen make application.
- The following inspections are to be called for:-
 - Footing (Prior to placement of concrete)
 - Pre-lining
 - Insulation
- Polythene under floor slab to be .25mm thick.
- If floor height is not constructed as shown on plan, floor to be reinforced, and lap with vertical foundation wall steel.
- Council to be called for an inspection of sand pad under floor after compaction.
- Garage to step down 50mm below house floor.
- Provide 50mm high concrete nib walls below bottom plate of garage.
- The finished ground floor level of the building must be at sufficient height that will enable all waste pipes to be laid with correct falls and discharge into a drain inlet at a height not lower than finished ground level.
- The finished ground floor level of the building must be at a sufficient height that will enable all waste pipes to be laid with correct falls and discharge into a drain inlet at a height not lower than finished ground level.

16-6-86 N/S.

27-6-86 Footing Insp. sitting OK proceed out
boundaries. Ground OK 2 DR bars + R 6/600
ties D10/800 (staplers to be used. approved to pour

30-6-86 B/B - no steel in yet

18-7-86 Prelim Insp.

bracing ok framing wet. asked builder to leave
for 2 weeks then call us again. otherwise OK.

5-8-86

Moisture test ok - approved to line etc.

18-9-86 Completed Final Insp etc

WAIKATO COUNTY COUNCIL

1 CLYDE STREET, HAMILTON EAST. POSTAL ADDRESS: PRIVATE BAG, HAMILTON

BUILDING PERMIT APPLICATION

WITH DRAINAGE AND PLUMBING APPLICATION
(Building By-law N.Z.S.S. 1900 Chapter 2)

RECEIVED
17. APR. 1986
WAIKATO COUNTY COUNCIL CENTER

APPLICATION No.

1743

BUILDING PERMIT No.

0099401.

PLUMBING PERMIT No.

DRAINAGE PERMIT No.

Owner of Property Ms. HAZEL KATHLEEN

(Block Letters)

Phone No:

Present Postal Address R.D. 3 HAMILTON.

Builder's Name HORIZON HOMES LTD. Phone No: 82048 HAM.

Postal Address 848 VICTORIA ST - HAM.

(Permit will be posted to builder unless otherwise requested)

Name of previous Owner (See Note 4) RUSSELL DAVIS, HOWARD KEYTE, ALEX MITCHELL.

Location of Property BRUNTWOOD ROAD HAMILTON

Legal Description of Property (See Note 4)

LOT 4 D.P.S. 14156

Valuation Roll No:

444168 A.

Area of Property 4.0493 sq./ha.

Value of Proposed Work

Building: \$ 56,350.00

Drainage: \$ 2,050.00

Plumbing: \$ 2,100.00

Total: \$ 60,500.00

Nature of Proposed Work

e.g. Dwelling, Garage, addition Dwelling.

to dwelling, haybarn, etc.

Use of Building (See Note 9)

Total Floor Area 95.04 No. of Floors ONE.

Nature of Ground on which building is to be placed: FIRM.

Water Supply MANAKIN Capacity 5000 gals.

Sewer Present: Yes/No H/T. Electricity Lines: Yes/No

Gas Pipeline: Yes/No Water Reticulation: Yes/No

I have read the Notes on page 2 and declare to the best of my knowledge the information submitted is correct:

Signature of Owner [Signature] Date 17-4-86

For Office Use Only

Fees:

Development Levy: \$

Building: \$ 285.00

Drainage: \$ 45.00

7 UNITS Plumbing: \$ 45.00

B.R. Levy: \$ 61.00

Structural Checking: \$

Water Con. \$

Sewer Con. \$

Street Damage Assessment \$

Crossing Fee \$

Total \$ 436.00

Initial Planning Check S. Bracey Date 2/4/86

Planning Application Yes/No File No.

Approved

Planning Officer S. Bracey Date 29/5/86

Plumbing/Drainage Inspector [Signature] Date 29-4-86

Health Inspector [Signature] Date

Building Inspector [Signature] Date 22-4-86

IMPORTANT NOTES

1. **ROAD AND FOOTPATH DAMAGE:** If during construction the kerb channel footpath or services (including water and sewer where available) become damaged, the owner of the property is liable to the cost of repair.
2. **A REGISTERED VEHICLE CROSSING:** must be installed before any vehicle may cross from any road to any private property, and application for such crossing should be made when applying for a building permit, on separate form, unless such a crossing already exists.
3. **SIGNATURE OF OWNER:** The Application must be signed by the owner in the space provided on page one.
4. **LEGAL DESCRIPTION OF THE ALLOTMENT THE PROPOSED BUILDING IS TO BE ON:** (page one). This may be obtained from Rate Demand, Title Deeds, or Valuation Advice (i.e. Lot, D.P., Block, Survey District). If the property has been purchased in the last 12 months, please indicate in the space provided, the previous owner's name.
5. **FLOOR PLAN AREA OF PROPOSED BUILDING:** Please give accurate details in space provided on page one.
6. **PLANS AND CROSS-SECTION OF PROPOSED BUILDING:** For simple sheds, garages, etc., all that is necessary is a floor plan and two elevations, but for baches, dwellings and additions where conventional building construction is to be employed, more detailed plans must be submitted including foundation and basement plans, bracing details, floor plan, four elevations and cross sections. For more elaborate structures, or any building involving special design for retaining walls, steel fabrication, etc. complete detailed plans must be submitted together with calculations and a Design Certificate. **IN ALL CASES PLANS MUST BE DRAWN TO SCALE, AND THE APPLICATION INCLUDING PLANS, SPECIFICATIONS AND SITE PLANS MUST BE SUBMITTED IN DUPLICATE.**
7. **DETAILED SITE PLAN:** A scale drawn site plan must be provided. This must show the location of all existing and proposed buildings and additions and the distance each of these is from the allotment boundaries. As Town Planning Ordinances as well as By-Laws must be met it is advisable to confer with the Planning Department to ascertain minimum permissible distances from boundaries. The Back Page of this form must be used for this purpose unless a separate DETAILED SITE PLAN IS PROVIDED.
8. **LOCATION SKETCH:** Please illustrate in the space provided on page two a brief locality plan showing location of the property concerned in the application.
9. **USE OF BUILDING:** Please clearly describe the proposed use of any new building or addition to an existing building.
10. **SEWER AND WATER CONNECTIONS:** All connections to the County Water Supply and/or the County Sewer can be made only after approval by the County Engineer. Application forms to connect to these services are available from the County Office.
11. **IT IS THE OWNERS responsibility** to ensure that buildings are not sited in areas subject to flooding or land subsidence. The County will take no responsibility for any damage caused to building through such occurrences.
12. **BUILDINGS** must not be occupied before the drainage and plumbing installations are complete, tested and approved.
13. **SEPTIC TANKS** need regular maintenance to prolong the life of the effluent disposal systems.
14. **FAILURE TO SUPPLY ALL THE INFORMATION ASKED FOR MAY RESULT IN UNNECESSARY DELAYS TO A FINAL APPROVAL.**

LOCALITY SKETCH TO SHOW LOCATION OF PROPERTY (Must be completed)

DRAINAGE AND PLUMBING

Legislation requires that any Sanitary Plumbing, any Foulwater Drainage and any Stormwater Drainage work is carried out under permit by persons Qualified to do that work. When any of these works are involved with the proposal outlined on this Building Permit Application or on any of the attached information then the relevant drainage and/or plumbing permit applications must be completed.

APPLICATION FOR A DRAINAGE PERMIT

I hereby apply for permission to carry out the Foulwater and/or Stormwater Drainage work which is required with the Building Work and as detailed on the information submitted with this attached Building Permit Application.

Qualified Drainlayer: GRAEME ROSS MUIRS DRAINAGE (Please Print)

Registered No: 05363 Postal Address: 7 Green St Ham.

Signed by Qualified Drainlayer: _____ Date: 17-4-86.

Application Approved: _____ Date: _____

NOTE: A drainage permit for this work will be forwarded to this Drainlayer upon approval being given.

APPLICATION FOR A PLUMBING PERMIT

I hereby apply for permission to carry out the Sanitary plumbing work which is required with the Building work and as detailed on the information submitted with this attached Building Permit Application.

Qualified Plumber: PETER OWEN (Please Print)

Registered No: 00045 Postal Address: R.D. 2 OHAUPU

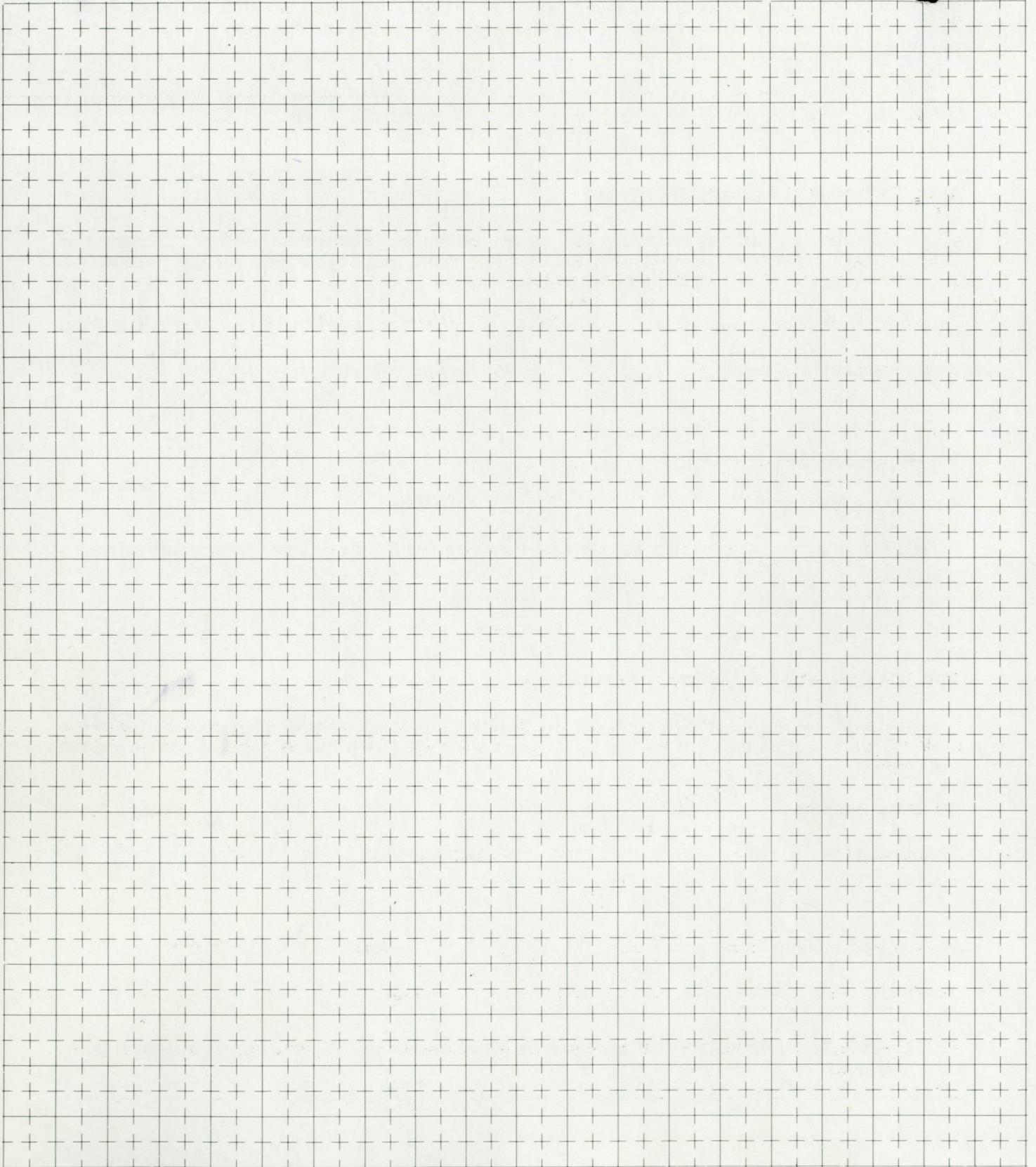
Signed by Qualified Plumber: _____ Date: 17-4-86.

Application Approved: _____ Date: _____

NOTE: A Plumbing Permit for this work will be forwarded to this Plumber upon approval being given.

SITE PLAN — UNLESS INCLUDED SEPARATELY

Please show distances to boundaries and location of all other buildings.



WAIKATO COUNTY

RECEIVED \$ 436.00
R. 37105 4

CHEQUE/CASH

Receipt No. 37105

FILE (4443/492)

Date Permit Issued 30 / 5 /

OWNER

Name Ms Hazel Kathleen Rattray

Mailing Address R D 3
Hamilton

BUILDER

Name Horison Homes

Mailing Address 848 Victoria St
Hamilton

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name Bruntwood Road

Town/District _____

Riding Tamahere

LEGAL DESCRIPTION

Valuation Roll No. 444/168 (~~4443/492~~)

Lot 4 D.P. S 14156

Section _____ Block _____

Survey District _____

Dwelling

DRAINLAYER: Gramme Ross Muirs Drainage PLUMBER: Peter Owen
7 Green St R.D.2
Hamilton Onaupo

PERMIT NUMBER: TSUA

PERMIT NUMBER: TSUA

D/RES 30-7-86

Drainage \$ 45 00
Sewer Connection \$ _____

TOTAL: \$ 436 00

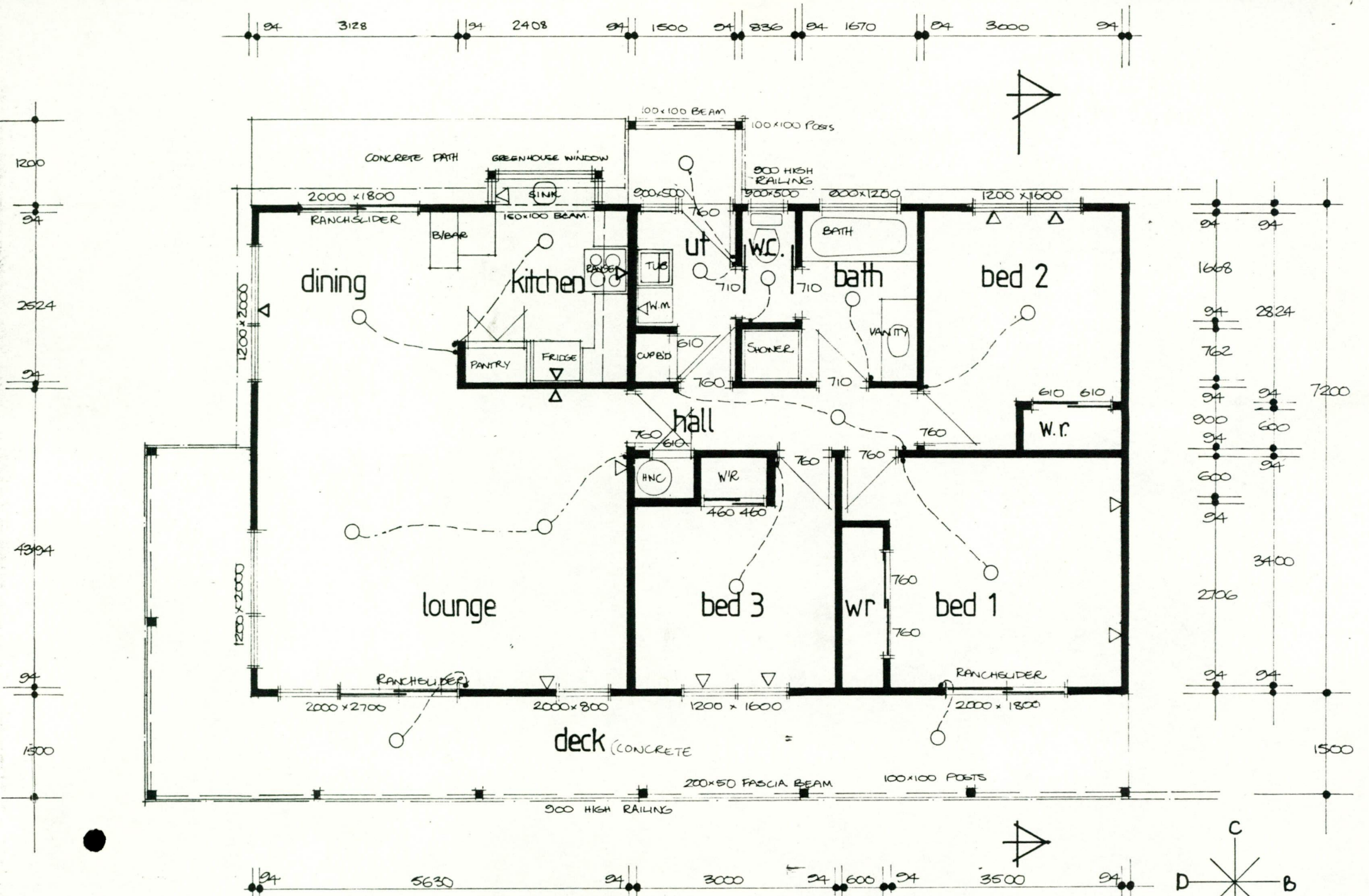
Authorised Officer R. Wright

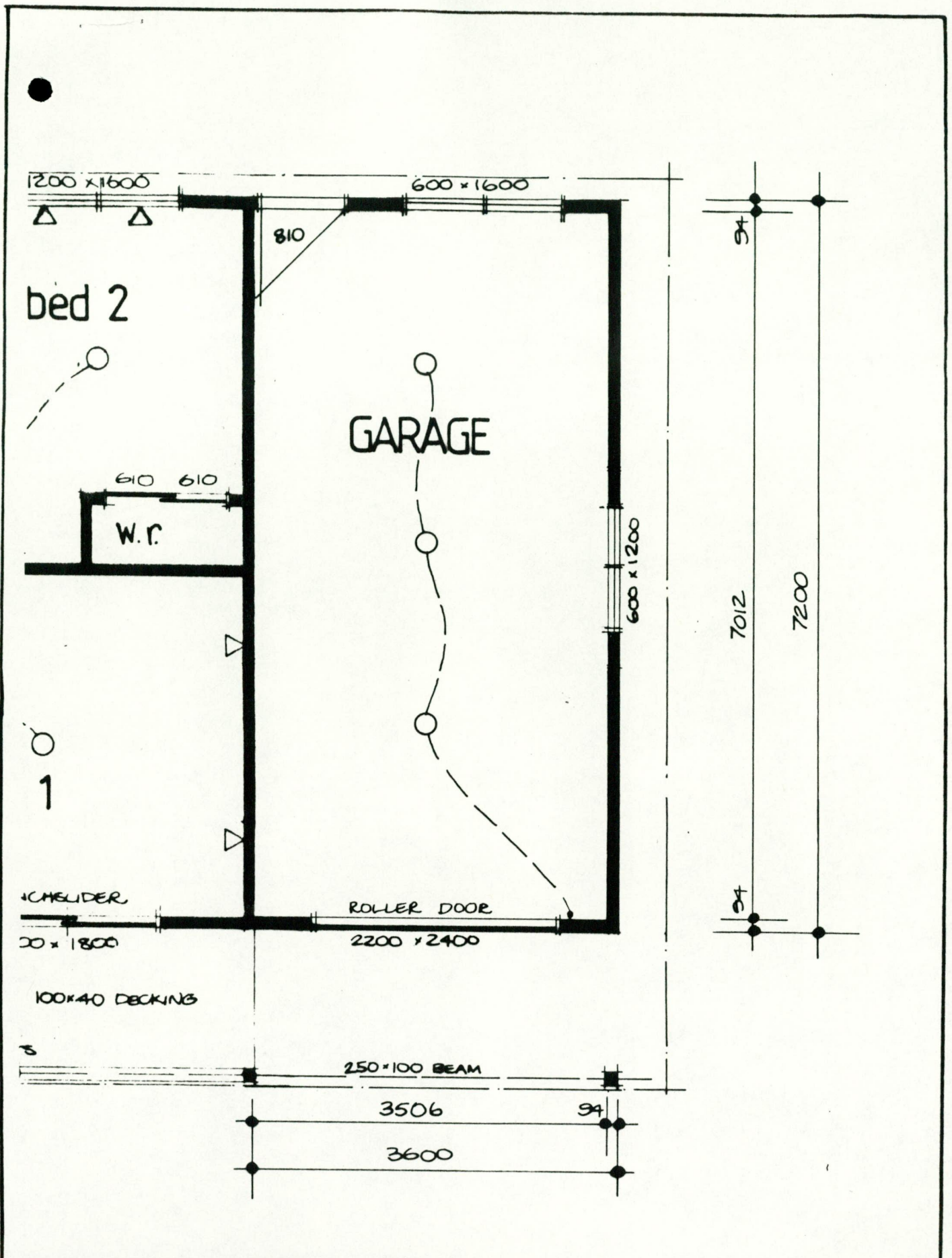
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 - (a) Footing (Prior to placement of concrete)
 - (b) Pre-lining
 - (c) Insulation
4. Polythene under floor slab to be .25mm thick.
5. If floor height is not constructed as shown on plan, floor to be reinforced, and lap with vertical foundation wall steel.
6. Council to be called for an inspection of sand pad under floor after compaction.
7. Garage to step down 50mm below house floor.
9. Provide 50mm high concrete nib walls below bottom plate of garage.
10. The finished ground floor level of the building must be at sufficient height that will enable all waste pipes to be laid with correct falls and discharge into a drain inlet at a height not lower than finished ground level.


FILE

2.7.86

PRE FLOOR WASTE PIPE INSP INSP.
SINK - TUB - SHOWER - BATH - H/BASIN.
NO SOIL PIPES IN FLOOR.





 <p>HORIZON HOMES LTD</p> <p>PO BOX 2347 Starford Lodge, Hastings. Telephone (070) 83 178</p>	<p>PLAN GARAGE PLAN</p>		<p>Sheet No</p>
	<p>AREA</p>	<p>SCALE</p> <p>1:50</p>	<p>Job No</p> <p>W123</p>
	<p>DRAWN</p> <p><i>GMH</i></p>	<p>DATE</p> <p>8.4.86</p>	

444/168

Mr T Rumney

TR:k1w2U

30 May, 1986

Peter Owen
R D 2
OHAUPO

Dear Sir/Madam,

RE: DRAINAGE AND/OR PLUMBING PERMIT

You have been asked to carry out Drainage and/or Plumbing work for Ms Hazel Kathleen Rattray at Bruntwood Road/Street.

An application for a Permit has been received and approved by this Office and a permit for the work is enclosed.

Would you please note the below mentioned conditions which will apply, and should you have any queries, please do not hesitate to contact this Office.

Yours faithfully,

Per:
Kd Waight

T.J. Rumney,
DRAINAGE AND PLUMBING INSPECTOR.

.....
CONDITIONS

1. The Work shall be carried out in accordance with the Drainage and Plumbing Regulations, 1978.
2. Septic tanks shall meet the requirements of the New Zealand Standard Specifications for Household Septic Tanks.
3. Effluent disposal to be installed in accordance with the Code of Recommended Practice. Permission will be given for seepage pit systems only in exceptional circumstances.
4. All materials which have been approved by the Waikato County Council must be installed strictly in accordance with the manufacturers code of practice.
5. The location of existing and proposed in ground water supply and/or storage systems must be established before setting out foulwater drainage field. A clearance of thirty metres is required unless some other approved water protection method is employed.
6. This Office is to be notified as soon as the work is completed so a final inspection can be made.
7. The finished ground floor level of the building must be at a sufficient height that will enable all waste pipes to be laid with correct falls and discharge into a drain inlet at a height not lower than finished ground level.

444/168

Mr T Rumney

TR:klw2U

30 May, 1986

Gramme Ross, Muirs Drainage
7 Green St
HAMILTON

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RE: DRAINAGE AND/OR PLUMBING PERMIT

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Kol Waught

T.J. Rumney,
DRAINAGE AND PLUMBING INSPECTOR.

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RECEIVED
17. APR. 1986
WAIKATO COUNTY
COUNCIL (COUNTER)

BRINKWORTH ROAD
194.99

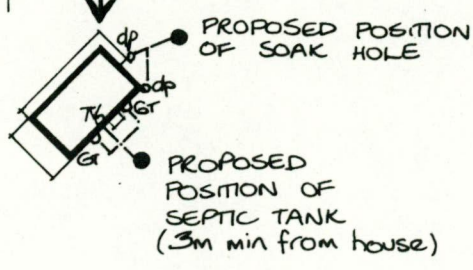
PROPOSED RESIDENCE

24.62

200.8

40m

50m



lot 4
dp S.14156

196.54

PROPOSED SITE PLAN 1:1000

PO BOX 2347 Sturford Lodge, Hastings Telephone 0701 83 178

HORIZON HOMES LTD

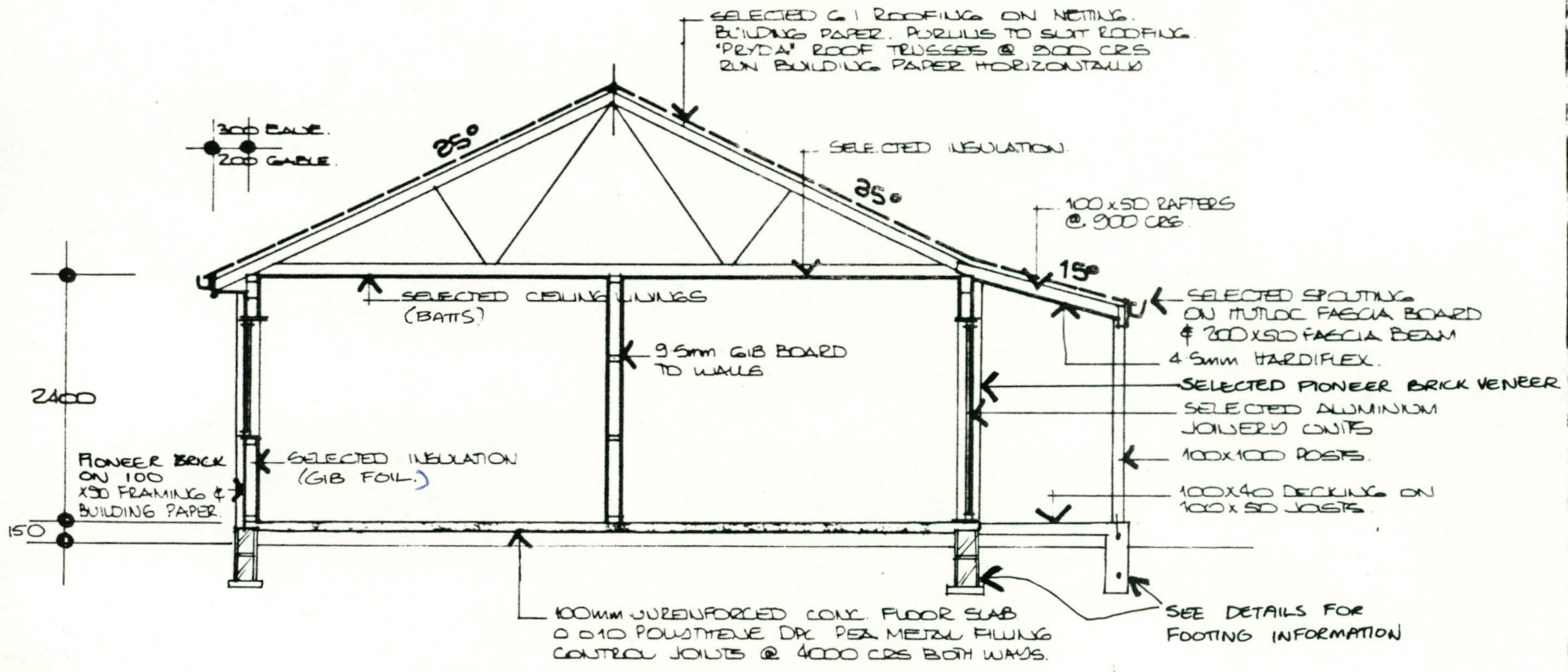
AREA PLAN RICHMOND III - CONC.

SCALE 1:50

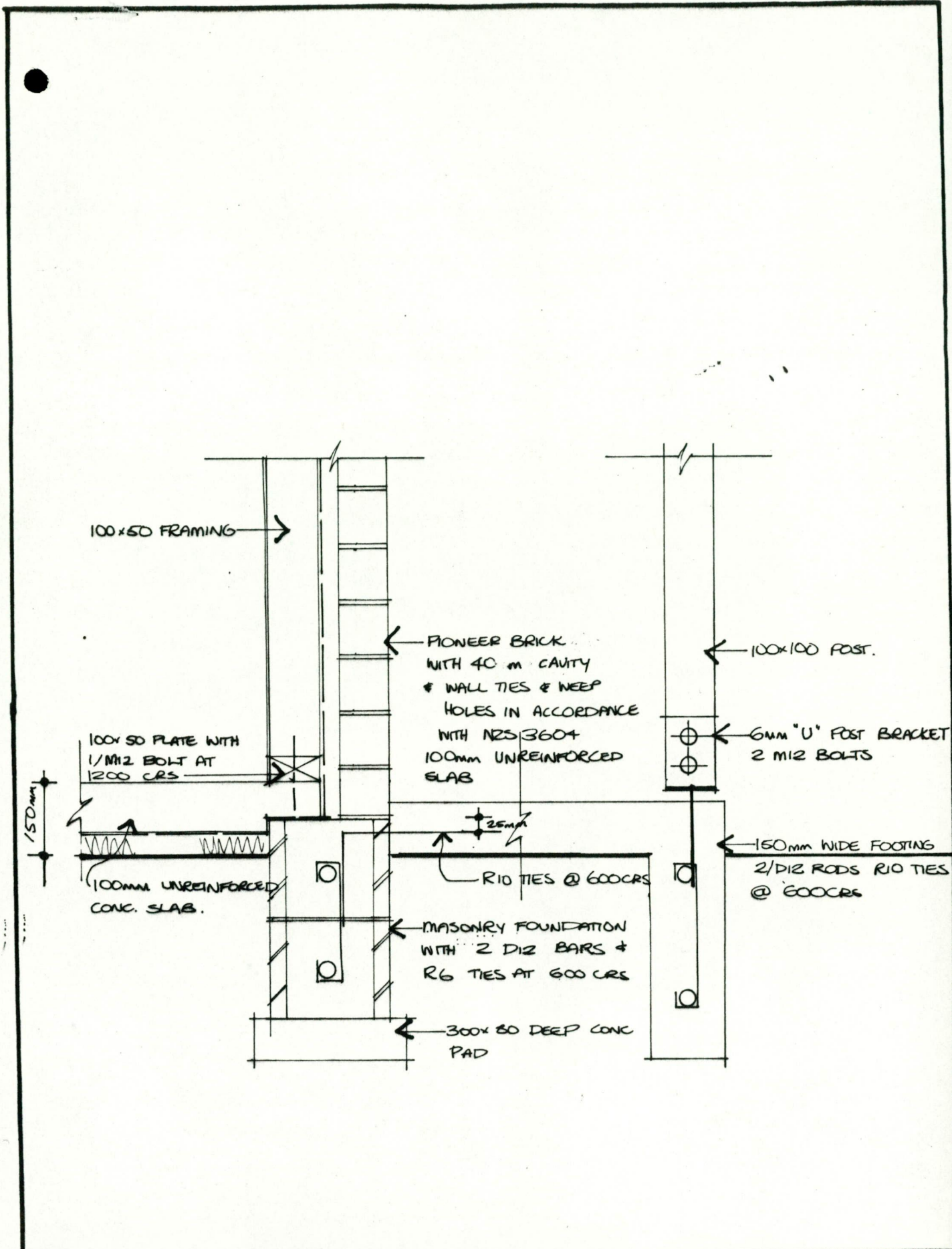
DATE 8.4.86

Job No

Sheet No



cross section. 1:50.



	PLAN: CONG FLOOR TERRACE DETAIL		Sheet No.
	AREA	SCALE 1:10	
DRAWN <i>GMM</i>		DATE 16.4.86	Job No.
HORIZON HOMES LTD <small>PO BOX 2347 Startford Lodge, Hastings. Telephone (070) 83 178.</small>			

1743

Mr Hogg

JES3U

29 May, 1986

Horizon Homes Ltd.,
848 Victoria Street,
HAMILTON.

Dear Sirs,

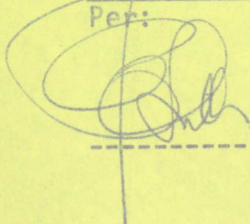
RE: BUILDING PERMIT APPLICATION - H.K. RATTRAY

I wish to advise that your building permit to erect a Dwelling can now be issued upon receipt of fees amounting to \$436.00.

Please note the special conditions as noted below:-

PLEASE PRESENT THIS NOTICE WHEN PAYING FEES

Yours faithfully,
D.G. Hogg,
BUILDING INSPECTOR
Per:



CONDITIONS

1. No work is to commence before the permit is uplifted.
2. Plumbing and drainage permits will not be issued until the respective tradesmen make application.
3. The following inspections are to be called for:-
 - (a) Footing (Prior to placement of concrete)
 - (b) Pre-lining
 - (c) Insulation
4. Polythene under floor slab to be .25mm thick.
5. If floor height is not constructed as shown on plan, floor to be reinforced and lap with vertical foundation wall steel.
6. Council to be called for an inspection of sand pad under floor after compaction.
7. Garage to step down 50mm below house floor.
8. Provide 50mm high concrete nib walls below bottom plate of garage.
9. The finished ground level of the building must be at a sufficient height that will enable all waste pipes to be laid with correct falls and discharge into a drain inlet at a height not lower than finished ground level.

WAIKATO COUNTY COUNCIL

FILE

DRAINAGE PLAN

PROPERTY FILE No. 444/168 Permit No.

Lot No. D.P. No. Riding

Owner: MISS RATTRAY Address: BRUNSWOOD Rd

Type of Building: DWELLING

Drainlayer: MUIR DRAINAGE Address: P.O. BOX 5455

Date of Inspections:

NOTE:—Drain plans to be drawn in ink on the reverse side of this form shall be as hereunder:—

1. Drawn to a scale of 1/8in. to 1 ft unless otherwise agreed upon by the Inspector.
2. New drains to be drawn in red ink; existing drains in full black, where position is known.
3. New stormwater drains are to be drawn in green ink; existing stormwater drains in dotted black, where position is known.

The plan shall also include: —

- (a) The details of the whole or part of the building, etc., to be drained.
- (b) The correct position of the whole or part of the building to be drained in relation to existing or proposed water supply sources, where they are known.
- (c) The correct position of the drain in relation to the building and the boundaries.
- (d) Where the frontage of the section lies.

Please note that in the Waikato County no inspection will be carried out of any drainage work that is not fully completed, including the placement and finishing of gully surrounds.

The drainlayer must be present, with a plan form completed, and the drain under a water test at the arranged time of inspection unless previous arrangements have been made with the Health Inspector.

INSPECTOR'S REPORT:

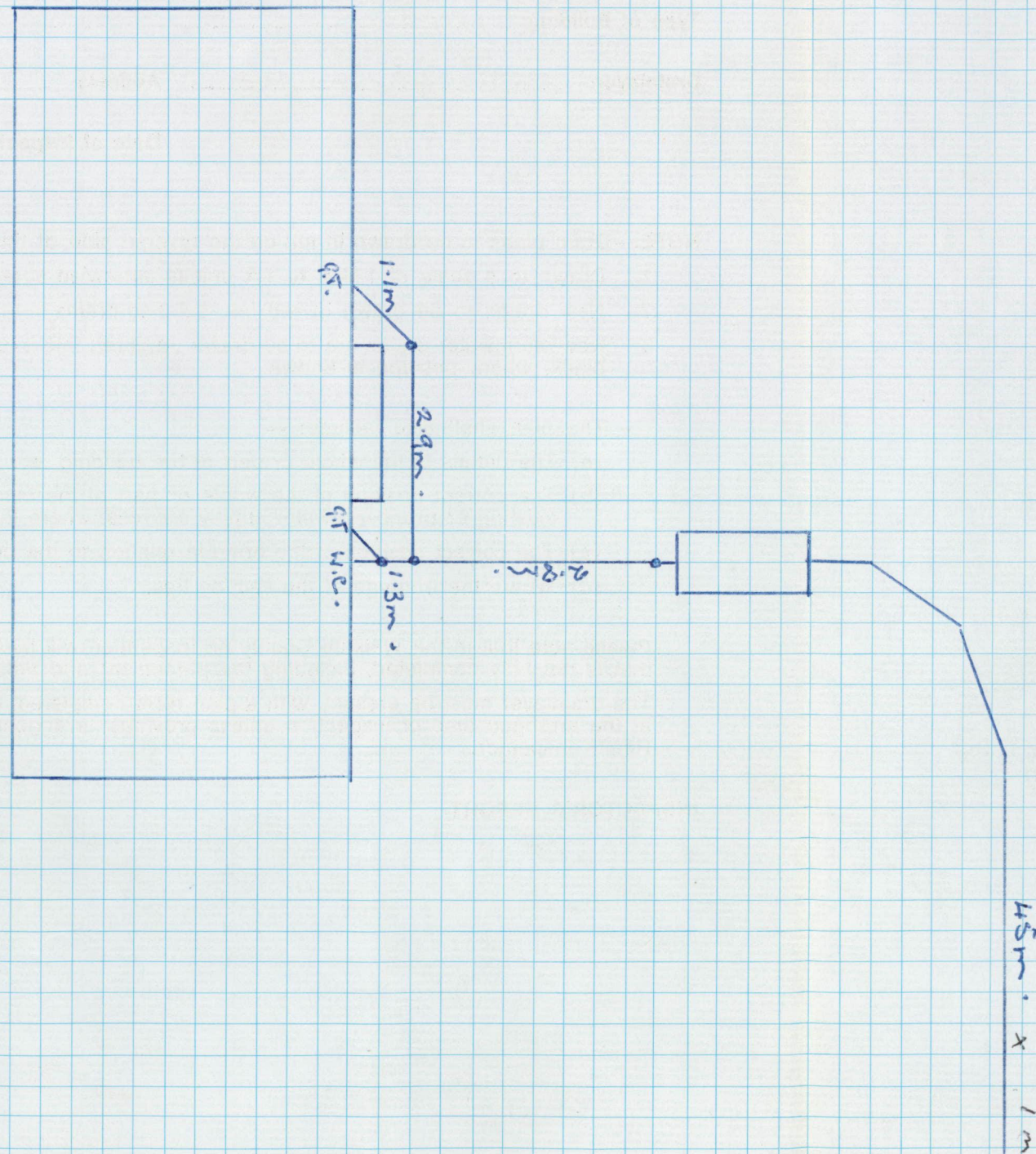
30.7.86

DRAIN	100 mm PVC
SEPTIC TANK	600 GAL CONC.
EFFLUENT	45 m X 1 m CLEAN METAL 100 mm F/TILES
GROUND CONDITIONS	DRY SAND & LIGHT CLAY
ROOF WATER IS TO GO TO MANALON TYPE TANK AT SOUTH END OF DWELLING	

FITE

ROAD

0
Bore





FINAL CODE COMPLIANCE CERTIFICATE

Section 43(3) Building Act 1991

ISSUED BY THE WAIKATO DISTRICT COUNCIL

BUILDING CONSENT NUMBER: ABA 89225

FILE

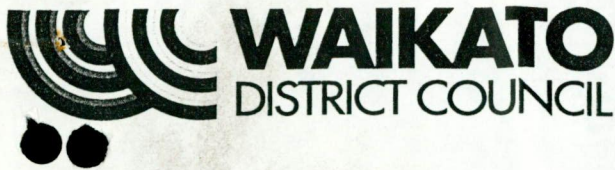
APPLICANT:	PROJECT
Thomas Douglas Jones Annie Jones 644 Bruntwood Rd R D 1 HAMILTON 2021	ADDITIONS AND ALTERATIONS TO DWELLING Intended use(s) in detail: Dwelling additions Indefinite but not less than 50 years
CONTACT:	
Thomas Douglas Jones 644 Bruntwood Rd R D 1 HAMILTON 2021	
PROJECT LOCATION:	
644 Bruntwood Rd TAMAHERE	
LEGAL DESCRIPTION:	
Property Number: 1008732 Valuation Roll Number: 04443/492.00 Legal Description: LOT 2 DP 317883	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature:

Name: Andrew Loe
 Position: **Building Control Officer**
 Date: 21 November 2005



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:

1008732

If calling, please ask for:

Tony Krippner

31 October 1997

M D and A Jones
644 Bruntwood Road
R D 1
CAMBRIDGE

Dear Sir/Madam

BUILDING CONSENT APPLICATION - 89225

I wish to advise that your building consent to erect additions to dwelling can be issued at Hamilton Office upon receipt of balance of fees amounting to \$472.50 GST inclusive.

Please note the special conditions as noted below:-

PLEASE PRESENT THIS NOTICE WHEN PAYING FEES

Yours faithfully

A handwritten signature in blue ink, appearing to be 'A' or 'M'.

BUILDING CONTROL OFFICER

CONDITIONS

24 hours notice shall be required for all mandatory inspections. When booking inspections please phone 07 824 5876

- 1 The following inspections are required:
 - a) Foundation (prior to pouring concrete)
 - b) Bond Beam (prior to pouring concrete)
 - c) Floor (prior to pouring concrete)
 - d) Prelining
 - e) Insulation
 - f) Final inspection to be called for
(the owner or builder shall be on site at the time of inspection)
- 2 All drainage and plumbing shall comply with the New Zealand Building Code 1991.
- 3 At least 24 hours' notice shall be required for plumbing and drainage inspections.
- 4 Plumbing preline inspection shall be required.
- 5 Plumbing inspection shall be required before pouring floor slab.
- 6 Stormwater shall be disposed of in an approved manner.

Area Offices at Hamilton, Huntly, and Raglan

- 7 Please supply plumber's and drainlayer's name and registration
- 8 No hot and cold water pipes shall be laid under concrete floors unless they are accessible after the job is completed.
- 9 Verandah posts shall comply with Figure 7.1 NZS 3604, 1990.
- 10 Trusses or rafters shall be fixed at tails to top plate with wire dogs at each end.
- 11 The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
- 12 Provide breather type building paper on outside of frame, to extend to top plate level.
- 13 Habitable rooms shall have at least 5% of room area in opening sashes and 10% in glazing.
- 14 Fibreglass insulation shall be a minimum of 75mm in walls and 100mm in ceilings or shall comply with the requirements of E3 AS1 of the New Zealand Building Code 1991.
- 15 Footings shall be a minimum of 300mm below cleared ground level.
- 16 Soils may be soft in this area. Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.

NOTE: Lapse and cancellation of building consent

This building consent shall lapse and be of no effect if:

- a) The building work concerned has not been commenced within 6 calendar months after the date of issue of the consent; or
- b) Reasonable progress on the building work has not been made within 12 calendar months after work has commenced.

The Council can exercise its discretion in either case.

NOTE: The building consent may not authorise you to build. You are advised to read carefully the Project Information Memorandum issued with the building consent to find out if there are other consents required before you start to build. Failure to do so could result in enforcement action being taken.

K:\ENVIRON\BC\7103106P

PRELIMINARY

GENERAL:

The Contractors in all trades are requested to make a personal inspection of the site and satisfy themselves about all matters relating to the conditions of the work, means of access and the rights and interests which may be interfered with by the execution of these works and all matters referred to in the Plan and Specifications which may influence the Contractors in making his Tender.

The Contractors shall provide all materials and labour, supply and maintain the required tools, plans, scaffolding, unless otherwise clearly stated, obtain all necessary permits from the Local Building Inspector and pay all dues and generally complete the contract in the best trade manner in accordance with the true intent and meaning of the accompanying Plans and this Specification taken separately or collectively. Any work indicated on Plans, but not specifically mentioned in the Specification or vice versa shall be taken as if no error or omission existed.

If the contract is partly or wholly financed by any Financial Institution the Contractor shall conform with the requirements and conditions set out by such Institution.

BUILDING ACT 1991

The Contractors shall conform in all respects to the requirements of the Local Authority having jurisdiction over the work.

INSURANCE:

The Contractors must take out a correct insurance against fire for a sum sufficient to cover the full contract sum, the policy to remain in force until the building is taken over by the Owner.

DEFAULT AND BANKRUPTCY:

The usual laws of Bankruptcy and Default apply to this Contract.

ARBITRATION:

In any dispute arising between the owner-Employer and Contractor-Builder not soluble by means of the Contract, it shall be referred to the Arbitration within the meaning of the Arbitration Act 1908 and its amendments.

PERIOD OF MAINTENANCE:

A period of maintenance for the Contract shall be thirty (30) days after the date of which the Contract is handed over completed. Any defects in materials or workmanship or parts that require replacing or adjusting which have been included in the Contract shall be adjusted or replaced as specified in this Specification at the Contractor's own expense.

PROGRESS PAYMENTS:

Progress payments unless otherwise agreed upon will be paid monthly up to 90% of the estimated value of the work performed and the materials on the site. The balance will be paid thirty-one (31) days after completion of the Contract.

LABOUR ONLY CONTRACT:

If the Contract is to be wholly 'Labour Only' basis then the above shall not apply, but a written contract is to be drawn up between Owner/Employer and Contractors as to terms of employment and payment and estimated time of completion and other conditions required under such an agreement.

SUB-CONTRACTORS:

This Specification is subdivided into trade sections for the convenience of reference and it shall not construe that each trade section is entirely a separate contract, hence no claims will be admitted from the sub-contractors for the work not specifically mentioned in a trade section, but which is provided for, impressed or implied elsewhere in the Specification. Every trade jointly and severally shall collaborate, wait on, assist and render all necessary assistance to the complimentary trades. Terms of employment of sub-contractors to be stated by Owner before commencement of contract.

AVAILABILITY OF MATERIALS:

Should any of the materials specified for the contract be unprocurable or be prohibited by the Government regulations, negotiations shall be made for the provision of substitutes. Before any such substitutes are included in the Contract, the approval of the Owner must be obtained. The price difference resulting from the inclusion of the substitutes must also be acceptable to the Local Authority and Lending Institution.

ADJUSTMENT OF COSTS:

Provision is to be made by the Owner and the Contractor to meet any contingencies that may arise due to the fluctuations in the price of various materials or labour. Should there be either a rise or fall in the prices of labour or materials from the date the tender is submitted until final payment, an adjustment to the contract price is to be made accordingly, provided that the contract price has been affected by such a rise or fall in prices.

CARE OF ADJOINING PROPERTY:

During the course of the execution of this Contract, take every precaution to protect the adjoining public and private properties against damage or loss. All such damages shall be made good at the Contractor's expense.

CLEAN UP:

Leave the building and surrounds thoroughly clean at completion and cart away all rubbish and clean all windows and floor.

P.C. (PRIME COST) ITEMS:

The Owner reserves the right to select or purchase items under the P.C sum and accounts will be adjusted accordingly on completion.

ADDITIONAL WORK:

All additions, deductions, deviation or alterations must be authorised by the Owner in writing and claim shall by allowed for same which does not conform to the clause.

SITE LEVEL:

All Tenderers shall visit the site, make themselves conversant with it and verify the conditions, levels and dimensions as shown on the drawings which are approximate only. The Contractors shall be held responsible for the correct setting out of the work and should establish the position of the floor levels in relation to the surrounding land before commencing work.

MATERIALS AND WORKMANSHIP:

After the copies of the Plan and Specifications have been received by the Contractors and full control of the site of the proposed works has been given to the Contractor, he shall in the best and most workmanlike manner erect, build and execute, supply and finish for the Employer the work included in the Contract according to the Drawings and Specifications signed by or on behalf of the Employer and Contractors. The Contractor shall provide plant, labour and materials necessary and requisite for the due and proper.

SUB FLOOR - GENERAL:

The sub floor area is to be constructed to conform to requirements as laid down in NZS 3604 with regard to material, sizes, quality and set out.

BRACING REQUIREMENTS - GENERAL:

- (a) All walls to be braced with a system of braces as defined by NZS 3604.
- (b) Roof framing to be braced and roof framing fixed according to NZS 3604.

SUB FLOOR

- (a) If a 'structural' concrete block sub floor system is used it must either be in accordance with NZS 3604 or be designed by a Registered Engineer.
- (b) Normally a full height basement in concrete block will require an Engineer's design certificate and drawings.

WALL BRACING:

- (a) All walls to be braced with braces as defined in NZS 3604 and a copy of bracing calculations to accompany each set of drawings.
- (b) The drawings must clearly show the location and types of braces (the bracing system may be shown on an accompanying 'calculation sheet').

ROOF BRACING:

Roof bracing to be in accordance with NZS 3604. Particular care to be taken with regard to various types and sizes of fixings for (a) roof framing members and (b) roofing systems. The nailing code as detailed in NZS 3604 must be strictly adhered to.

EXCAVATION

Excavate as required for all site levelling, foundations, footings, posts, blocks, walls, water pipes etc. to various depths, levels and grades required for the erection of the

building and appurtenances. All sub soil from the foundations and other excavation si to be spread or deposited on the site where and as required by Owner. Backfill and ram carefully around footings consolidating as work proceeds and make up to natural levels. Hard fill if required under steps, floors etc. shall compose of brown rocks, scoria or any other hard substance carefully consolidated and screened off before concrete is actually laid.

NOTE:

Soil bearing tests to be determined as required by NZS 3604 and building set out to conform to the same.

CONCRETE

MATERIAL:

Cement must be portland cement and must conform to the requirements of the up to date N.Z.S.S for portland cement.

METAL AGGREGATE:

Shall be of approved metal chip free from dust and earthy matter and graded to the best 20mm mesh.

SAND:

All sands shall be clean, sharp and of mixed grades.

WATER:

Used for concrete must be clean, fresh and of drinking quality.

STEEL:

All steel used in concrete work must be of approved mild steel.

MIX:

The concrete for all work shall be composed of 1 part cement to 2 parts sand and 5 parts aggregate measured by volume. Mix the concrete thoroughly with just sufficient water to give a workable mass.

READY MIXED CONCRETE:

Ready mixed concrete from an approved central mixing plant may be used provided it complies with all the requirements of this Specifications.

STRENGTH OF CONCRETE:

All concrete will be required to develop a crushing strength of at least 17.2 MPa.

BOXING:

If boxing is required, it must be well fitted together and wetted before the concrete is placed.

FOOTINGS:

All footings to be 240 wide reinforced with 12mm dia. rods. Ref. to Plan.

CONCRETE FLOOR:

The floor to be 100 mm concrete reinforced with 665 mesh laid on compacted hardfill and 0.25 polythene. Great care shall be taken to obtain a proper surface finish to the slabs which shall be finished in one operation. The concrete shall be thoroughly compact by working with approved tools and a slight excess shall be struck off with a template. Slabs shall be hand finished by skilled and experienced concrete finishers to an even and true surface by approved means.

PORCH FLOORS, STEPS & TERRACES:

These will be of 100 mm thick. Continue 665 reinforcing mesh from the floor into the terraces. Steps to be formed of concrete with 150 mm rises and 300 mm treads resting on properly rammed hardfill.

DAMP PROOF COURSE:

Cover all concrete, concrete block and brick faces in contact with timber work with one layer of three ply malthoid or other approved damp proof course with a minimum lap of 75 mm to the joint where required under continuous proof.

BRICKLAYER

MATERIALS:

- (a) The bricks shall be:
- (b) The blocks shall be Class A according to N.Z.S.S.

MORTAR:

All mortar used for stone and blockwork shall be composed one part lime to four parts of sand. These components must be well mixed and allowed to slake for at least 48 hours before gauged with one part of cement to five parts of lime mortar. No mortar that has been allowed to become set shall be allowed to be used in the work.

NOTE:

Plie mortar may be used in place of lime in order to facilitate the immediate use of the mortar mixture.

BLOCK BASE AND STONE WALLS:

Build up 200 mm concrete block wall to base with 250 mm bond beam around the top then selected stone. When using this type of construction, the stone must not exceed 3.600 m at any point.

STONE:

The whole of the stone work is to be built up by skilled tradesmen. All joints must be struck jointed with mortar. Angles at intersections must be bonded not more than 10

mm thick. All required openings and chases to be provided for as indicated on the plans.

WALL TIES:

Stone veneer walls to be secured with approved galvanised wire ties. They shall be built in at every fourth course at angles, openings and end walls. Provide five ties to each square metre and bed them well into the stone and secure to studs with two staples.

SILLS:

All window sills to project 50 mm past face of wall and brought up under sill and joints bedded in thick bitumastic compound.

CLEANING:

At completion of work, clean down all exposed brickwork with a weak spirits of salts solution and scrub with clean water. No traces of cement, dirt or other stains shall be left on any surface.

VENTILATORS:

Build into stone mouseproof ventilators of approved manufacture. Space at intervals of not more than 1.800 mm apart and commencing not more than 750 mm from each corner.

GENERALLY:

There will be a cavity of 37 mm between brick veneer and framing giving a wall thickness over studs, cavity and veneer of 250 mm.

BLOCKLAYER

The whole of the blockwork shall be carried out by tradesmen skilled in concrete block construction and in accordance with the best trade practice. Walls shall be erected true to line and plumb. Horizontal and vertical joints shall be 10 mm in thickness with full coverage on the face shells and also on webs where the latter surround cavities with vertical reinforcing rods. Blocks must be laid dry. They shall be protected so as to stay dry before, during and after laying.

The end of blocks shall be well buttered with mortar to give the same coverage on vertical ends as that on horizontal edges at face of shells, the blocks being pushed tightly so that the mortar in vertical joints bond well to both blocks. Joints shall be solidly filled from the face of the blocks to the depths of the face of shell, care being taken to prevent mortar falling into cavities. Joints on exterior facework shall be weatherstruck.

The blocks shall be bonded so that the vertical joints of one course shall be central between vertical joints of the courses above and below, keeping cavities where vertical rods occur in vertical alignment to maintain a continuous unobstructed cell area not less than 50 x 75 mm for the reception of rods and grouting.

Block walls are to reinforced at corners and to either side of all openings. Vertical rods through cavities of blocks and grouted in with concrete grout as specified. Provide bond beams with 12 mm dia. rods under all window openings. Cracked, chipped or defective blocks shall not be used. Form or cut all necessary chases or flashings and provide openings for pipes etc. Where timber is to attached to blocks, this shall be done by means of masonry, spikes or bolts. Building in of timber blocks is not permitted.

NOTE:

The whole of the blockwork and reinforcing to be carried out in accordance with N.Z.S.S. 1900, Chapter 6.2 and local body requirements.

TOOLING AND FINISHING:

Unless otherwise specified, all joints should be tooled or concave. After the joints have been tooled, any mortar burrs should be trimmed off flush with the face of the wall with a trowel. Particular care will be taken to prevent smearing of mortar on the surface of the block. Embedded mortar smears can never be removed and will detract from appearance of the work. When the mortar is dry and hard, clean down the surface with a stone, then brush down with a stiff brush.

BOLTS AND FIXINGS:

All bolts, anchors, hangers etc. required for work of other trades shall be built in.

GROUT FILLING FOR REINFORCED CAVITIES:

Grout used for filling reinforced cavities shall be composed of not less than one part portland cement to four parts of aggregate and shall have a minimum compressive strength of 14 Mpa in twenty-eight (28) days. The aggregate used in the grout shall have particle not larger than 10 mm. The grout shall be fluid enough for pouring but not so fluid that the parts separate in placing.

Approved ready mixed group may be used in lieu of above.

CARPENTER AND JOINER

TIMBER:

The whole of the timber throughout shall be true and straight, properly seasoned and free from shakes, large and dead knots and waney edges. All timberwork shall be framed, trussed, braced and assembled in a workmanlike manner and in accordance with the best trade practice. All timbers shall be in as long lengths as possible. All materials are to be the best of their respective kinds and grades and lay true to the various levels and constructed in the proper workmanlike manner to make the whole of the works a sound construction and to comply with the local by-laws and to the entire satisfaction of the Inspector.

SCHEDULE OF MATERIALS:

(Ref. to Plan Also)

<u>MATERIALS</u>	<u>SIZE</u>	<u>GRADE</u>	<u>SPACING</u>
Plates (Bottom)	100 x 50	No.1 Boric Treated Pine	
Plates (Top)	100 x 50	No.1 Boric Treated Pine	Ref. to Plan
Studs External & Main Bearing	100 x 50	No.1 Boric Treated Pine	600 mm Centres
Studs Internal	100 x 50 <u>or</u> 75 x 50	No.1 Boric Treated Pine	600 mm Centres
Studs to openings over 940 mm	100 x 75	No.1 Boric Treated Pine	
Diagonal Braces cut in flush	150 x 25	No.1 Boric Treated Pine	
Noggings to ceiling joists	75 x 50 <u>or</u> 50 x 50	To suit ceiling sheets	
Noggings to walls	100 x 50 & 75 x 50	No.1 Treated Pine	3 Rows
Rafters to be gangnail trusses		No.1 Treated Pine	
Purlins to be battens	Refer to Plan		
Hangers where required	100 x 25	No.1 Treated Pine	
Ribbon board & soffit bearers	75 x 40	No.1 H3 Treated Pine	750 mm Centres
Spout Board	200 x 25	Treated H4 Treated Pine	
Architraves	65 x 12	D.A Rimu or as selected	
Skirting	65 x 12	D.A Rimu " " ' " "	
Interior Door Jambs	150 x 25 <u>or</u> 100 x 25	D.A Rimu	
External Door Jambs	150 x 50 <u>or</u> 150 x 40	D.A Ht. Rimu, Totara Matai	
Door Sills (External)	200 x 65	D.A Ht. Rimu, Totara Matai	

NOTE: Treated Pine to be boracic treated.

BEAMS TO OPENINGS:

All beam sizes to be determined by relevant tables in NZ 3604 'Code of Practice' for light timber framed buildings.

EXPOSED BEAMS:

- (a) Check beams of spans over 950 mm and not exceeding 2.690 m, 12 mm into studs. Support beams exceeding 2.690 m at each end of full length 100 x 50 studs spiked to general wall framing.
- (b) 100 x 100 D.A Ht. or Tan. posts to all terraces.

FINISHING TIMBER:

The whole of the interior finishing timber unless otherwise specified shall be of clean D.A. Rimu dry, machine dressed and sanded to a smooth, even surface free of machine marks. Exterior finishing timber unless otherwise specified, shall be dressed treated O.B. Rimu.

FRAMING:

Unless otherwise specified or shown all framing timber shall be spaced at 600 mm centres.

The whole of the framework is to be well and properly braced and securely spiked together. All plates and bearers shall be halved together at all joints and angles and at partition intersections.

WALL FRAMING:

All wall framing shall be braced with a flush 150 x 25 brace cut in at 45 or as near as possible and not less than one brace to each bay. All external angles shall be formed with three studs and all angles and intersections shall be blocked and spiked together with 50 mm packing blocks of not more than 450 mm centres. Provide three rows of nogging to all walls to suit wall sheets. Walls to be braced to exceed minimum requirements of NZS 3604 and bracing calculations and diagrams provided.

ROOF FRAMING:

(Also Ref. to Plan)

Frame roof with selected 'Gang Nail Trusses' at 900 mm maximum centres and set securely to wall plates. Extend rafters to give an eaves projection of 750 mm to framing. Frame up soffits with 75 x 40 ribbon board and soffit bearers and 200 x 25 fascia board. Accurately mitre all fascia boards and line the eaves with 4.5 mm flat fibrolite. The linings to the soffit to be held in the groove in the fascia board at one edge and finished with a mould at the other. Fix battens to rafters and cut and trim out as required for any vents etc. passing through the roof. Roof to be braced to NZS 3604 requirements.

FRIEZE BOARD:

See Existing

EXTERIOR SHEATHING:

(Ref. to Plan)

- (a) The exterior walls to be: See existing and plan
- (b) Porch linings are to be:

- (c) Interior garage walls to be: By owner
 (d) Areas above window and door openings to be:

METAL WINDOWS

Supply and fix aluminium windows to the normal size as indicated on the drawings. Generally install to the maker's recommendations, but where built into timber frames, window shall be fully bedded in mastic putty and where built in masonry, the windows shall be painted with mastic of approved manufacture.

PELMETS:

- (a) Supply and fix pelmets of selected timber design over the interior sliding doors.

(. By owner

DOORS AND THEIR FRAMES:

External door frames and sills shall be out of D.A Ht. Rimu, Totara or Matai. Jambes and heads to be out of either 150 x 50 or 150 x 40 and sill out of 200 x 65 sunk, weathered and throated showing a 12 mm upstand. The finish around frames to be 25 mm facings. Internal door frames all have solid rebated jambes out of 150 x 50.

SCHEDULE OF DOORS: (Ref. to Sheet 2)

<u>Door</u>	<u>Size</u>
To suit existing	
Wardrobes & similar cupboards	1.980 x 610 flush panel
Interior doors generally	1.980 x 810, 760, 710, 660 & 610 flush wooden panel

Doors shall be of approved manufacture. Hang all exterior doors on 1½ (one and one-half) pairs of 90 mm galvanised butts with brass pins. Provide and fix selected night latch and handle to front door. Provide and fix selected Mortice lockset to the back door. Hang all interior doors on 1½ (one and one-half) pairs of 90 mm F.B. butts with loose pins and fix selected hardware. Hang all wardrobe and similar cupboard doors on one pair of 75 mm F.B. butts. Fix selected latchsets. Any doors not mentioned will be fitted with selected hardware. Hang all interior sliding doors on approved sliding door gear complete with all necessary guides etc. Allow P.C. sum of \$850.00 for selected door hardware.

INTERIOR LININGS:

- (a) Line all interior walls, except where otherwise specified with Gibraltar board 9.5 mm thick, fixed as recommended by the manufacturers with 30 mm galvanised flatheaded nails. All fillings are to be done with the best plaster of paris and filled to an even surface, with all spots and arises removed.
- (b) Line the walls of the bathroom with a selected laminex and fix as recommended by the manufacturers.
 (Ref. To Plan Details)



Other 'sheet' linings i.e. 'bison board' 9 mm thick as required for 'sheet' bracing.

CORNICE:

Provide and fix:

CEILING ACCESS DOOR:

Form a 500 mm square trap door in the ceiling to the roof, finish around the trap door with architraves neatly mitred at the angles.

INSULATION WALLS:

All exterior walls with the exception of garage area to be insulated with fibreglass batts as per maker's recommendations. Care must be taken to see that the building paper is not torn or damaged and in the case of veneer construction, ties for brick or block veneer must be of type permitting attachment over the building paper without tearing it. Building paper must not be left exposed to the weather too long before enclose, otherwise wind damage and moisture absorption will cause it to bag and open at laps, destroying its value in sealing the stud air space.

INSULATION OF CEILINGS:

All ceilings shall be insulated with fibreglass R 2.2 insulation. The batts shall be placed between the joists pressed down so that the adjoining batts shall be butted closely together.

CUPBOARDS GENERALLY:

Refer To Special Front Notes Re Details.

The Contractor shall allow for all cupboards to be built in position as shown on the floor plan and to the Owner's design out of 25 mm dressed timber. Around all cupboards extending to the floor construct toe space 90 mm high and recess 75 mm with 75 x 57 mitred angle blocks at all internal angles. Build false floors at this level. Fix latch rails if necessary to all pairs of doors out of 50 mm x 25 mm cut in over the shelving. Finish all internal angles against walls with quarter round beading. Construct all drawers with 12mm finished backs and sides and 4.5 mm plywood or hardboard bottoms and 22 mm finish fronts, all properly framed, housed and dovetailed together. Fix solid full depth shelving at approximately 250 centres generally. Cutlery drawer shall be subdivided into compartments as directed with 9.5 mm thick divisions

VANITY:

Allow for the supply and fixing as per plans. To suit owner

FINISH TO BATH:

Cradle bath on the floor, frame up front and the end if open and prepare for the same lining as for the bathroom walls. Form a full length toe space.

SHOWER BOXES

By owner

WASH TUB:

Relocate existing tub as per owner

Waikato District Council

WARDROBE:

Construct wardrobes where shown on the plan. Finish wardrobes internally with a full length shelf out of 300 mm x 25 mm. At a height of 1.5 mm provide a 20 mm dia. galvanised iron pipe supported at the end by neat wooden fillets 50 mm below the upper shelf.

TOWEL RAILS:

Provide and fix two chrome plated towel rails in the bathroom where indicated by the Owner.

SOAP DISH:

- (a) Provide and fix one double soap dish recessed into the wall over the bath.
- (b) Provide and fix one single soap dish recessed into the wall of the shower.

TOILET PAPER HOLDER:

Provide and fix in the W.C. a metal fitting.

HARDWARE:

The Owner is to select all fittings apart from the hinges. Allow for the fixing to complete the work and leave in good working order. Allow P.C. \$890.00.

FINISH:

Architraves shall be 65 x 12 mm of bevelled pattern. Fix skirting around all rooms etc. with 65 x 12 mm of bevelled pattern. Mitre architraves throughout.

ROOFER

Cover the whole of the roof area with netting and cover with building paper. This material must be laid as specified by the manufacturers. Lay parallel with the ridge the first strip being laid at the eaves line and successive strips laid so that each strip laps at least 150 mm over the top of the strip immediately below. The building paper shall be turned up at the ridges and down over the fascia at the foot of the rafters.

Cover the whole of the roof with selected roofing in the flush as selected by the Owner. Fix as recommended by the respective manufacturer. All roofing fixed according to manufacturer's instructions and conforming to requirements as outlined in NZS 3604.

PLUMBER

MATERIALS:

All materials used by the Plumber must be the best of their respective kinds and must fully conform to the Buildin act 1991. Any part or parts omitted from this specification which are useful or necessary to complete this work in a proper manner shall be taken as though specifically mentioned.

FLASHING:

Waikato District Council

Referred to: _____

Time: _____

10 10 10

Copy to _____

Flash all openings through roof with 1.82 kg. sheet lead or galvanised iron to make a fully watertight job. Flash all windows and other openings where necessary to make watertight. Provide G.I. trays to all window sills where necessary.

SPOUTING:

Provide and fix galvanised spouting supported on galvanised iron brackets. Spouting to have grade to all downpipes.

VALLEYS:

Shall be Galv; Steel ie 275 gms of zinc per m².

DOWNPIPES:

Provide and fix galvanised iron downpipes in suitable positions.

WASTE-PIPES:

Carry waste-pipes from all fittings with traps, cleaning eyes etc. as required. Conceal traps and wastes wherever possible.

VENT PIPES:

Carry up all vent pipes to drain and fittings as required by the local authority in P.V.C. concealed where possible within the framework.

COLD WATER SUPPLY:

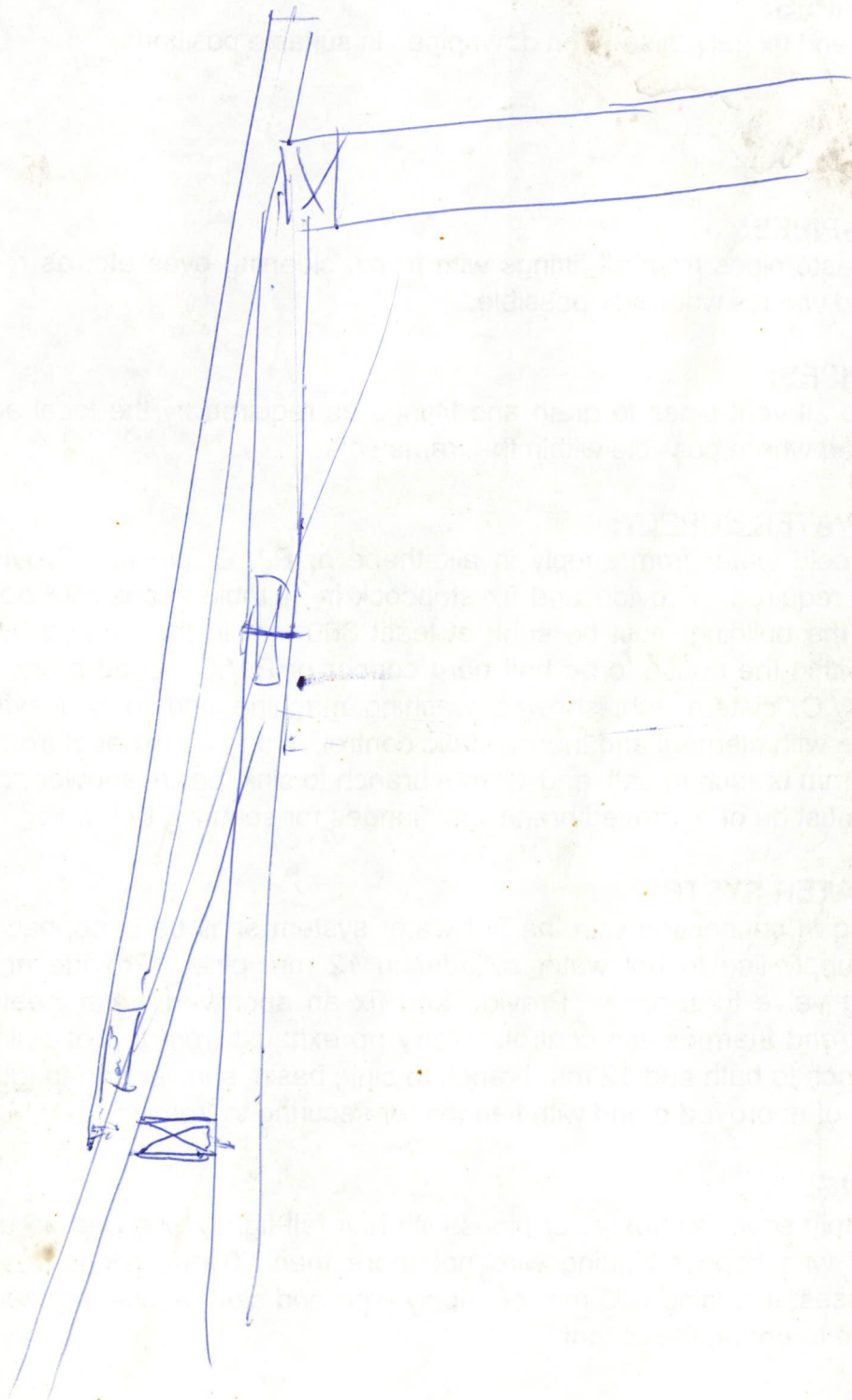
Lay on cold water from supply in alkathene or P.V.C. piping. Provide and fix water meter if required. Provide and fix stopcock in suitable accessible position. All piping outside the building must be sunk at least 300 mm in the ground. All high pressure piping within the house to be half hard copper or P.V.C. Lead branches to bath, sink, basin, W.C. cistern, tub, shower, washing machine and to two exterior stand-pipes complete with element and thermostatic control. Carry up exhaust from top cylinder and take 20 mm branch to bath and 12 mm branch to sink, basin, shower and to tub. All pipe fittings must be of approved brand with flanges for securing to framing.

HOT WATER SYSTEM:

All piping in connection with the hot water system shall be in copper. Lead from cold water supply line to hot water cylinder in 12 mm pipe. Provide and fix a pressure reducing valve to service. Provide and fix an approved water heater complete with element and thermostatic control. Carry up exhaust from top of cylinder and take 20 mm branch to bath and 12 mm branch to sink, basin, shower and to tub. All pipe fittings must be of approved brand with flanges for securing to framing.

LAGGING:

Completely cover all hot water pipes with hair felt tightly wrapped around the pipes and secured with copper binding wire not more than 50 mm pitch. Lag pipes with two thicknesses, including 900 mm of supply pipe and sludge pipe adjacent to cylinder and vent pipe to underside of roof.



WORKMANSHIP:

The whole of the Electrician's work must be carried out in compliance with the regulations of the said Power Board and the Underwriters Association by duly licensed tradesmen. Insofar as it is possible, all runs must be concealed from view.

WIRING:

All cable shall be 250 volt grade complying with the latest N.Z.S.S. and amendments thereto. Provide an approved type and size of earth to each switchboard. All plastic materials for switches, flush plates, light sockets etc. shall be ivory or brown colour as may be chosen by the Owner.

LIGHTS AND POWER POINTS:

Allow to provide and fix power points where directed by the Owner and make connection to range and hot water cylinder.

LAMPS AND PLUGS:

Leave all lighting outlets complete with approved pearlite and inside frosted lamps with open shades and all others complete with three pin plugs. Any selected light fittings will be taken as an extra.

POWER POINTS:

Power Points generally shall be flush type P.D.L. 10 Amp three pin plugs with white matching switch plate. Heights to be as arranged with the Owner.

RANGE:

(Refer to Sheet 2)

Allow for the installation only of the electric range complete with all necessary wiring and isolating switch. Owner to supply range.

PAINTER

MATERIALS:

All materials used in this trade must be of the best of their respective kinds and be of approved manufacture.

WORKMANSHIP:

Must be of the highest standard carried out by skilled tradesmen and finished to the Owner's satisfaction and approval.

TINTS:

All colours and tints shall be selected by the Owner.

EXTERIOR WOODWORK:

Exterior woodwork to receive one coat of the first quality priming. Putty all nail holes and finish with one undercoat, tinted if required, and one coat of first quality high gloss house paint as selected.

SPECIFICATION

Standard specification of the work carried out and the materials to be supplied in the erection and completion of the proposed dwelling.

ALL WORK TO COMPLY WITH THE BUILDING ACT 1991

FOR: Alerations Mr & Mrs. Jones DATE: 10/97

ADDRESS OF PROPERTY: 644 Bruntwood Rd Tamahere
15752

DESCRIPTION OF SITE:- LOT: 4 D.P.S. _____

LOCAL AUTHORITY: Waikato District Council PLAN: _____

EXTERIOR SHEATHING: Per plan & owner

EXTERIOR JOINERY: Aluminium per owner

BACK DOOR 2 lt Glass

FLOORING: Concrete per plan

INTERIOR WALL LINING: 9.5 mm Gib board

CEILINGS: Plaster glass or Gib bd

INTERIOR LIGHTS: Per plan & owner

EXTERIOR LIGHTS: _____

WALLPAPER P.C. By owner

RANGE P.C. By owner RANGE TYPE: _____

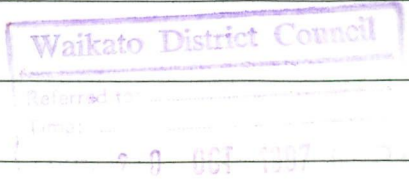
DRAINAGE: see plan & existing

HOT WATER: Existing

)	<u>WALLS: R 1.8 Batts</u>
)	
INSULATION)	<u>CEILINGS: R 2.2 Batts</u>
)	
)	<u>FLOOR: _____</u>

INTERIOR DOORS: By owner

INTERIOR UNITS: By owner



SHOWER: _____

TAPS & BATH FITTINGS: _____

SPECIAL LININGS: _____

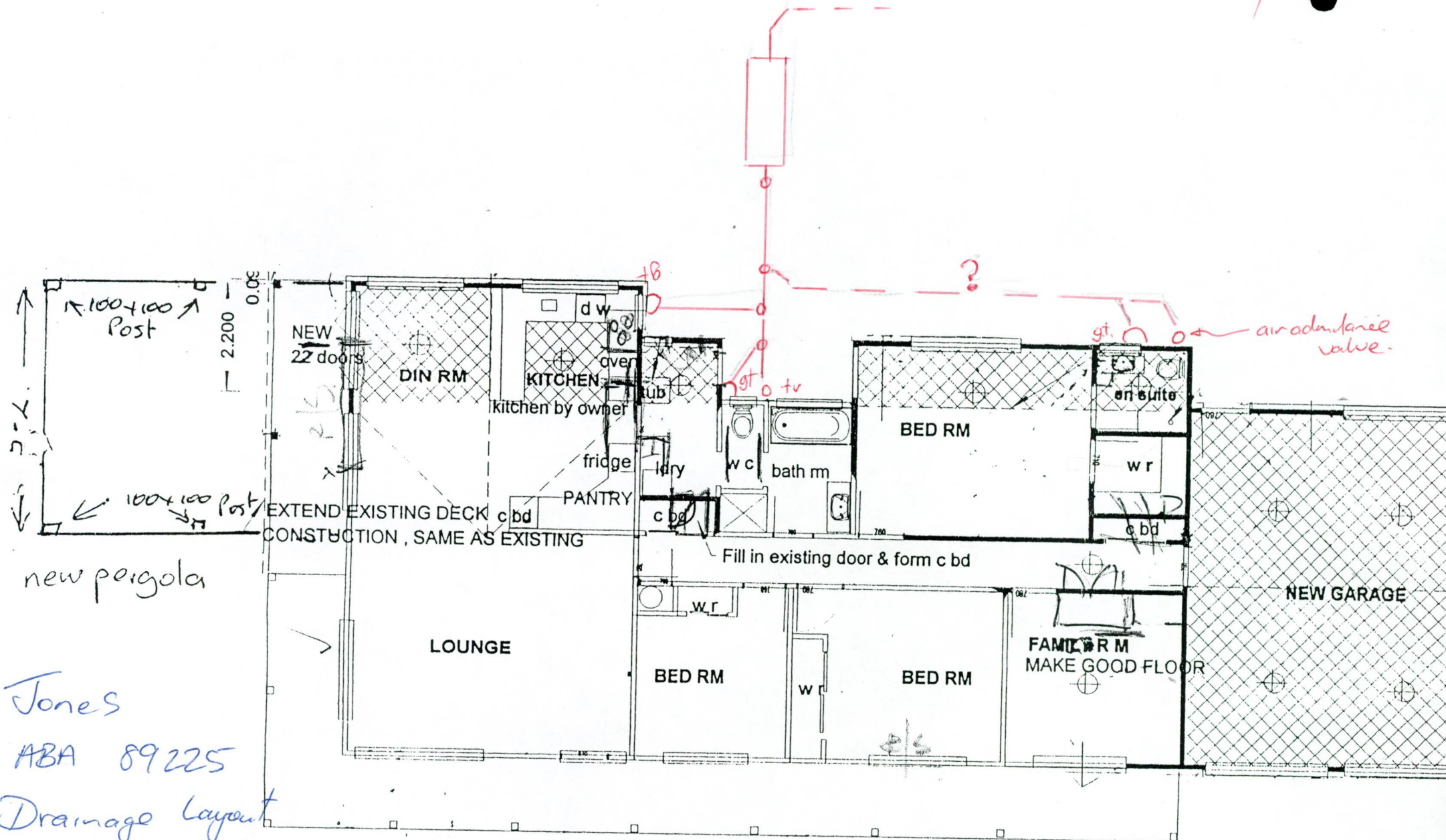
GARAGE DOOR: _____

CLOTHESLINE: _____

DRIVEWAY & FENCES: _____

1008732

4443/492.00



new pergola

Jones

ABA 89225

Drainage Layout

approximate location only - no as build info provided. 27.09.05

COPY

Date Received By

27 SEP 2005

Environmental Services

WITH COMPLIMENTS

RE: BUILDING CONSENT
89225 - PERGOLA ADDITION

YOUR COPY OF
STAMPED 'APPROVED'
PLANS ATTACHED

Regards

J. Senack

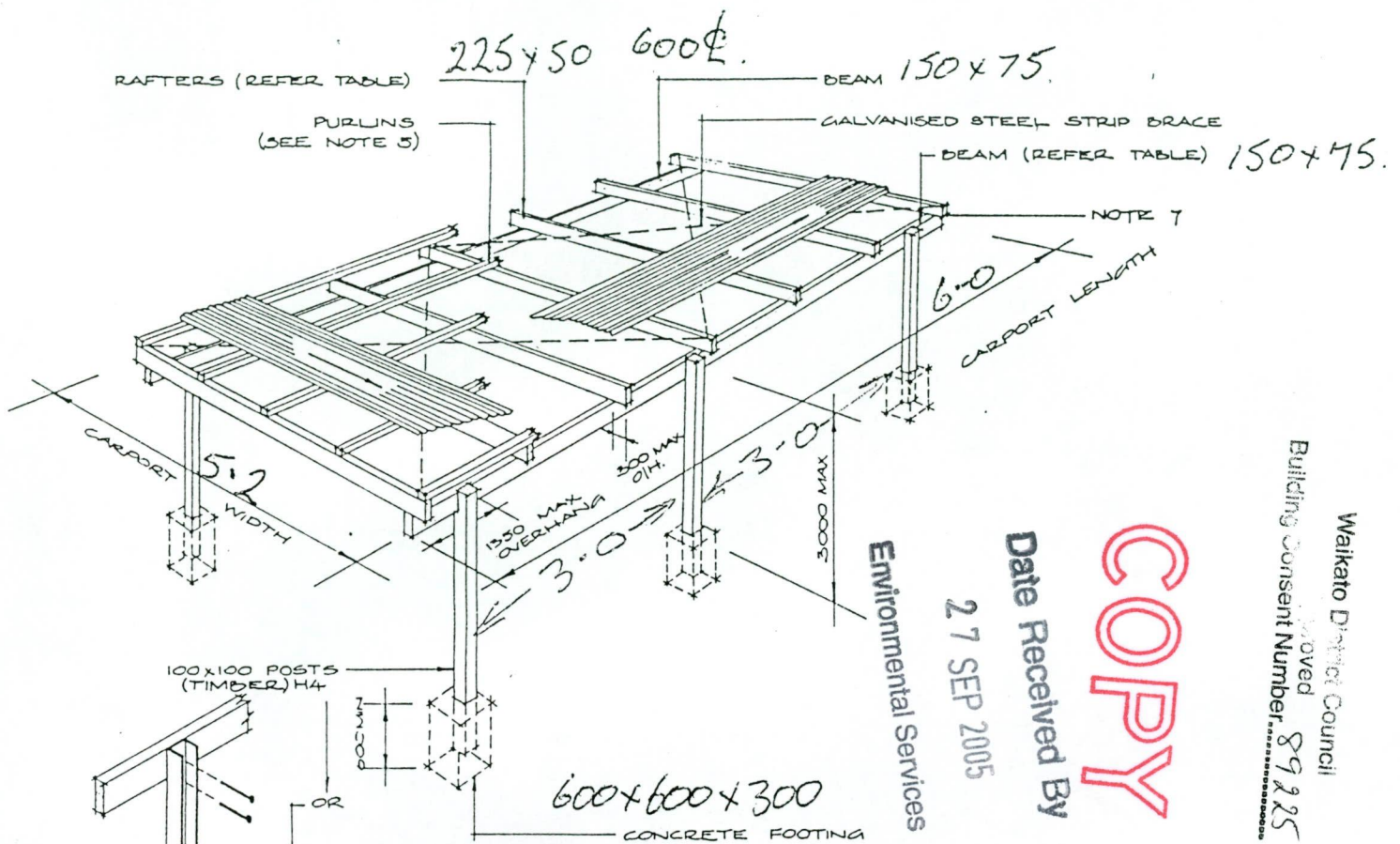


15 Galileo Street, Private Bag 544, NGARUAWAHIA
Telephone: 0-7-824 8633. Facsimile: 0-7-824 8091

MIN ROOF PITCH FOR CORRUGATED IRON TROUGH SECTION

LONG RUN	5°
END LAPPED	10°

CARPORT WIDTH	BEAM SPAN (MAX)			
	2.45	3.6	4.5	5.4
2400	250x30	150x75	150x75	200x75
3000	250x50	150x75	200x75	200x75
3600	250x50	150x75	200x75	200x75



	RAFTERS MAX SPACING OF			
	400	600	800	1200
2400	100x40	100x50	125x50	125x50
3000	125x40	125x50	180x50	200x50
3600	150x40	150x50	200x50	200x50
5100	200x50	225x50	250x50	300x50
6000	225x50	300x50	300x50	300x75

* FULL-DEPTH NOGGING AT MID-SPAN RAFTERS

POST & BEAM FOUNDATIONS

ROOF TYPE	WIND EXPOSURE	VOLUME OF FOOTING CONC (M ³) FOR A SUPPORTED AREA (M ²) OF:						
		1	2	4	6	10	12	
LIGHT	VERY HIGH	0.07	0.13	0.26	0.40	0.50	0.65	0.80
	HIGH	0.05	0.10	0.20	0.30	0.40	0.50	0.60
	MEDIUM	0.03	0.05	0.10	0.15	0.20	0.25	0.30
	LOW	0.02	0.03	0.07	0.10	0.15	0.15	0.20
HEAVY	VERY HIGH	0.04	0.06	0.15	0.20	0.26	0.32	0.40
	MEDIUM & LOW	NO SECUREMENT FOR UPLIFT REQUIRED						

FOOTING SIZES FOR WIND ZONES

HIGH	600 x 600 x 600 D.
MED	500 x 500 x 500 D.
LOW	400 x 400 x 400 D.

Environmental Services

Date Received By

27 SEP 2005

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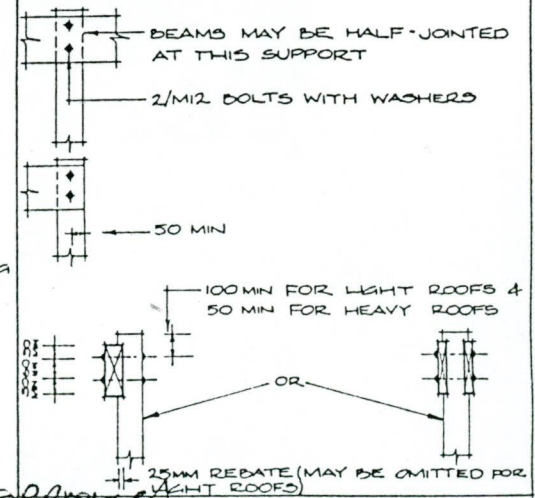
Waikato District Council

Building Consent Number 89225

75x75 RHS GALV STEEL POST BOLTED TO BEAM & FIXED INTO FOUNDATION & TO EXTEND TO WITHIN 100 MM OF BOTTOM OF FOOTING

- NOTES
1. N°1 FRAMING (POSTS TPA C4)
 2. FIREWALLS WHERE REQUIRED STD/B019
 3. FOR SITING REQUIREMENTS REFER PLANNING DEPT.
 4. RESTRICTED TO BUILDINGS 40 M² WHERE FREESTANDING
 5. 75x50 PURLINS @ 900 CTRS
100x50 PURLINS @ 900 CTRS FOR 1200 RAFTER SPACING
 6. CARPORTS ATTACHED TO DWELLINGS THAT LAND CLOSER THAN 1.0 M TO BOUNDARY REQUIRE FIRE RATING REFER STD/B 019, CARPORTS GREATER THAN 40 M² IN AREA.
 7. PROVIDE 2-NAILS BETWEEN RAFTERS & BEAMS

POST CONNECTION DETAILS



STANDARD DETAIL FOR CARPORTS UP TO 40 M²

WAIKATO DISTRICT COUNCIL BUILDING DIVISION

Amended plan for people approved

DATE 15.11.96

RESTRICTED TO BUILDINGS FOR DOMESTIC USE ONLY

SCALE: NTS

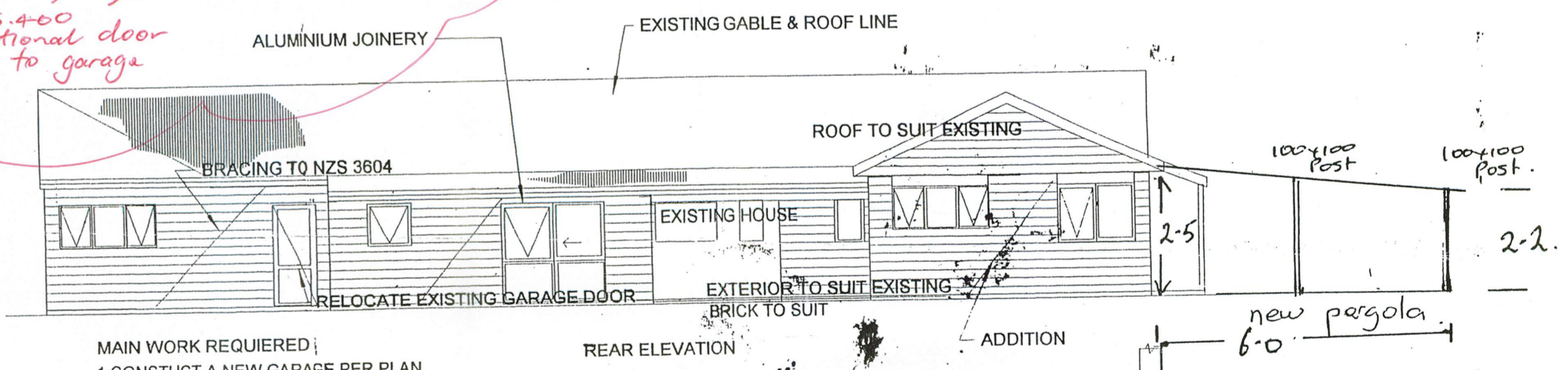
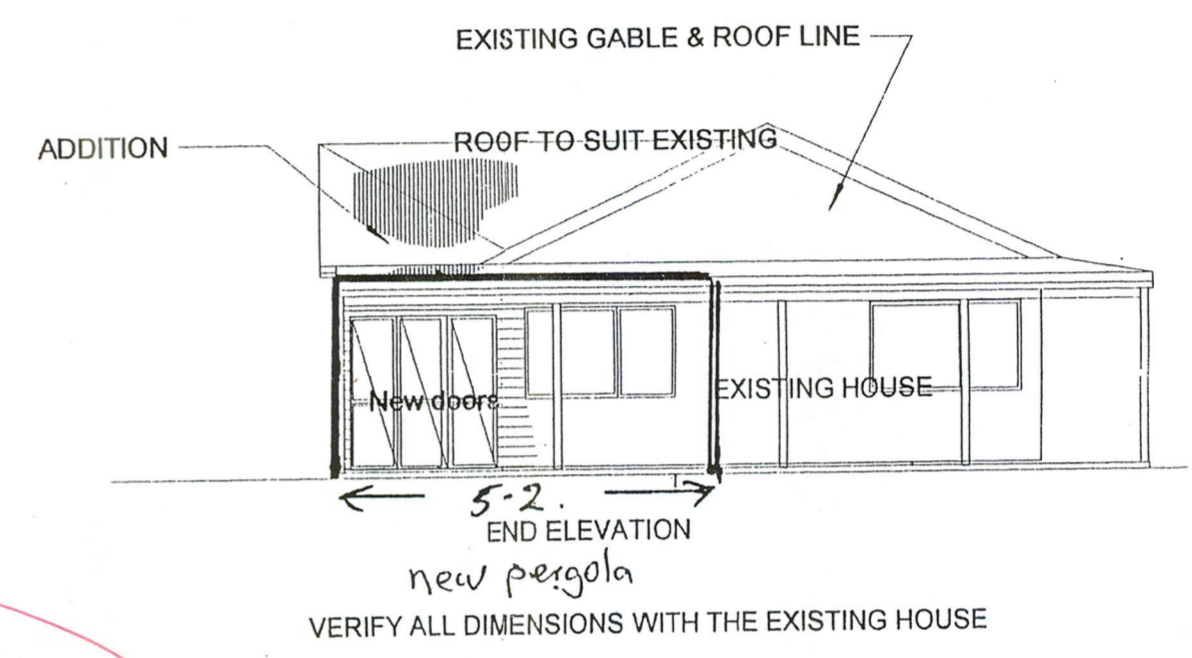
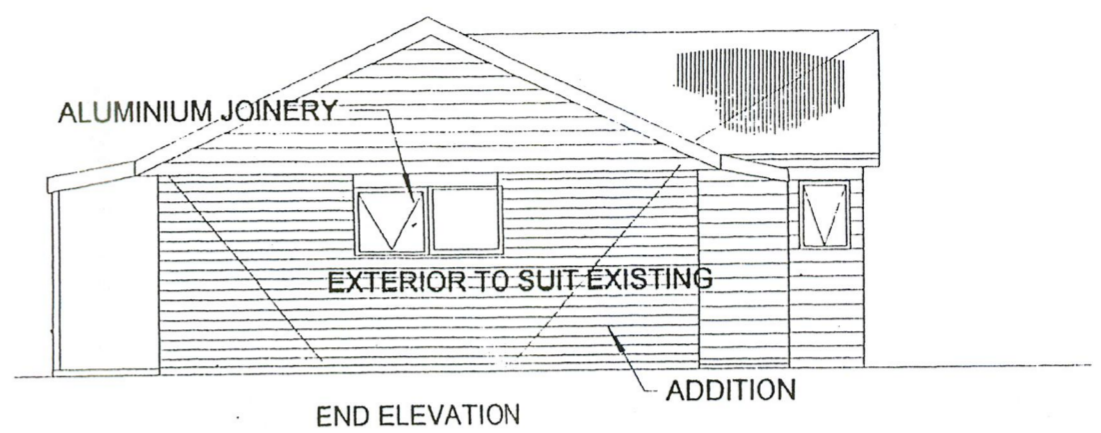
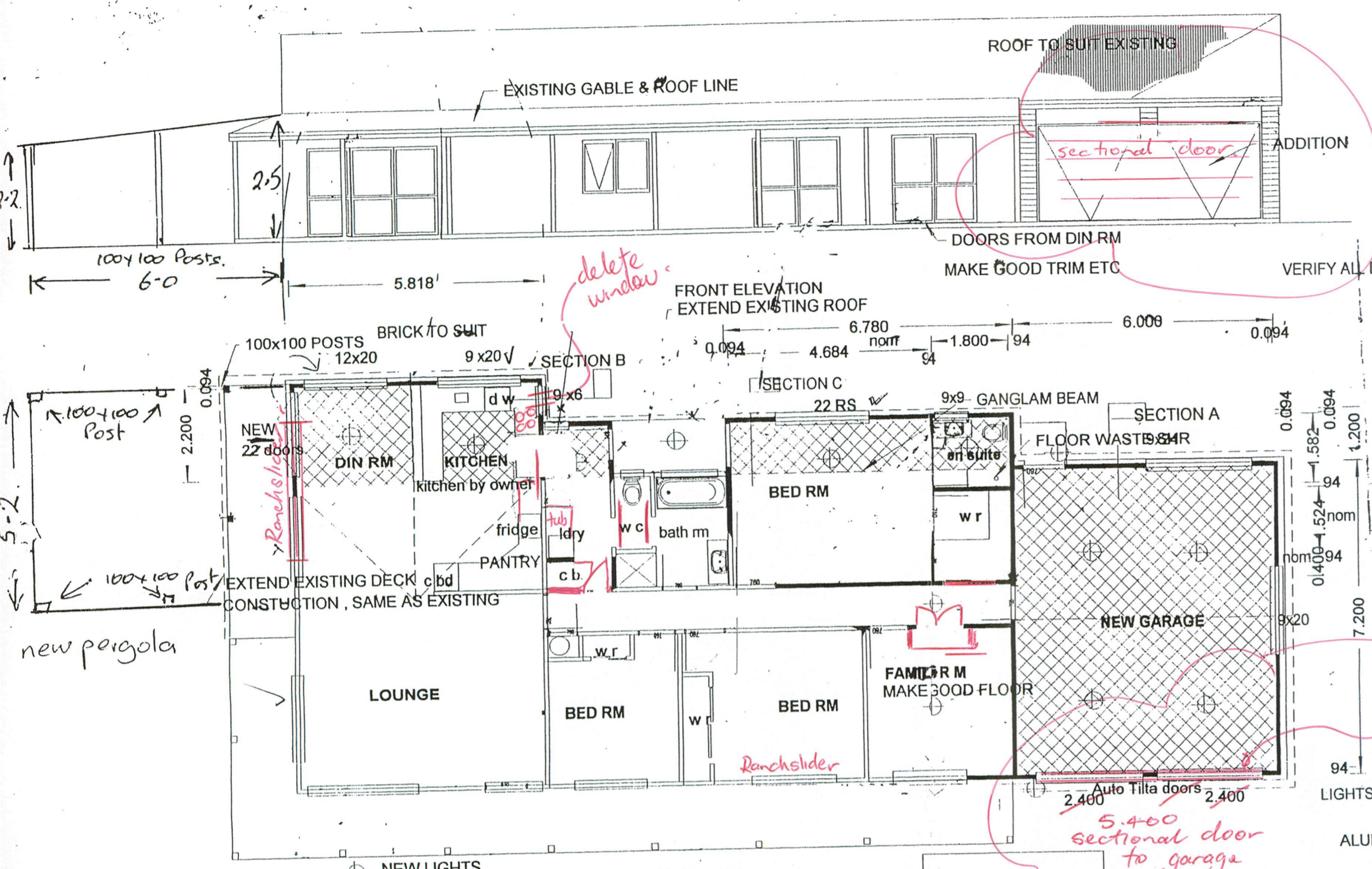
STD/B020



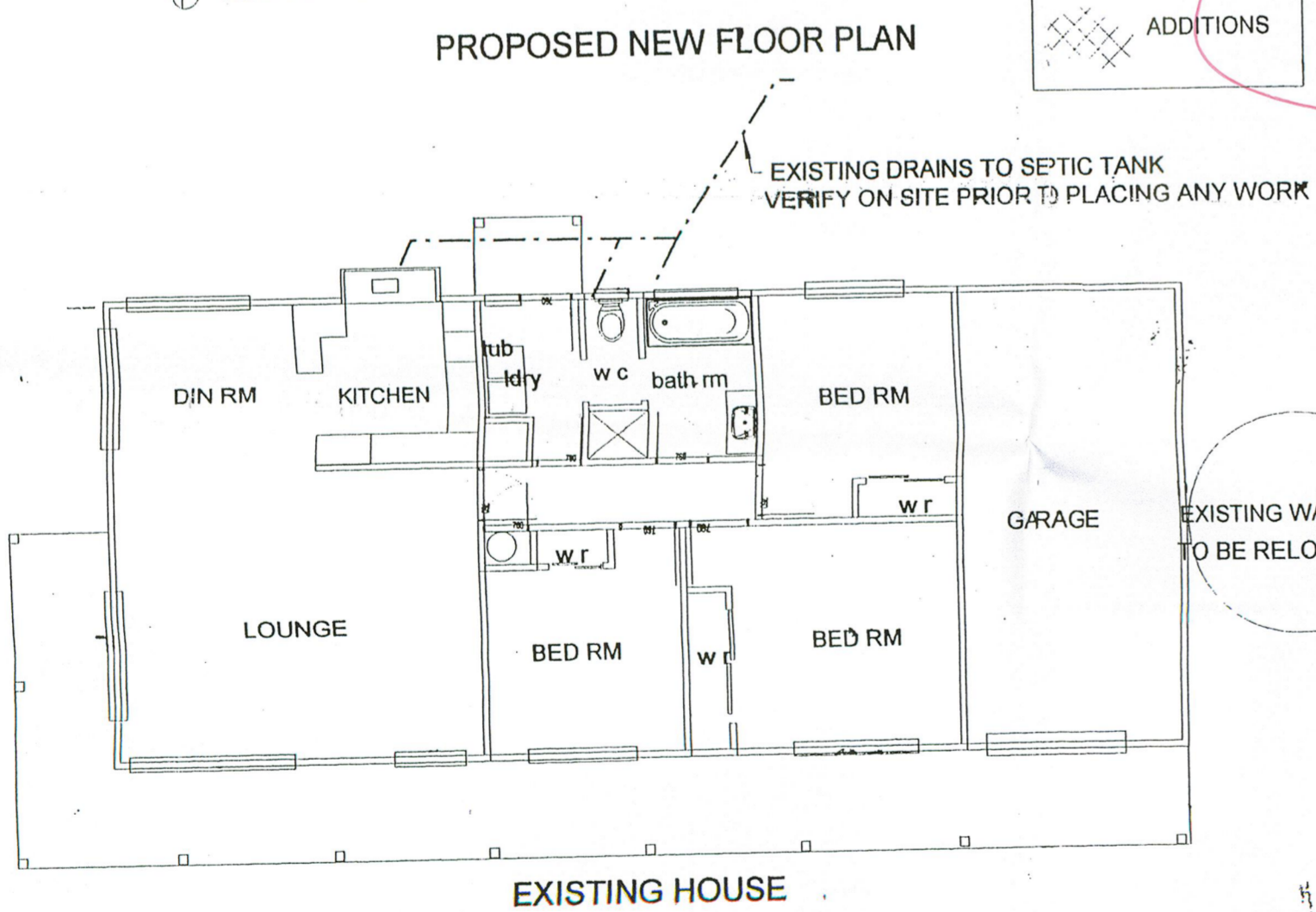
Waikato District Council
Approved 89225
Building Consent Number.....

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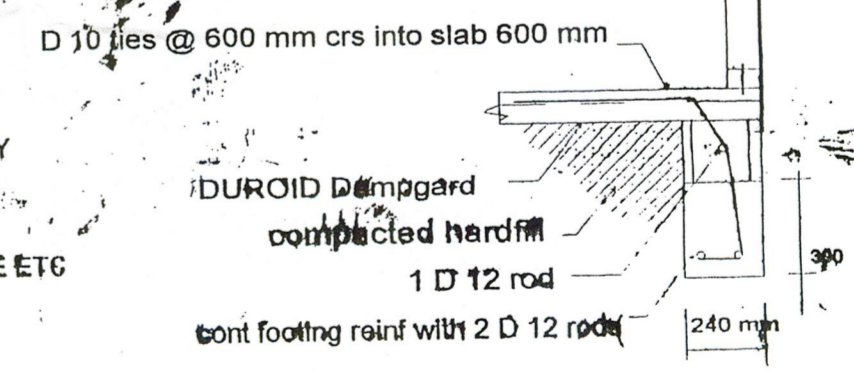
Date Received By
27 SEP 2005
Environmental Services



* as built detail - 27.09.05 Jf.



- MAIN WORK REQUIRED:
- 1 CONSTRUCT A NEW GARAGE PER PLAN
 - 2 EXTEND THE EXISTING DIN RM & KITCHEN 2.200
 - 3 REMOVE THE EXISTING KITCHEN & FIT NEW KITCHEN PER OWNER
 - 4 EXTEND THE EXISTING LDY & MOVE TUB ETC PER OWNER
 - 5 EXTEND THE EXISTING DECK ROOF TO COVER THE NEW JOINERY
 - 6 MAKE GOOD ALL THE INTERIOR WALLS PER PLAN CHANGES
 - 7 FIT NEW EXTERIOR JOINERY AS REQUIRED
 - 8 EXTEND THE EXISTING GARAGE & BED RM TO FORM THE ENSUITE ETC



ALL WORK TO COMPLY WITH THE 1991 BUILDING ACT
ALL DIMENSION FOR THE SITE AS APPROVED BY COUNCIL
ALL WORK TO COMPLY WITH NZS 3604

T.N. SHAW DESIGN
DATE: 9/97
SCALE: PH & FAX 849 8619 MOB 021 713 442
PLANS OWNED BY T.N. SHAW

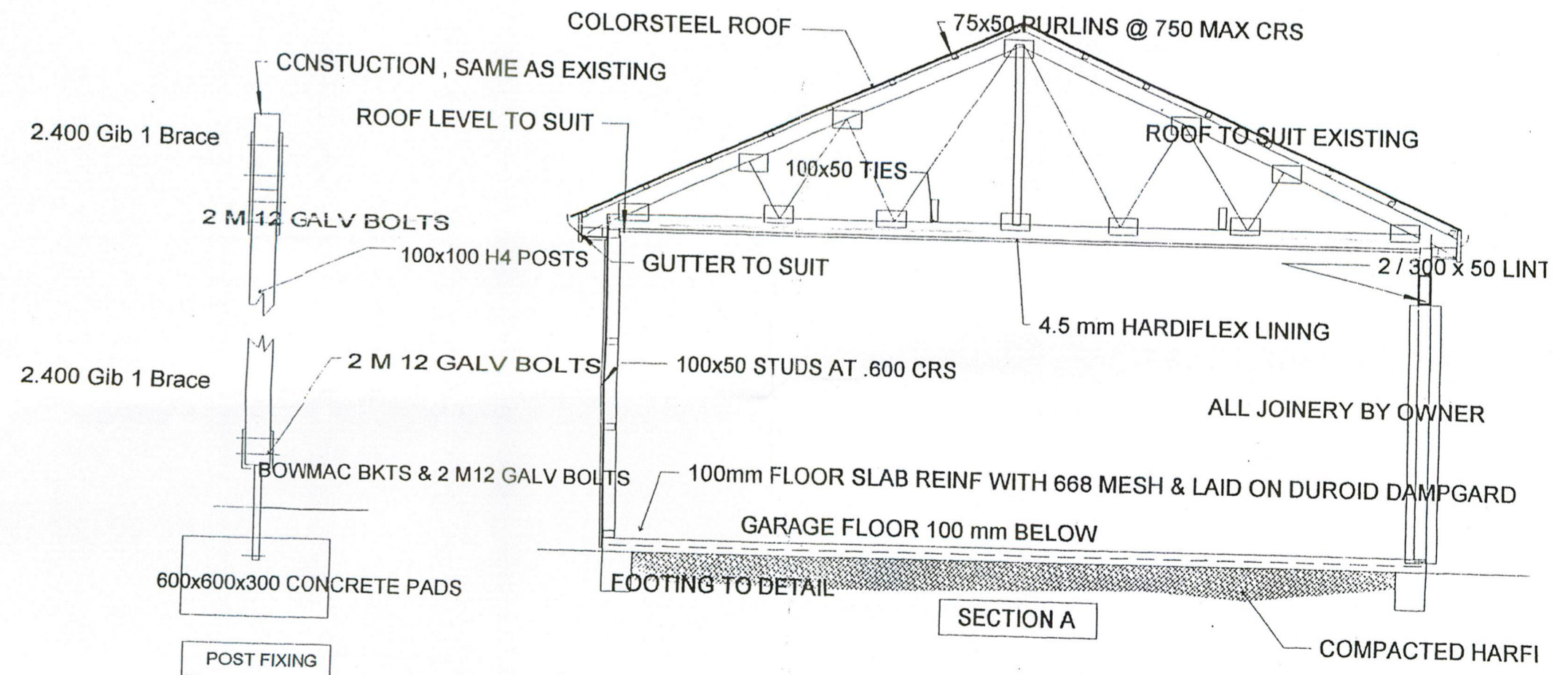
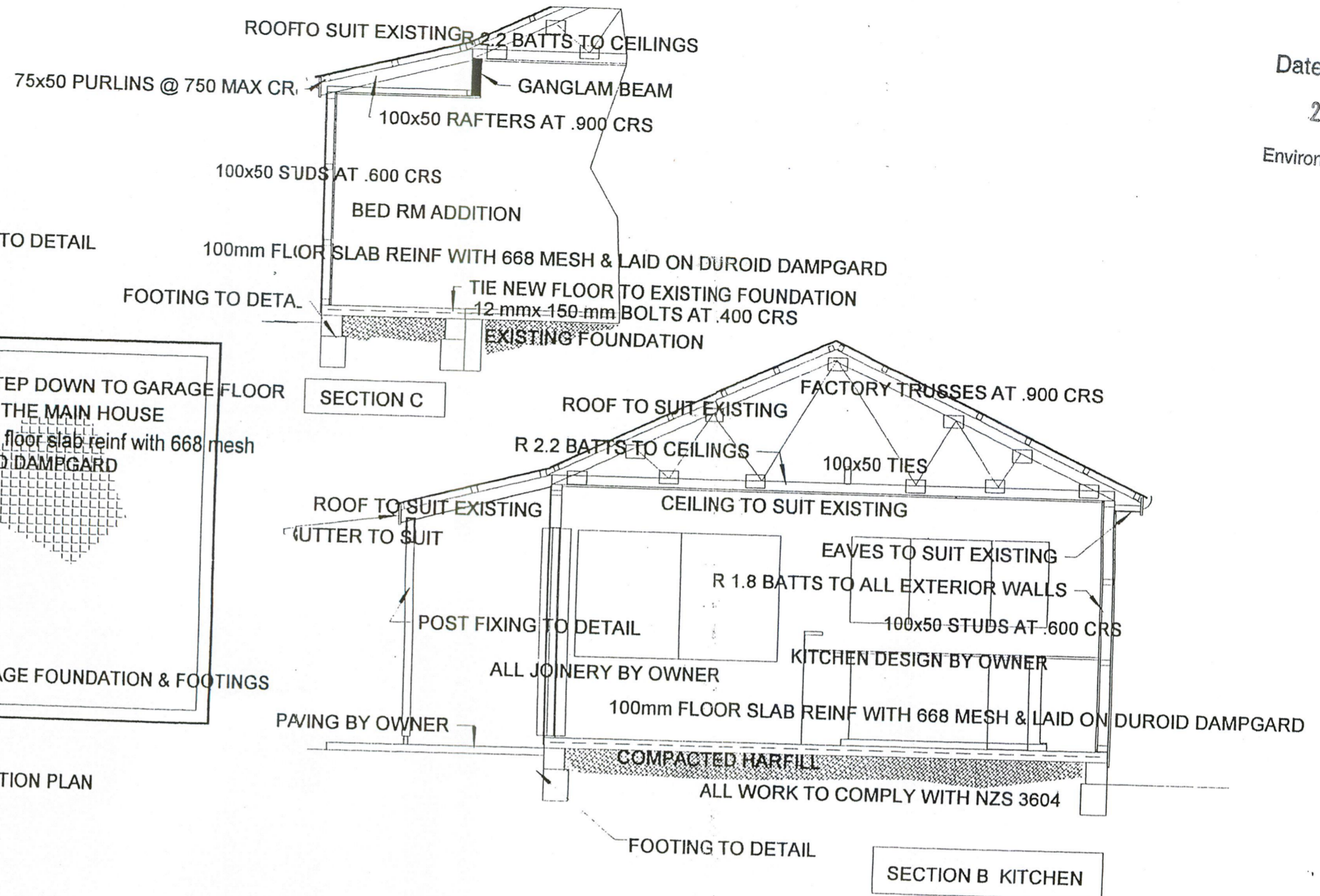
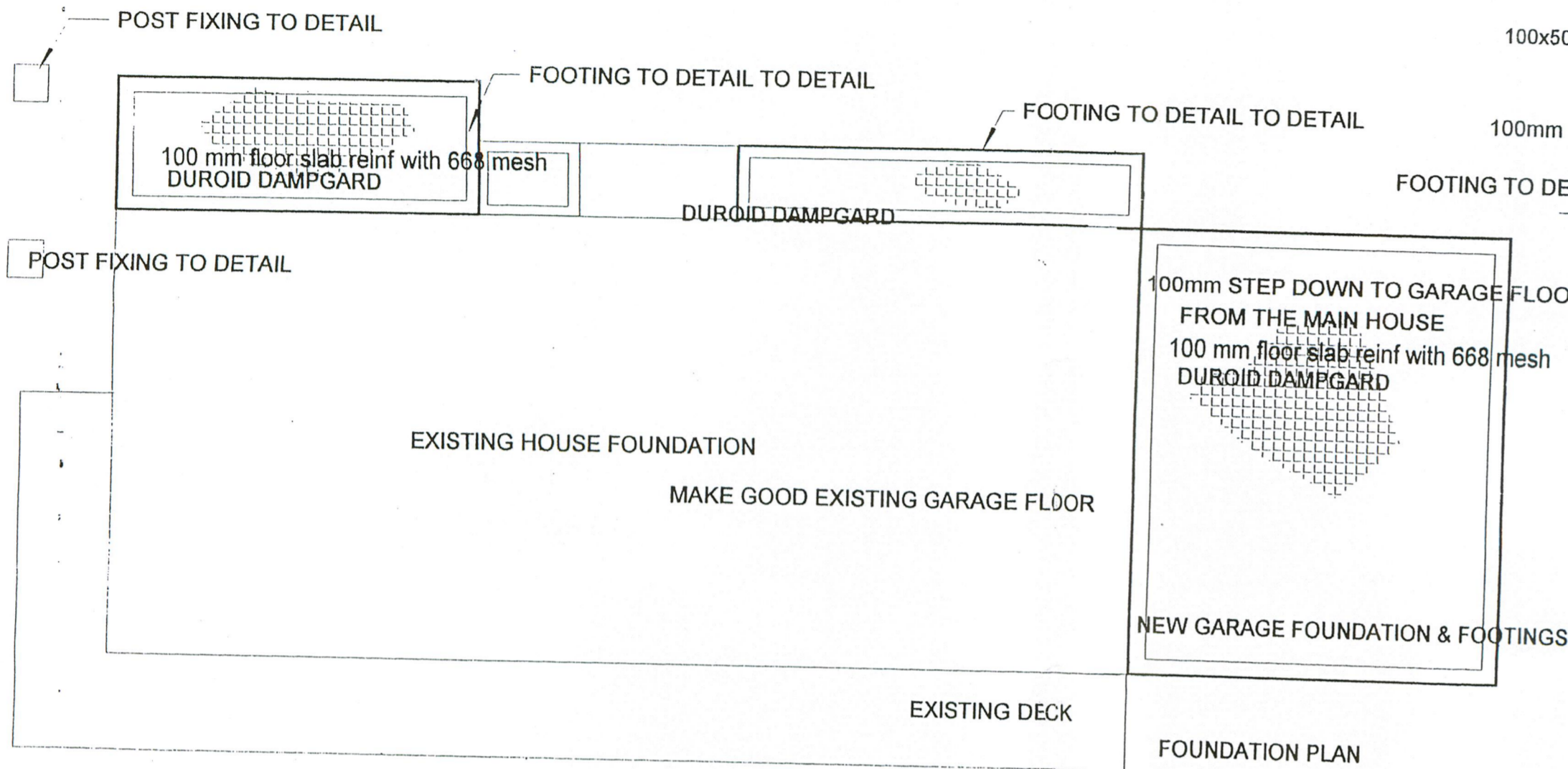
PROPOSED ALTERATIONS FOR T.D & A. JONES AT 644 BRUNWOOD ROAD TAMAHERE.



Waikato District Council
Approved
Building Consent Number 89225

COPY

Date Received By
27 SEP 2005
Environmental Services



BRACING PLAN

PROPOSED ALTERATIONS FOR T.D & A . JONES AT 644 BRUNWOOD ROAD TAMAHERE.

ALL WORK TO COMPLY WITH THE 1991 BUILDING ACT

ALL DIMENSION FOR THE SITE AS APPROVED BY COUNCIL

ALL WORK TO COMPLY WITH NZS 3604

T.N. SHAW DESIGN

DATE: 9/97

SCALE: PH & FAX 839 6619 MOBIL 025 703 442

PLANS OWNED BY T.N. SHAW



**Waikato District
COUNCIL**

BUILDING CONSENT NO. ABA 95530

Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
Name: JONES, ANNIE Mailing Address: C/- KERRY WILLETTS, 105 TAPLIN RD, R D 3, HAMILTON 2021	All <input type="checkbox"/> Stage No of an intended stages
PROJECT LOCATION	
Street Address: 644 BRUNTWOOD ROAD, TAMAHERE	New or Relocated Building <input checked="" type="checkbox"/> Alteration/Addition <input type="checkbox"/> Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 1008732 Valuation Roll No: 04443 49200 Legal Description: LOT 4 DPS 14156 BLK VII HAMILTON SD	Intended Use(s) in detail: IMPLEMENT SHED Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/> Estimated Value: \$ 8000
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ PAID ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council: Name: <i>J. Smith</i> ENVIRONMENTAL ADMINISTRATION Date: 12/06/2002

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 1 pages headed "Conditions of Building Consent No ABA 95530"

WAIKATO DISTRICT COUNCIL
Conditions in respect of the Building Act 1991
Section 34(4), Building Act 1991

Conditions of Building ConsentNo: ABA 95530

Page: 1

-
- 1) Can you please ensure that 24 hours notice is given prior to requiring the following inspections:
 - a) Foundation (prior to pouring concrete)
 - b) Final inspection to be called for
 - c) Owner/builder to locate boundary pegs prior to Council carrying out a foundation inspection.
(The owner or builder shall be on site at the time of inspection)

 - 2) Soils may be soft in this area.

Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.

 - 3) Stormwater shall be disposed of in an approved manner.

 - 4) Lapse and cancellation of building consent.
This building consent shall lapse and be of no effect if:
 - a) The building work concerned has not been commenced within 6 calendar months after the date of issue of the consent; or
 - b) Reasonable progress on the building work has not been made within 12 calendar months after work has commenced.The Council can exercise its discretion in either case.

 - 5) See resource consent number 1282 dated 11 June 2002 for additional conditions.

Date: 12/ 6/02

Signed:



WAIKATO DISTRICT COUNCIL



Waikato District
COUNCIL
Your Community Partner

Your Ref:

In reply please quote:
1008732; RMA1282

If calling, please ask for:
Anna Livingston

11 June 2002

Kerry Willetts
Smart Barns
105 Taplin Road
RD 3
HAMILTON

Dear Mr Willetts

APPLICATION FOR RESOURCE CONSENT: T & A JONES – 644 BRUNTWOOD ROAD, TAMAHERE

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the Environmental Services Group Manager.

"Pursuant to sections 34(4), 105(1)(b) and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants land use consent for a discretionary activity to erect a farm implement shed as an accessory building that shall encroach 15 metres into the 25 metre side yard requirement on the eastern boundary under the provisions of Plan Change Seven, on a site legally described as Lot 4 DPS 14156, being the land comprised within Certificate of Title 12B/530, South Auckland Land Registry, subject to the following conditions:

- 1 The development shall be in accordance with the plans submitted by the applicant for application number 1282 and received by Council on 28th May 2002. An approved copy of the plan is attached.
- 2 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Council when monitoring the conditions of this consent.

The reasons for this decision are:

- a Written approval has been obtained from every person whom Council is satisfied may be adversely affected by the granting of the consent.
- b The side yard encroachments will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties.
- c The Council has exercised its discretion to grant consent to this application with the weight being given to the provisions of the Waikato District Plan and to the provisions of Plan Change 7."

A **Lapsing of Consents**

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
or
- (b) An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

B **Compliance with Conditions**

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C **Changes to Conditions**

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

D **Review of Decision on non-notified application**

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.

E **Right of Appeal**

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:-

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:-

The Registrar
Environment Court
P O Box 5027
Wellington

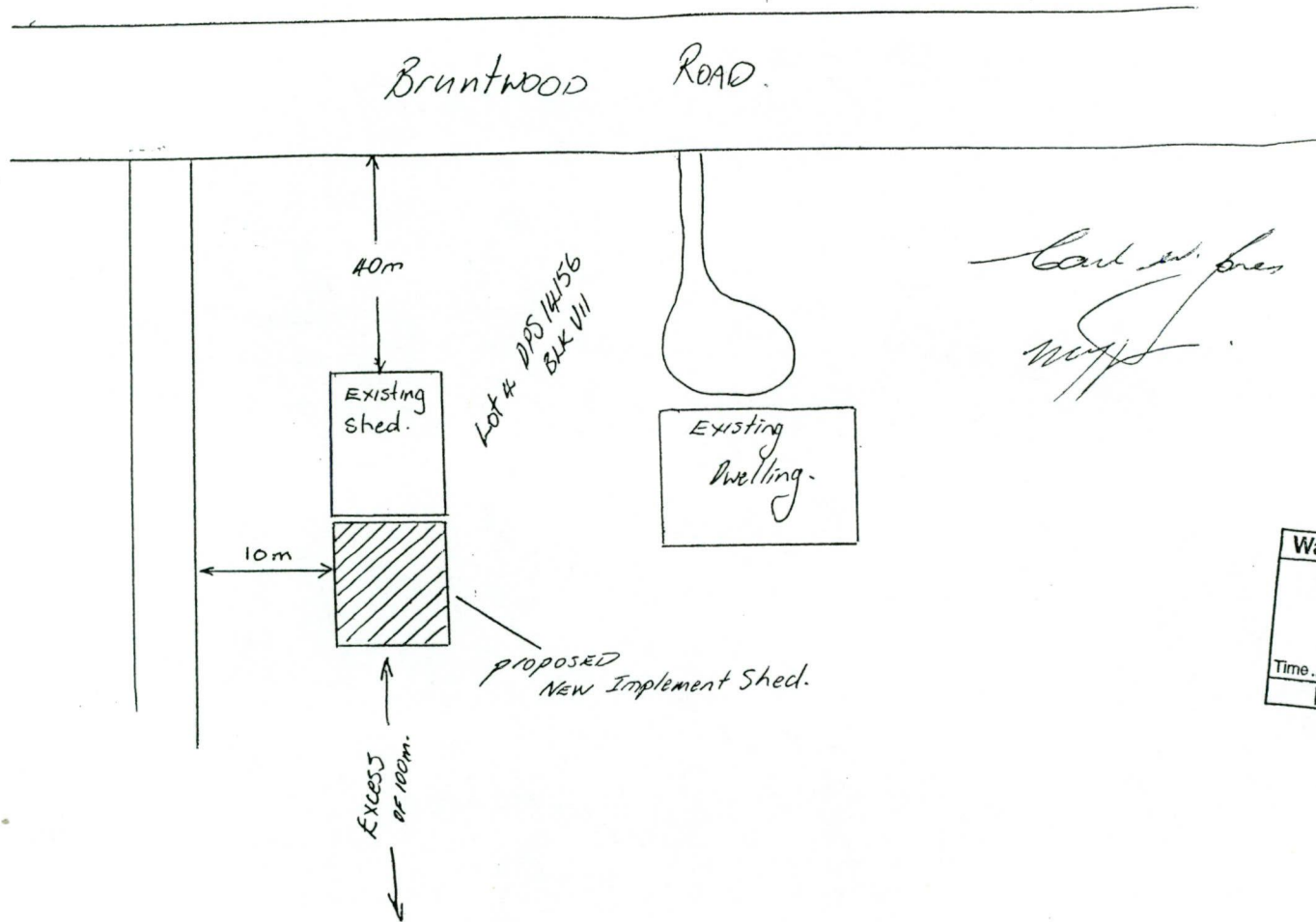
- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully



Shelley Wood
ENVIRONMENTAL ADMINISTRATION

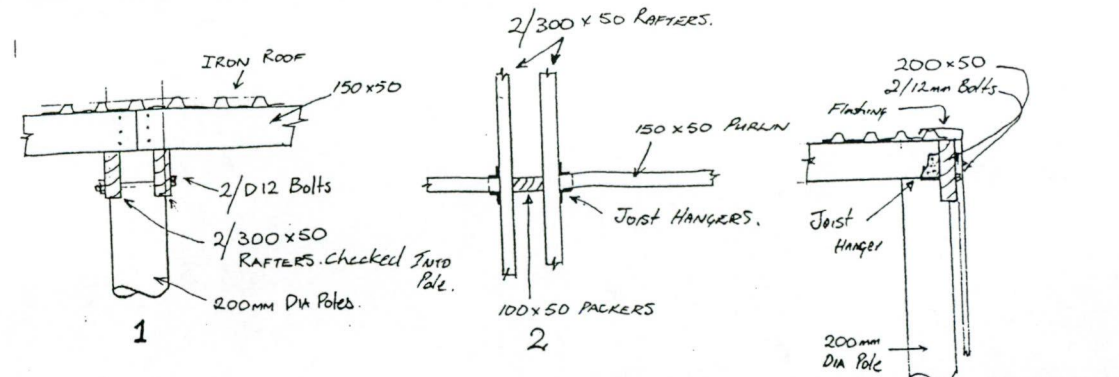
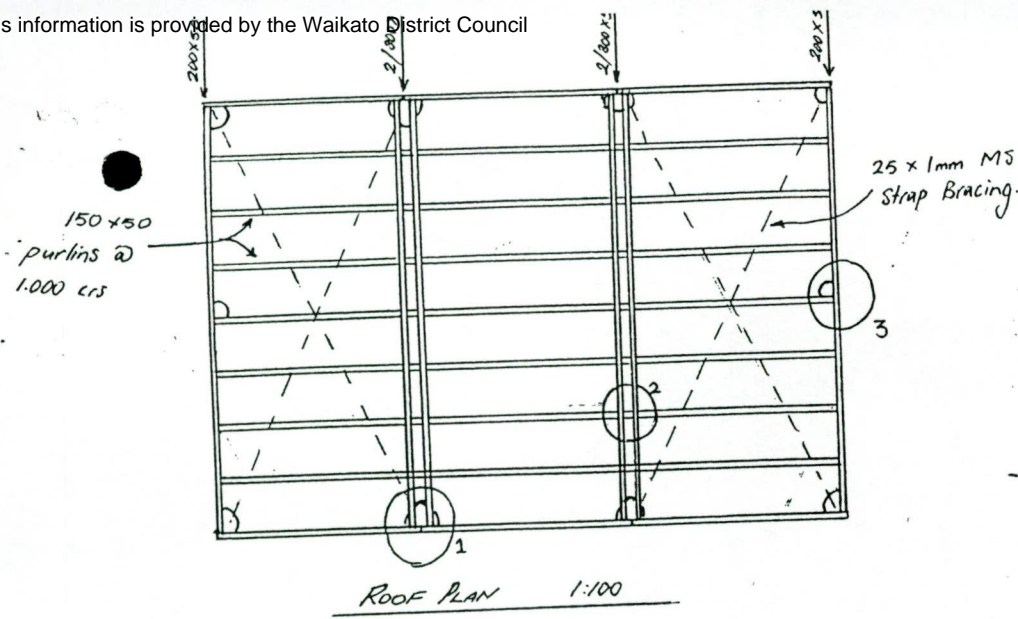


Waikato District Council
 28 MAY 2002
 Time Initials
 NGARUAWAHIA

Waikato District Council
 16 MAY 2002
 Time Initials
 NGARUAWAHIA

SITE PLAN for Proposed new
 Implement shed for Thomas & Annie Jones
 644 Bruntwood Road.

APPROVED PLAN

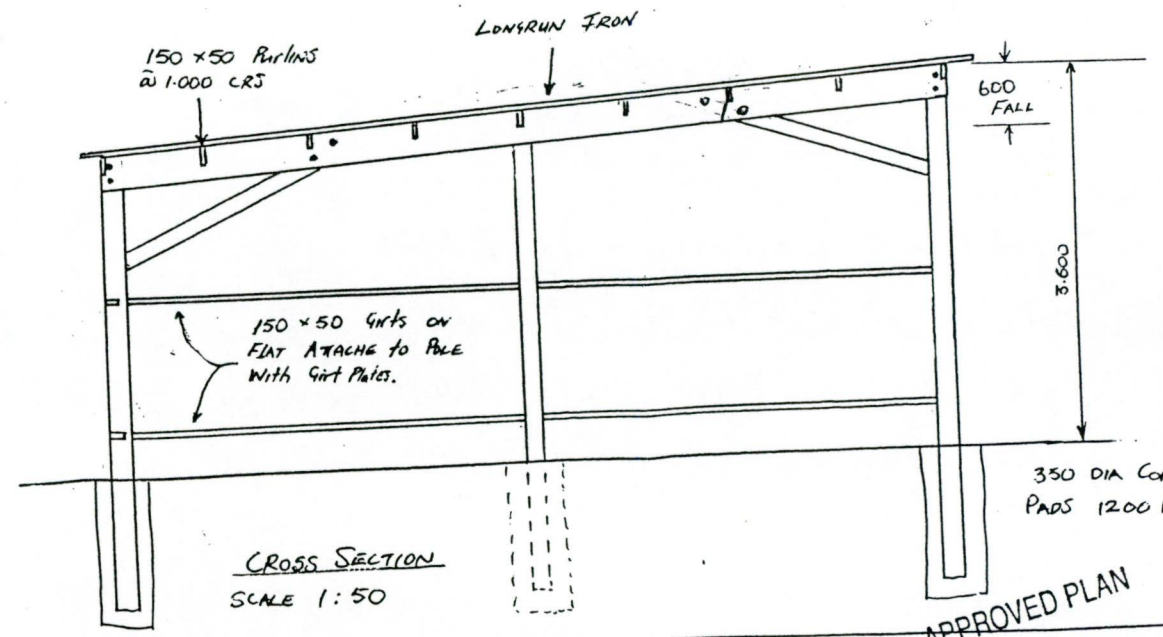
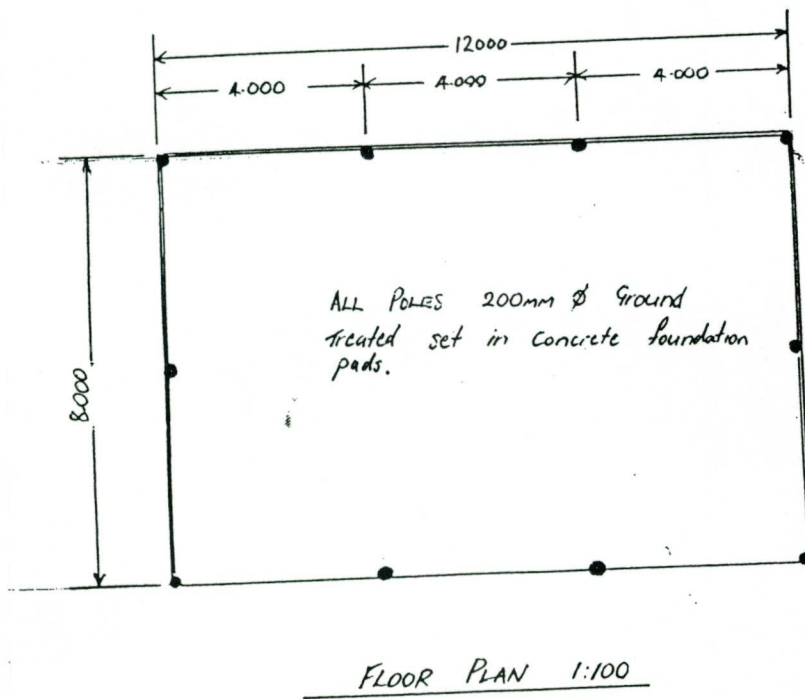


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Waikato District Council
16 MAY 2002
Time.....Initials.....
NGARUAWAHIA

Waikato District Council
28 MAY 2002
Time.....Initials.....
NGARUAWAHIA

2/300x50 with staggered Joints & 100x100 brace Bolted back to pole



APPROVED PLAN

SMART BARNES

Ph 025 303 230
Fax 07/829 5855

PROPOSED IMPLEMENT SHED FOR: Doug & Annie Jones
644 Brunwood Road
Hamilton



MiTek New Zealand Ltd.

Correspondence from: **CHRISTCHURCH**
20 Kotzikas Place, Sockburn
PO Box 8387, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

AUCKLAND
5 Zelianian Drive, East Tamaki
PO Box 58-014, Greenmount
Phone: (09) 274 7109
Fax: (09) 274 7100

www.mitekznz.co.nz

HOME OF GANG-NAIL® BUILDING SYSTEMS

PRODUCER STATEMENT - DESIGN MiTek New Zealand Ltd.

MATAMATA PIKAO DISTRICT COUNCIL
THESE DOCUMENTS HAVE BEEN REVIEWED AND
APPROVED IN ACCORDANCE WITH THE BUILDING
ACT 2004 AND THE BUILDING REGULATIONS 1992.
BUILDING CONSENT NO. 20342 26/3/02
ALL THESE DOCUMENTS MUST BE RETAINED ON
THE SITE OF THE WORKS DURING CONSTRUCTION

CH9000
MiTek DESIGN

BUILDING ADVISORY OFFICER

The building design CH9000 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Waikato District Council	
16 MAY 2002	
Time	Initials
NGARUAWAHIA	

INSPECTIONS REQUIRED DURING CONSTRUCTION	
<input checked="" type="checkbox"/> Footing	<input type="checkbox"/> Pre Line (Plumbing)
<input type="checkbox"/> Bond Beam	<input type="checkbox"/> Insulation
<input type="checkbox"/> Floor	<input type="checkbox"/> Brick Veneer Cavity
<input type="checkbox"/> Drainage	<input type="checkbox"/> Texture Exterior Cladding
<input type="checkbox"/> Pre Line (Building)	<input checked="" type="checkbox"/> Completion
24 HOURS NOTICE BEFORE REQUESTING INSPECTION	

Stephen Anthony COLL

A.E. IPENZ, MNZIOB

for MiTek New Zealand Ltd
20 Kotzikas Place
CHRISTCHURCH
NEW ZEALAND

Date: 28 August, 2001

* When selecting girt sizes use the load details for wind only.

SELECTION CHART

* SED = Small End Diameter
* ED = Embedment Depth

LOAD DETAILS	POLE OR BAY SPACING	PURLIN SIZE MAX. CRS 1000mm	GIRT SIZE * MAX. CRS 1200mm	RAFTER SIZE			POLE SIZE & EMBEDMENT DEPTH			
				RAFTER SPAN			MAX POLE HEIGHT			
				3000	4500	6000	3600	4200	4800	6000
HIGH WIND LOAD Cpi 0.7, Cpe 0.8 SNOW LOAD 0.75kPa (design snow load)	3600	150 x 50	150 x 50	2/200 x 50	2/250 x 50	2/300 x 50	150 SED 1000 ED	175 SED 1000 ED	175 SED 1000 ED	200 SED 1800 ED
	4200	0.50kPa Snow 150x50	150 x 50	2/200 x 50	2/250 x 50	2/300 x 50	150 SED 1000 ED	175 SED 1000 ED	175 SED 1000 ED	225 SED 1800 ED
	4500	200 x 50								
	4800	200 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/200 x 50	0.50kPa Snow 2/250x50	0.50kPa Snow 2/300x50	150 SED 1000 ED	175 SED 1000 ED	200 SED 1200 ED	225 SED 1800 ED
	5400	0.50kPa Snow 200x50 0.75kPa Snow 250x50	150x50 (intermediate pole/ column required, see sheet 10.4)	0.50kPa Snow 2/200x50	2/300 x 50	2/300 x 50	175 SED 1000 ED	175 SED 1000 ED	200 SED 1200 ED	250 SED 1800 ED
				0.75kPa Snow 2/250x50						
6000	250 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/250 x 50	2/300 x 50	2/300 x 50 (2P included as per sheet 10.8)	175 SED 1000 ED	200 SED 1200 ED	225 SED 1200 ED	250 SED 1800 ED	
VERY HIGH WIND LOAD Cpi 0.7, Cpe 0.8 SNOW LOAD 1.0kPa (design snow load)	3600	150 x 50	150 x 50	2/200 x 50	2/250 x 50 (1P included as per sheet 10.8)	2/250 x 50 (2P included as per sheet 10.8)	150 SED 1200 ED	175 SED 1200 ED	200 SED 1200 ED	225 SED 1800 ED
	4500	200 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/250 x 50	2/250 x 50 (1P included as per sheet 10.8)	2/250 x 50 (2P included as per sheet 10.8)	175 SED 1200 ED	200 SED 1200 ED	225 SED 1200 ED	250 SED 1800 ED
	4800	200 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/250 x 50	2/250 x 50 (1P included as per sheet 10.8)	2/250 x 50 (2P included as per sheet 10.8)	175 SED 1200 ED	200 SED 1200 ED	225 SED 1200 ED	250 SED 1800 ED
	5400	250 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/300 x 50	2/300 x 50 (1P included as per sheet 10.8)	2/300 x 50 (2P included as per sheet 10.8)	175 SED 1200 ED	225 SED 1200 ED	225 SED 1200 ED	275 SED 1800 ED
	6000	300 x 50	150x50 (intermediate pole/ column required, see sheet 10.4)	2/300 x 50	2/300 x 50 (1P included as per sheet 10.8)	2/300 x 50 (2P included as per sheet 10.8)	200 SED 1200 ED	225 SED 1200 ED	250 SED 1200 ED	275 SED 1800 ED

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 Fax: (03) 348 0314

WE OF GANG-NAIL® BUILDING SYSTEMS

Job Title: DESIGNER SERIES

Job Name: RAFTER LEAN-TO FARM BUILDINGS

Job Location:

Sheet Title: SELECTION CHART

Date: 8/2001

Scale: NTS

Designed: SAC

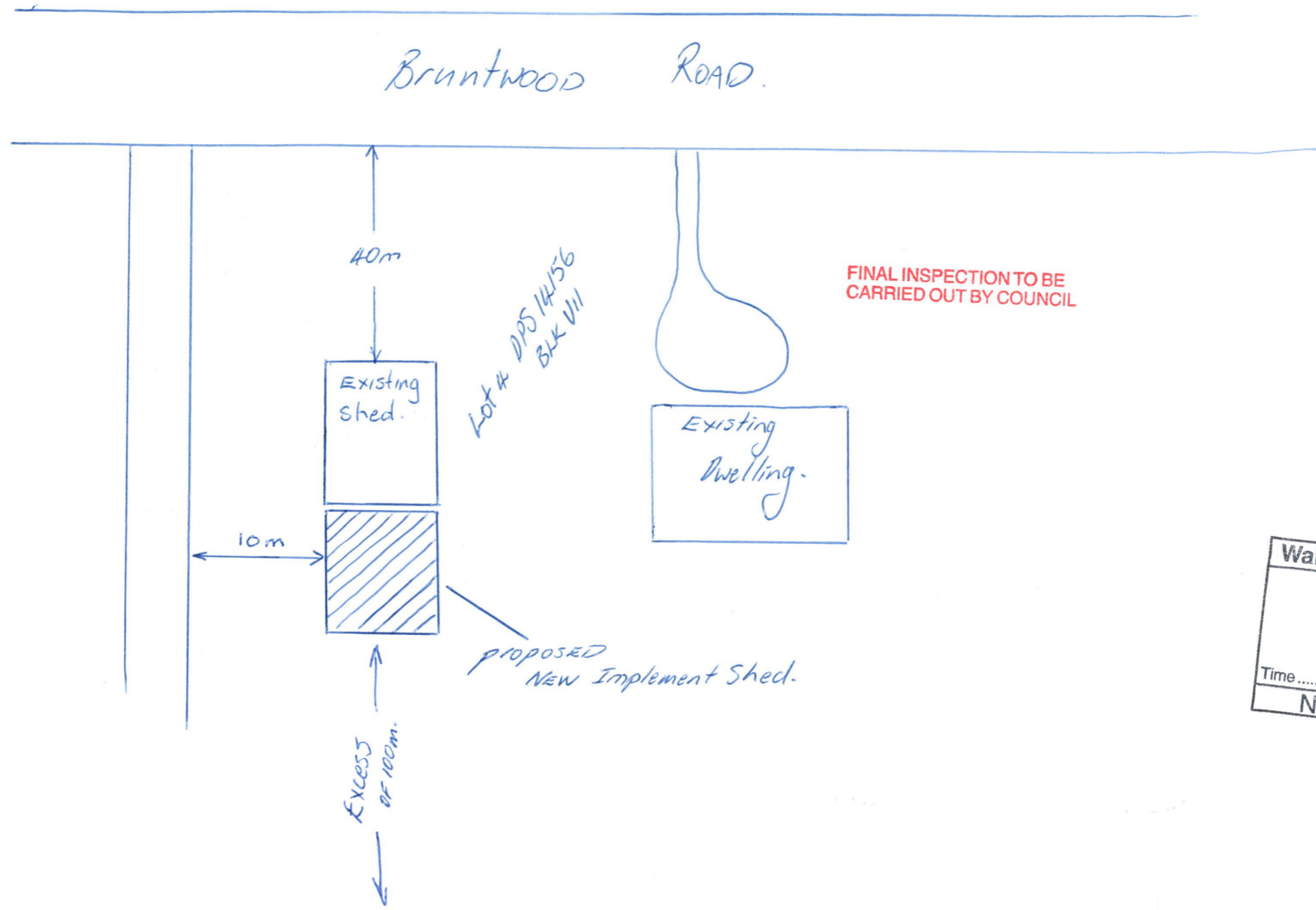
Drawn: AJW

Checked: SAC

Certified:

Drawing Number: CH9000

Sheet:



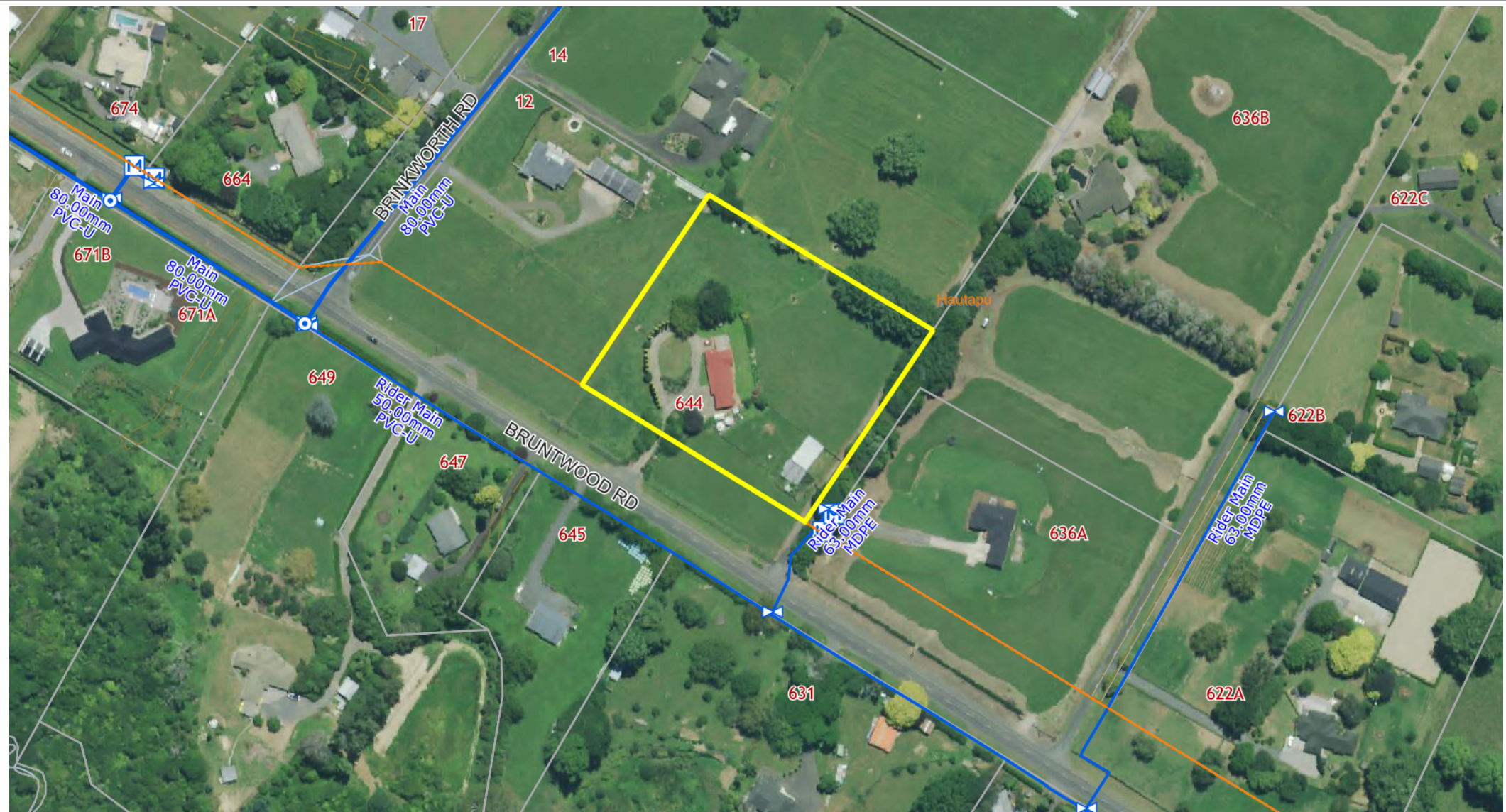
Waikato District Council

16 MAY 2002

Time..... Initials.....

NGARUAWAHIA

SITE PLAN for Proposed new
Implement shed for Thomas & Annie Jones
644 Bruntwood ROAD.



A4 Service Plan

1008732 - 644 Bruntwood Road TAMAHERE - LOT 2 DP 317883 BLK VII HAMILTON SD

Scale: 1:2257
 Print Date: 09/12/2025
 Projection: NZ Transverse Mercator
 Datum: NZ Geodetic Datum 2000

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Storm Water Point		Waste Water Point		Water Supply Point	
○ Fitting	● Other	○ Fitting	● Other	◇ Backflow	● Other
○ Manhole	□ Sump	○ Manhole	⊗ Valve	○ Fitting/Node	⊗ Valve
~ Pipe	~ Drain	~ Gravity Main	~ Other	~ Service	~ Service
		~ Rising Main			
				⊕ Hydrant	~ Main
				~ Raw Water Main	~ Rider Main
				⊕ Meter	~ Rising Main