

APPLICATION FOR BUILDING PERMIT

Nº 9871

WANGANUI,

24 - 11 - 1965

TO THE CITY ENGINEER,

I hereby apply for permission to erect dwelling with carport at 36 Broadhead Ave for R. J. Henderson of _____ according to locality plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate. 1312/760/2

Particulars of Land: Lot No. 3 on Town Section _____ D.P. 22746

Length of Boundaries _____ Area _____

Particulars of Building—Foundations Concrete

Walls Weatherboarding Roof g. iron

Area of ground floor _____ sq. ft. Area of outbuildings _____ sq. ft.

Estimated value—

Building £ 2930 00

Plumbing and Drainage £ 270 00

Name of Plumber R. moase Total 3200 00

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) erect dwelling with carport.

Nature of ground on which building is to be placed and of the subjacent strata _____

Address Castle 7 Feet 19 Broadhead Ave. Builder or Owner _____

PARTICULARS OF WORK

Value £	Building Fee	£	12	:	0	:	0
	<u>R + Drainage</u> Water Connection	£	3	:	0	:	0
	Drain Connection	£	6	:	10	:	0
	Inspection Fee	£	25	:	0	:	0
	Crossing Fee	£	6	:	10	:	0
	Footpath Damage Deposit	£	5	:	0	:	0
	TOTAL	£	58	:	0	:	0

WANGANUI CITY COUNCIL
APPROVED

Received Fee _____

Receipt No. 7316 IR 8537

R. J. Henderson

1312 CRAIGWIN DEVELOPMENT LTD.,
760 P.O. BOX 172,
2 WANGANUI.

LOT 3 D.P. 22746.
BROADHEAD AVE.

(2/6)

475

475

S

APPROVED

IT'S...

AS BUILT WATER CONNECTION DIAGRAM

Permit No. B045243

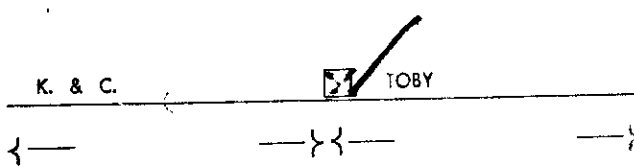
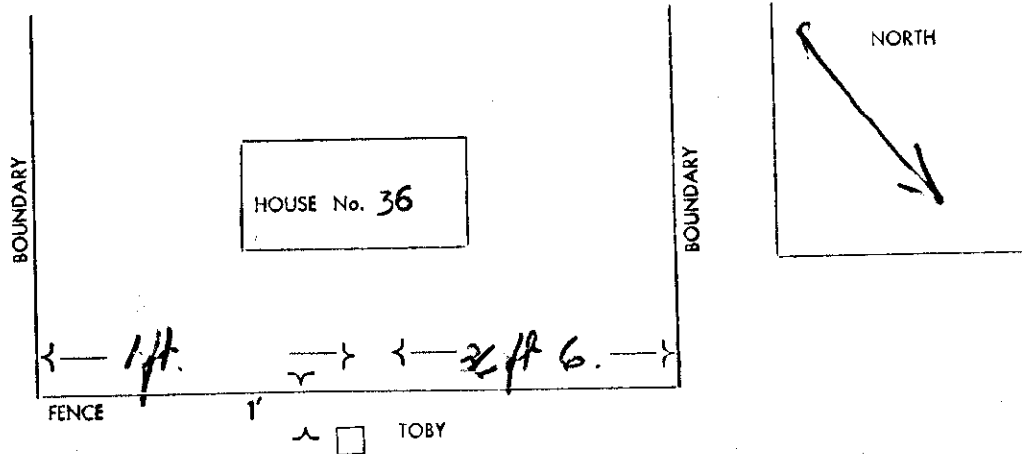
Permit Date 12/1/66

Lot No. 3

D.P. No. 22746

Name Owner P. J. HENDERSON

Name Builder CASTLE & LEAT



BROADHEAD AVE.

Street

To

To Totara str.

Weeks Field Ltd.

Castle & Leet

**CASTLE & LEET
BUILDING CONTRACTORS
19 BROADHEAD AVE., WANGANUI
PHONES 35-401, 36-532**

PRELIMINARY AND GENERAL

SCOPE: This specification refers to the work to be done and the materials to be used in the construction and completion of a house to be built on the Owner's land.

NOTICE, FEES ETC.: The Builder shall obtain and pay for the Building permit and any charges for permanent connection to water supply and sewerage system.

SUBSTITUTION OF MATERIALS: In the event of any of the materials mentioned in the plans and specifications being unavailable when they may be required by the Builder, the Builder shall with the approval of the Owner be entitled to supply a substitute material and the Owner shall not unreasonably withhold his approval so as to cause unnecessary or unreasonable delay in completion of the house. Any variation in price caused by the use of such substitute material shall be allowed or paid as an extra as the case may be.

SITE: This contract is based upon the site for building being within 12 inches of level and having suitable access for loaded trucks and giving good soakage. Owner is responsible to clear site of all rubbish and vegetation.

INSURANCE: The Builder shall insure the building against fire under a Builders Risk Fire Insurance Policy to the full value of the building for the period of construction and up to date on which the house is handed over to the Owner.

The responsibility of the Builder for the Builders Risk Insurance shall cease on the date on which the house is handed over by the Builder to the Owner.

CONCRETOR

PILES: Shall be 8" x 8" precast, set on 12" x 12" x 4" concrete pad. Piles to have wire holes or wire cast into piles to provide fixing for sleeper plates.

WALLS: Porch and step sides and chimney bases to be built up in continuous concrete walls from 6" below ground level.

HEIGHTS: Sleeper plates shall generally be 12" or more above ground level, and in no case shall be less than ^{12"} above ground level.

CHIMNEY: Shall be Firth model 1 DF/1B or similar. Fire back and hobs to be built of fire brick on site.

PLASTERER

The exterior face of steps, porch slab, upstands and chimney shall be plastered to an even finish.

CARPENTER AND JOINER

TIMBER: "Treated" shall mean "Treated by a process approved by the Timber Preservation Authority".

Subfloor: 5" x 2" joists at 18" centres on 4" x 3" stringers, treated radiata pine.

Walls: Wall framing timber is to be machine gauged on four sides. Exterior walls, interior load-bearing walls and interior walls over 10ft long to be 4" x 2". Other interior walls to be 3" x 2". All walls to have studs at 18" centres and two rows of noggs. Braces to be 6" x 1" cut in flush in 4" x 2" walls, 3" x 2" block bracing in 3" x 2" walls. Window openings between 3'6" and 8'6" wide shall be spanned by 6" x 4" beams supported on 4" x 3" trimmer studs treated radiata pine or O.B. native.

Roof: Ceiling joists 4" x 2" at 18" centres.

Ceiling runners: One 6" x 2" runner for rooms between 7'6" and 12' wide. Over 12'0", one 6" x 2" runner for each 6' of width, evenly spaced.

Rafters 4" x 2" at 3' centres. Purlins 3" x 2" at 2'6" centres. 6" x 1" collarties to each second pair of rafters. One row of 4" x 2" under-purlins to each side of roof.

Struts: 4" x 2" at 4'6" centres. Hips, ridges, and valleys 9" x 1". Eaves framing 3" x 2".

Finishing: All finishing timber dressed four sides. All external finishing timber shall be treated or heart native. Fascia 6" x 1", bargeboards 5" x 1" or 6" x 1".

DAMP COURSE: Wherever timber is bearing on concrete, lay bituminized dampcourse between timber and concrete.

EXTERIOR JOINERY: Sills to be out of 6" x 2 $\frac{1}{2}$ " Ht. Native or Treated Native. Jambs and heads out of 6" x 2" Ht. Native or Treated Native. Sashes out of Ht. Totara or Redwood. Sashes to be hung on "Whitco" type stays fixed with brass or galvanised screws. For fixed glazing $\frac{1}{2}$ " beads are supplied. Sashes to service rooms may be hung on butts.

WEATHERBOARDS: The weatherboards are to be 6" x 1" bevel backed treated native timber. Fix with not less than 1 $\frac{1}{2}$ " lap. Butt joints are to be staggered and set in thick lead and oil paint. External angles mitred and covered with galv. iron soakers.

FOUNDATIONS: External walls 5" continuous concrete wall not less than 18" above ground level and 15" above highest point if site is sloping. Reinforced with two $\frac{1}{2}$ " m.s. rods in footings, and $\frac{1}{2}$ " rod in top of wall, hooked at all joints. *Place bricks under footing 10" to space from ground before pouring.* Footings 9" x 4" excavated at least 12" in depth. Vents 12" x 9" cement, placed 2'6" from angles and thereafter at 6'0" centres. All reinforcement to be lapped 40 diameters at joints and wired.

Leave access at centre of w.c. for drain 1" x 15" up to ground level.

BRICKS: Shall be Huntly bricks, supported on base wall of 8" concrete blocks. Top course of base wall to contain poured concrete bond beam with two $\frac{1}{2}$ " m.s. rods. Base wall supported on 12" x 9" poured concrete footing in ground, footing reinforced with two $\frac{1}{2}$ " m.s. rods. Bricks shall be tied to wall framing by two No. 8 gauge wire ties to each square yard of brickwork.

EXTERIOR SHEATHING: Cover the whole of the exterior (with the exception of the gables) with cement board of approved make and fix according to the manufacturer's specifications over good quality building paper with galvanised nails and clips.

Cover the whole of the cement board with 1 $\frac{1}{2}$ " x 17g. netting lapped one mesh and doubled 6" either way at all angles.

- PLASTERER: Plaster base, walls and steps with 2 to 1 comp., to approved colour. All walls to be done with two coats, first coat to be straightening coat in 2 to 1 comp with 10% lime added, to be not less than $\frac{1}{2}$ " thick in any part. Second coat to be 2 to 1 compo of sand, $\frac{3}{4}$ " thick.
- EAVES: Line under eaves with $\frac{3}{16}$ " fibrolite.
- PORCHES: Line front porch with shadowline fibrolite, over building paper. Line rear porch with $\frac{3}{16}$ " flat fibrolite, fixed over building paper.
- GABLE ENDS: Gable end walls above top plate line to be sheathed with shadowline fibrolite.
- FLOORING: 4" x 1" or 3" x 1" treated pine or treated native. Cramp up tight with closely fitting butts well scattered. Nail with $2\frac{1}{4}$ " floor brads to each joist and punch all brads below surface of floor.
- INTERIOR LININGS: Line the walls with Gibraltar Board fixed with galv. clouts not less than 1" in length in accordance with the manufacturer's requirements. Joints to be flush stopped.
- Ceiling shall be Pinex softboard fixed to manufacturer's requirements.
- DOORS AND JAMBS: Interior doors to main rooms to be 6'6" x 2'6" flush O.B. Native, and other doors to be 6'6" x 2'2" O.B. Native. All flush doors to have one clashing strip. Jambs to be solid rebated factory grade pine or O.B. Rimu. Hang exterior doors on $1\frac{1}{2}$ pairs $3\frac{1}{2}$ " galv. butts and interior doors over 2'2" in width on $1\frac{1}{2}$ pairs of $3\frac{1}{2}$ " a.c. loose pin butts. Sliding doors to be hung on Bangor B1 track or similar and fitted with 6" standard pelmet.
- INTERIOR TRIM: Skirting and architraves to be bullnosed native moulding. Cornice to be coved moulding. All interior trim to be sanded to a smooth surface.
- MANHOLE: Provide manhole to ceiling.
- ROOFING: 26g. corrugated galvanised iron well nailed to purlins and complete with lead edged ridging, and verges finished with special g.i. verge covers. Lay roofing iron over building paper and wire netting, and paint all laps.
- HEARTH AND SURROUND: 6' x 4' sprigvale stone surround. Fire box to be built of fire brick on site.
- JOINERY FITTINGS: 5'6" sink unit with 5'6" Starline formica or similar top and stainless steel sink bowl. C.P. faucet over sink.
- 4'3" / 5'8" dresser unit with cupboards over.
Hot water cylinder cupboard built in.
Shaving cabinet installed in bathroom, with mirror.
Wardrobes: Provide a 12" wide shelf 5'6" from floor. Below shelf fix $\frac{3}{4}$ " galvanised pipe hanger rail.
Linen Cupboard: Provide five full width full depth shelves out of 1" timber supported on 2" x 1" framework.
- HARDWARE: Front and rear doors - C.P. Mortice lockset.
Interior doors - C.P. Mortice latchsets.
Bathroom and W.C. - C.P. Mortice snibsets, or C.P. Mortice latchsets with 3" socket bolts.
Linen cupboard and wardrobes - C.P. Mortice halfsets.
Kitchen cupboard - Cupboard catch and C.P. knob.
Kitchen drawers - C.P. knob or bar type drawer pull.
Whitco type windows - 2 C.P. spur fasteners.
Fireplace - 1 grate.

PLUMBER

All work shall be carried out in a tradesmanlike manner and shall conform to the Health Regulations and Local Authorities by-laws.

- SPOUTING: 26g. galv. iron soldered complete with all necessary stopped ends, outlets, etc., and supported on brackets at 3'0" crs.
- DOWNPIPES: 2 $\frac{1}{2}$ " diameter g.i. with swan necks and supported by stand off brackets fixed to walls. One to each side of house disposing into stormwater drains.
- WATER PIPING: Drawn copper throughout. Main pipes and pipes to bath $\frac{3}{4}$ " diameter, other branches $\frac{1}{2}$ " diam. All hot water piping lagged.
- WATER SUPPLY: Allow to connect up to 30' from main to house and include for pressure reducing valve.
- HOT WATER CYLINDER: 30 gallon copper, lagged and jacketed, with $\frac{3}{4}$ " expansion pipe, $\frac{1}{2}$ " sludge pipe and cock to outside and stop cock on hot supply from cylinder after leaving the expansion pipe.
- TAPS AND COCKS: Provide stopcock on main supply line and before any other take-off points.
All taps inside house to be C.P. streamlined type marked "Hot" or "Cold" as required. Taps over bath to be $\frac{3}{4}$ " with 3" extensions.
Hot and cold taps over tub and basin and sink faucet to be $\frac{1}{2}$ ".
Provide C.P. stopcock on supply to W.C. cistern.
Provide hose tap on rear wall, within six feet of rear porch.
- SANITARY FITTINGS: Bath: Provide and install 5'6" white enamelled bath set in timber framework.
W.C.: The W.C. pan shall be of white earthenware with double flap plastic seat complete with hinges and rubber buffers.
Basin: Basin to be 22" x 16" porcelain fitted to two canilever cast iron brackets with $\frac{1}{4}$ " galv. bolts. Front edge of basin to be 30" above floor.
Tub: Provide and install on concrete framework a single/double concrete tub complete with waste, plug, etc.
Showers: 2'6" x 3' stainless steel base. Lined with Hammerglaze.
- FLASHINGS: window flashings to be to detail out of 26 g. galv. iron. Flashings to vent pipes shall be 4lb lead.
- TERMINAL VENT: To be 6'0" x 3" cast iron with 24g. sheet copper extensions. Angles in copper extensions to be gusseted and joint braced. Finish with wire balloon.
- ROOF WATER: All roof water to sewer drains.
- LAGGING: To be hair felt on 2" pitch.
- ISOLATING VALVES: Isolating valve to be supplied each side of pressure reducing valve.
- TAPS: To be provided over all traps not served by a waste pipe.
- W.C. CISTERN: Syphonic cistern, to be 4'0" above floor to top rin. Non rigid joint between pan and drain.
- WASTES: Basin 1 $\frac{1}{2}$ ", all others 1 $\frac{1}{2}$ ", with copper traps and sanitary unions.

DRAINLAYER

Allow for installing septic tank up to 15 feet from nearest gully trap, and 30 feet soakage with soak hole.

If septic tank unnecessary, connect up to sewage 30'0" from house.

Provide stormwater soakage to downpipes.

NOTE: All plumbing work shall conform to the Plumbing and Drainage Regulations, 1959.

ELECTRICAL WORK

The installation shall be as follows:

Mains and switchboard and

One light point in dining area	One power point in living room
" " " " living room	" " " " dining room
" " " " kitchen	" " " " kitchen
" " " " hall	" " " " laundry switched
" " " " each bedroom	" " " " bedrooms 1 and 2
" " " " bathroom	
" " " " W.C.	
" " " " each porch	
" " " " laundry	

Aerial and earth plate in living room - Also T.V. plug

One full size cooker installed. Allow adjustable sum of £70 for supply of cooker.

Element and thermostat installed in cylinder.

All necessary switches, plugs, etc., for the above.

All switches and power points to be flush type with PDL white plastic covers. All lighting points to be fitted with white conical plastic shades. Run mains to the point of entry, and install switchboards.

Allow to connect to the supply from point of entry up to 60' for overhead lines.

Allow to connect to the supply from meter box up to 20' underground cable.

PAINTING

All painting shall be in accordance with good trade practice, done during suitable weather and using only good quality ready-mixed paints, applied according to the manufacturer's instructions.

EXTERIOR
PAINTWORK:

All exterior woodwork: Prime, stop, undercoat and one coat full gloss. Fibrolite: Apply two coats Latex or similar. High gloss shall not be used.

Roof: Will not be painted.

Apply all exterior paint by brush only.

INTERIOR
PAINTING:

Kitchen, bathroom, W.C. and laundry: Seal walls, ceiling and woodwork, undercoat, and apply one coat full-gloss enamel.

Hall, bedrooms and living rooms:

Ceilings: Seal and two coats flat paint

Walls: Wallpaper at 10/- roll

Skirting, architraves, and door frames: Prime, undercoat and one coat full gloss enamel; or varnish.

Windows and window trim: Prime, undercoat and one coat full gloss enamel

Flush doors: Prime, undercoat and one coat gloss enamel; or varnish.

GLAZIER

Glass front and back door and bathroom and lavatory windows
in obscure glass.

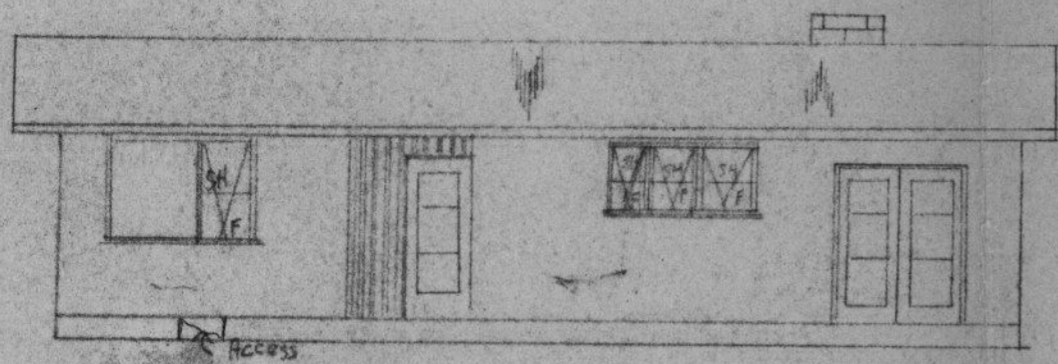
Glaze fixed lights over doors and windows in obscure glass.

Glaze all other windows and doors in clear glass in
accordance with normal trade practice.

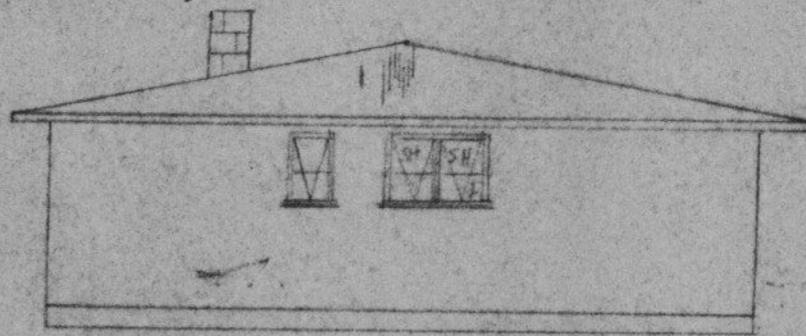
S/NDER

Sand all floors after the completion of all other work.

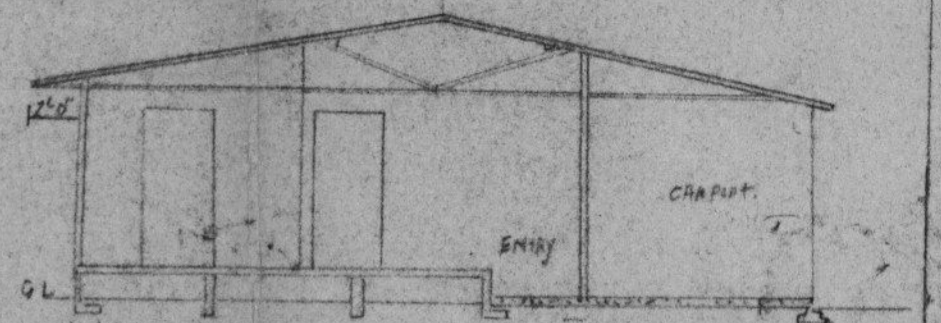
CASTLE & LEET
 BUILDING CONTRACTORS
 19 BROADHEAD AVE., WANGANUI
 PHONES 35-401, 36-532



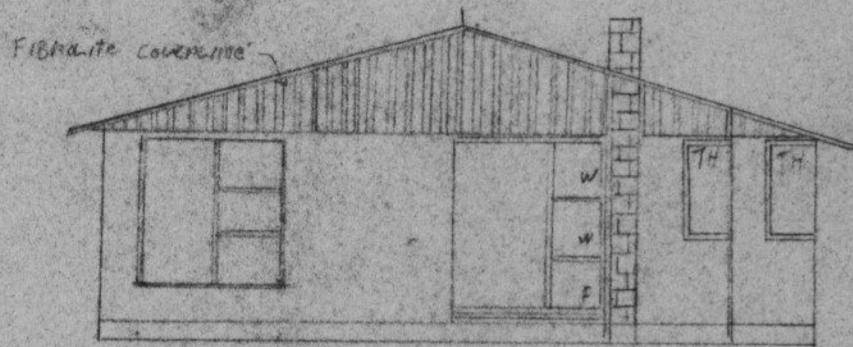
ELEVATION B.



ELEVATION C.



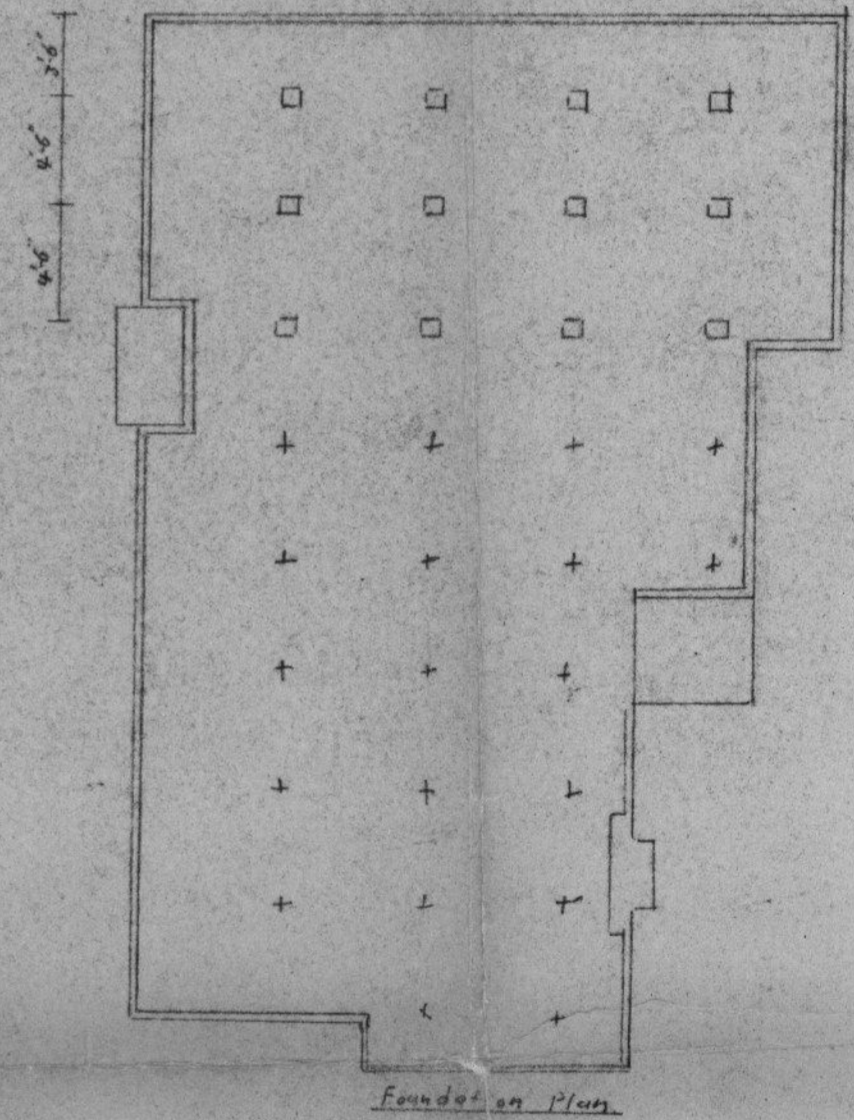
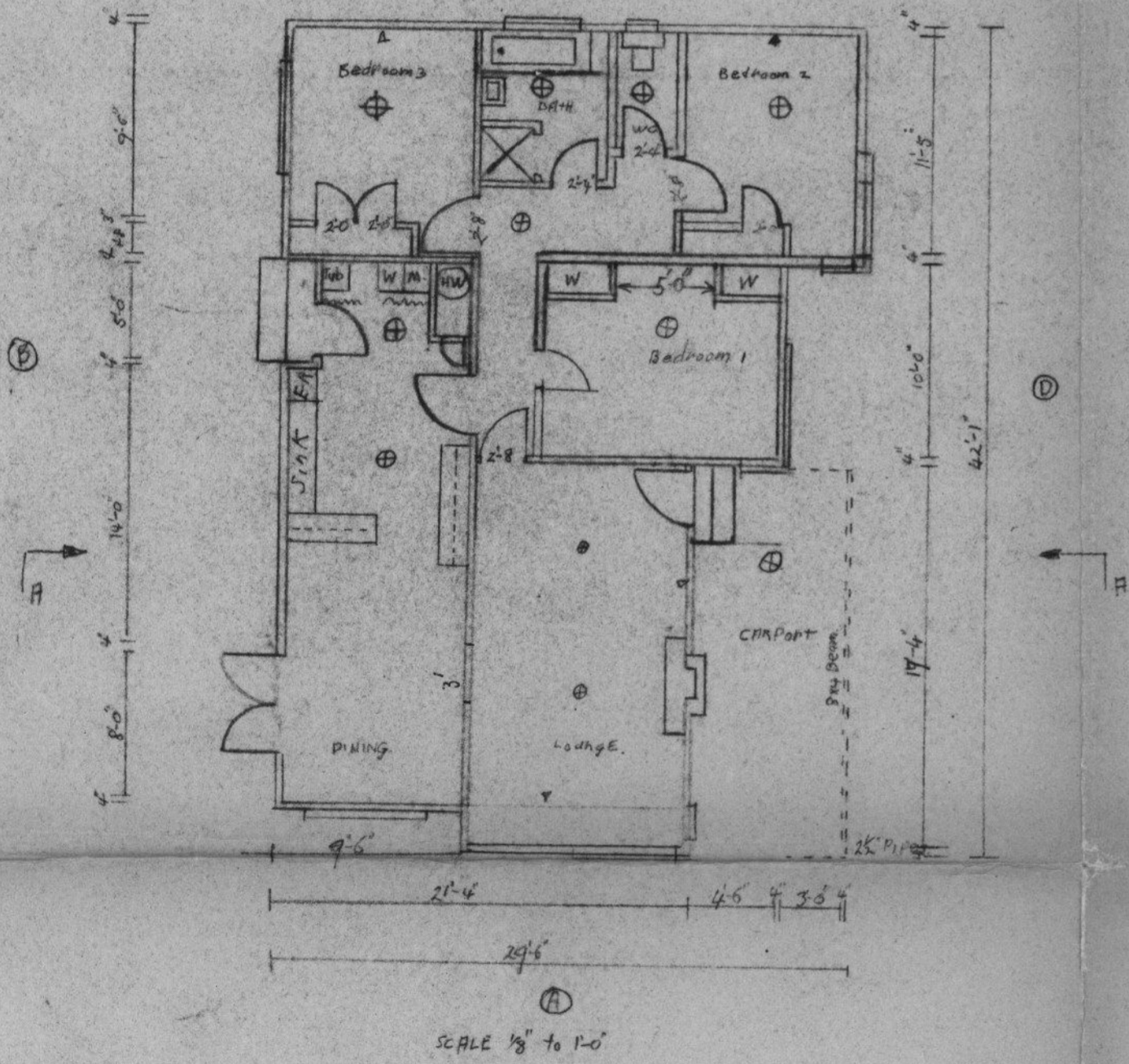
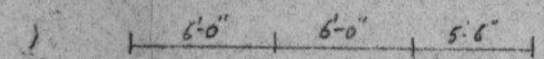
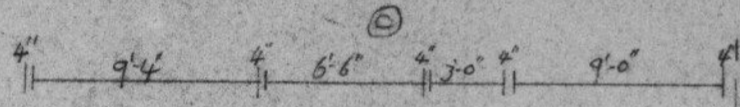
THRU' A-A



ELEVATION A.



ELEVATION D.



Foundation Plan

PROPOSED RESIDENCE FOR MR & MRS R.J. HENDERSON. BROADHEAD AVE. WANGANUI.

PLEASE ADDRESS ALL REPLIES TO
THE CITY ENGINEER
P. O. Box 637

TELEPHONES:
(3 lines) 8974

DA:EMS

OUR REF.....



WANGANUI CITY COUNCIL

CITY ENGINEER'S OFFICE

ST. HILL STREET, WANGANUI, N.Z.

13th January, 1966.

MEMORANDUM for:

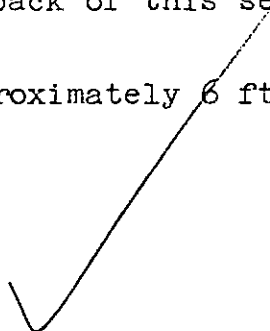
Mr Barnes,

RE: DRAINAGE AT 36 BROADHEAD AVENUE

1. Foundation will be level with crown of road.
2. A 6 inch sewerage pipe runs through this section, from a manhole at the back of this section, and then leading to Nikau Street.

This drain is approximately 6 ft deep.

*File
with permit*



D.W. Addison

D.W. Addison

BUILDING INSPECTOR.

Footway No.

No 310

WANGANUI CITY COUNCIL

PLUMBING & DRAINAGE INSPECTION SHEET

Permit No. 1888

OWNER R. J. Henderson

PLUMBER L. Moore

DRAINLAYER

BUILDER Castle & Leet

STREET 36 Broadhead Avenue

14/12/65

SEC. LOT 3 D.P. 22446

Date Inspection

- Service Tested *Straight in to Sewer on boundary*
- Foul Drainage *Inspected & tested (P. Tanarau)*
- Storm Drainage
- City Water Supply
- Private Water Supply
- Hot Water Supply
- Sewer Vents
- Back Vents
- W.C.
- Sink
- Bath
- Shower
- Basin
- Tubs
- Ceiling Vents

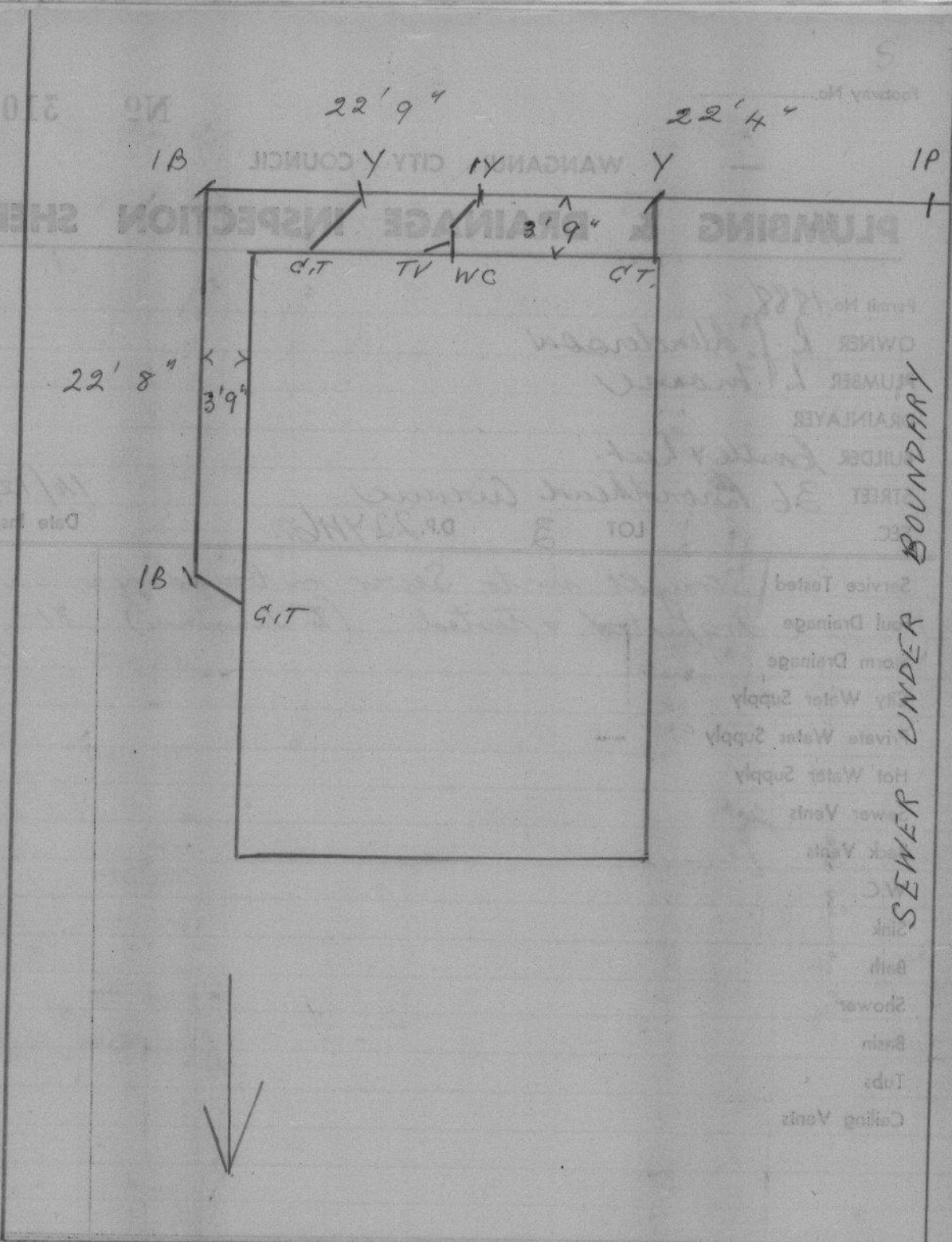
31-3-66

REMARKS:-

Sewer on boundary

also corded.

PLUMBING & DRAINAGE INSPECTION SHEET
 WANGANUI CITY COUNCIL



Broadhead avenue

OWNER
 NUMBER
 RAINWAYS
 BILDER
 STREET
 LOT
 Service Treated
 Sewer Drains
 Sewer Drains
 Water Supply
 Water Supply
 Hot Water Supply
 Water Vents
 Cold Vents
 Sink
 Bath
 Shower
 Basin
 Taps
 Ceiling Vents

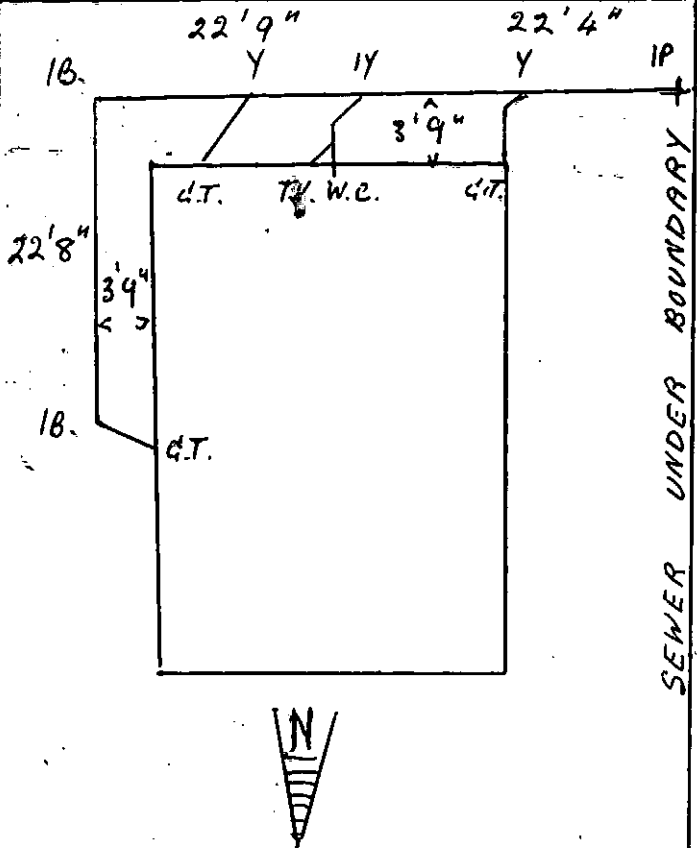
BOUNDARY
 SEWER UNDER

REMARKS

PLUMBING & DRAINAGE

STREET *36 Broadhead Ave*
LOT *3* D.P. No. *22746* PERMIT *1888* DATE *14.12.65*
OWNER *R. J. Henderson* BUILDER *Castle & Leet*
PLUMBER *L. Moase* DRAINLAYER *L. Moase*
REMARKS *New house Straight into sewer
on boundary*

INSPECTOR *W. J. Taylor*



< 1 > x Joby
 KERB

BROADHEAD AVE

CASTLE SHEET Builders

82'-0"

62'-0"

155'-0"



Lot 3. D.R. No. 22746.
PART SECTION 227, R.B.W.R.
BEING 32.15 PERCHES.

SITE DRAINAGE PLAN.
Mr. & Mrs. P. J. Henderson.
36 BROADHEAD AVE.

SCALE 1/8" = 1'-0"

37'-3"

43'-0"

3

existing
Drain

Sewer under

22'-8"

3'-9"

22'-9"

22'-4"

3'-9"

IP boundary fence

M.H.

13'-2"

IB

GT

WC

GT

IP
2'-6"
Inspection
Bend.

Corrected drainage.

Existing 6" Drain.

FALL 1-60

76

16

4

18

VALUATION ROLL No.

LEGAL DESCRIPTION

2386

1311/332

LOT 3 D.P. 22746

36 BROADHEAD AVENUE

DRAINAGE & PLUMBING PERMITS

BUILDING PERMITS

Existing Use

Dwelling

Permit No.

Date

Permit No.

Date

Nature of Work

Designation

B045243 / 24.11.65 DWELLING & CARPORT

G100806 / 12.9.75 ADD. TO DWELLING

J034214 / 23.10.80 GARAGE

J034372 / 18.12.80 CARPORT

4012 23.7.82 A 32430 / 31.8.82 LAUNDRY

Zoning

Residential A

Undersize Section

Building Line Restriction

Proposed Street

Proposed Service Lane

Proposed Access Way

Dangerous
Goods Licence

Fill Points

Housing File No.

Underground Tank

Type

Capacity
gals

Water Connection

Reg. No.

Amt. Paid.

218336

£6-10-00

Water Meter

Water Bore

Drainage Connection

Reg. No.

Amt. Pd.

11915

£25-0-0

Pool

Filtered

Unfiltered

Back Flow
PreventerStormwater
Connection

Reg. No.

Amt. Pd.

Heating

Gas

Oil-fired

Coal-
Wood

Electric

Other

Kerb Crossing

Reg. No.

Amt. Pd.

32589

£6-10-0

Conditional Use

File:

Specified Departure

File:

Dispensations

Reference

Date