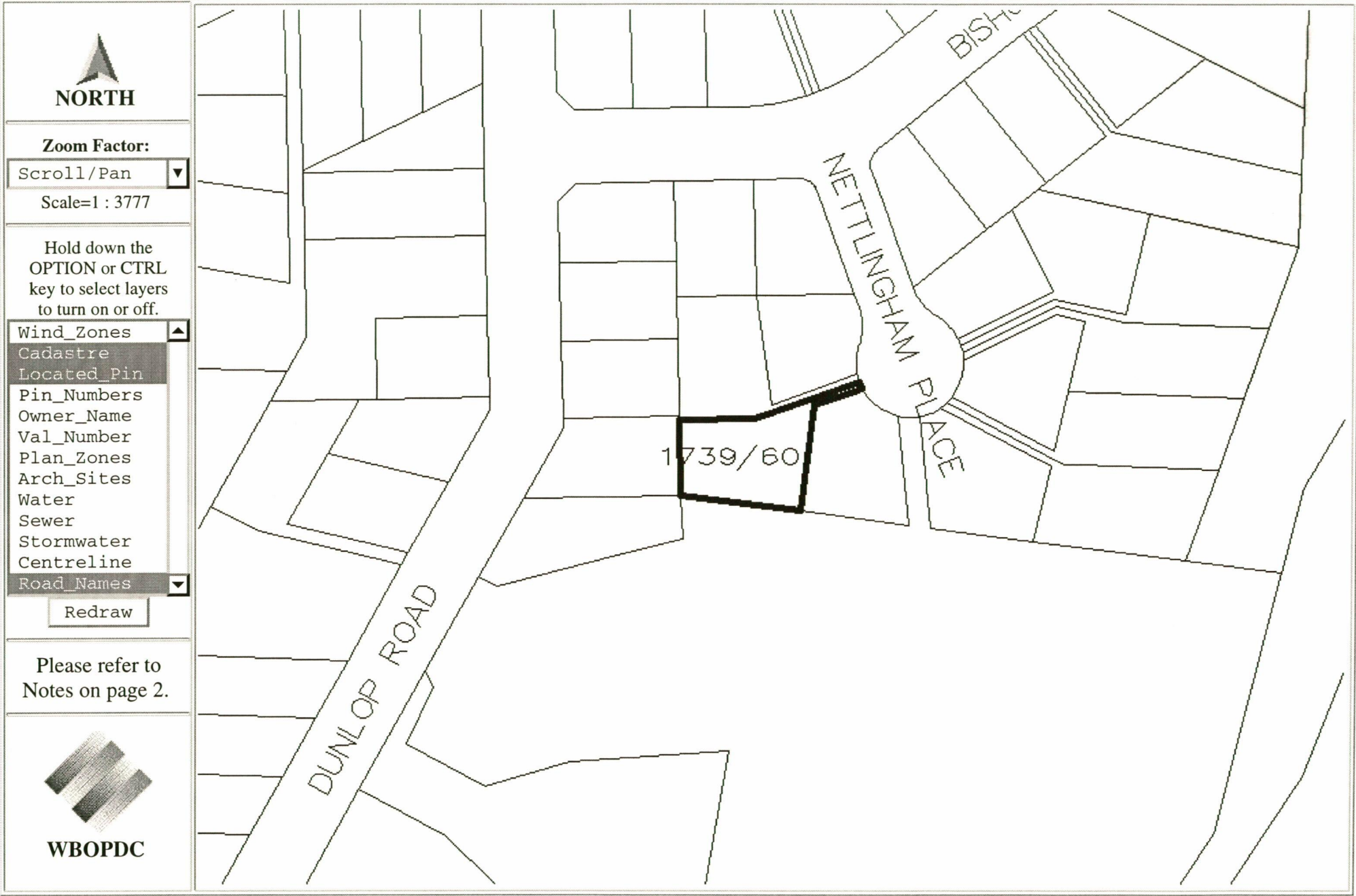


BUILDING PROCESSING FORM

PARCEL NO:	1739/60 ✓	
PROPERTY FILE AND SUBFILES:	P/1739/60 P/1739/60/1	
PARCEL LOCATION:	7 NETTLINGHAM PLACE	
PARCEL LEGAL DESC	LOT 37 DP 25129 ✓	
PARCEL ZONE:	RES	
PARCEL AREA (Ha):	0.0886	
VALUATIONS:	06794*671*00*	
IMPROVE VALUE:	116,000	
IMPROVEMENTS:	DWG OI	
FIRST OCCUPIER:	HABBERFIELD TRUST	
LIM NO:		
CCC ISSUED DATE:	BC NO:	BC WORK DESCRIPTION:
06 May 1994 <i>NEW *</i>	40361 60884	INSTALL BATHROOM AND REPLACE DOOR WITH WALL GARAGE
NOTIFIEDS:		
NON NOTIFIEDS:		
PREMISES LICENCES:		
LIQUOR LICENCES:		
PREVIOUS PARCELS:		
NEW PARCELS:		

SUBDIVISION INFORMATION

SUB NO	SCHEME PLAN APPROVED DATE	223 COMPLETED DATE	224 COMPLETED DATE



BUILDING CONSENT - GENERAL INFORMATION

OWNER:

Habberfield Trust.

CONSENT NO:

60884

ADDRESS:

There are no specific items to be listed for this Building Consent.

2. Any place from where a person can fall 1 metre or more shall be fitted with a safety barrier. For example, decks, balconies, high level openings (NZ Building Code Section F4). The construction of barriers is to comply with Section B1 of the Building Code. In some cases toothed ring connectors and nail plates will be required. (NZ Building Code Section B1).
3. All glazing is to comply with (NZ Building Code Section F2). Glazing to NZS 4223 will be accepted as a means of compliance.
4. Stormwater is to be piped to an approved outfall. Soakholes will not be accepted for stormwater disposal (NZ Building Code Section E1).
5. Water supply pipes are not to be run under a concrete floor slab unless they are enclosed in a sealed watertight duct (NZ Building Code Section B2).
6. Hot water supply to wash handbasins, vanities, showers, baths and bidets is to be tempered to a maximum temperature of 55°C (NZ building Code Section G12).
7. Water supplies taken from anywhere other than a Council supply are likely to be infected with bacteria, giardia or both. Please seek advice from an expert on the most appropriate treatment system for your property. Some form of treatment will be needed to provide a potable water supply and filtration will be needed to eliminate giardia. A Code Compliance Certificate will not be issued until an adequate supply of potable water is provided and evidence is produced to show that the water is potable. Testing for giardia will not be required if an appropriate filter has been installed (NZ Building Code Section G12).
8. Concrete floors are required to be a minimum height above unprotected ground surrounding the building. When setting floor levels ensure that the slab is high enough to meet the minimum requirements after landscaping and gardening are in place. The minimum heights are : for masonry veneer - 150mm, all other claddings - 225mm. Timber floors are required to be much higher NZ Building Code Section E2. (NZS 3604 Appendix E).
9. Gully traps must finish above finished ground level. The top of the gully trap surround must be no less than 100mm above unpaved surfaces and 25mm above paved surfaces. Ensure that landscaping and gardening do not extend higher than these limits (NZ Building Code G13/AS2).

10. Concrete bond beam blocks supporting concrete floor slabs and brick veneer should be 250mm nominal width. Standard 200mm nominal width blocks will not be accepted (NZ Building Code B.1.).
11. Brick veneer is to be laid correctly to NZS 4210 over building paper using screw fixed ties. Hammer driven ties will not be accepted. The following will be accepted as a means of compliance. Ties should be spaced at not more than 600mm centres horizontally and 400mm centres vertically or alternatively at not more than 450mm in each direction. Vertical spacing shall not exceed more than five courses and extra ties are required around openings. Cavity width is to be not less than 40mm or more than 75mm.(NZ Building Code Section B1[NZS 3604 Appendix f]).
12. A copy of the engineer's design for the roof trusses is to be provided to the Council (NZ Building Code Section B1 [NZS 3604:1990 Section 10.2]).
13. Exterior window and door joinery is to be flashed correctly to seal the windows from water penetration. Head flashings are to be provided in all cases except where the head is hard up to the eaves and the head is covered by a frieze board or similar. Sealing with silicone rubber type sealants is not acceptable at window heads. (NZ Building Code Section E.2).
14. Provide seismic restraint to the hot water cylinder (NZ Building Code Section B1).
15. The solid fuel heater is to be installed strictly in accordance with the manufacturers instructions. Heater and hearth to be bolted to the floor (NZ Building Code Sections B1 and C1).
- ✓ 16. This consent does not give approval for the building to be occupied as a dwelling (NZ Building Code Section A1).
17. Septic tanks and effluent disposal for building projects must comply with Environment BOP on-site Effluent Treatment Plan. Building owners have an obligation to ensure that the septic tank and effluent disposal complies with the Plan. If a system is installed that does not comply with the Plan then the owner may be liable for the non compliance in the future. If in doubt ask Environment BOP to check the proposal for you.
18. A Compliance Schedule is required for this building. A provisional Compliance Schedule will be issued with the Building Consent. The actual Compliance Schedule and Building Statement of Fitness will be issued at the same time as the Code Compliance Certificate. The building should not be occupied until the Code Compliance Certificate is issued or the Building Inspector otherwise agrees. Provide a copy of the Energy Work Certificate to the Council when the work is completed.
19. The Building Code does not allow excavations for buildings to effect adjacent buildings or property. Where excavations are close to other buildings, or other property, then excavations must remain stable under all conditions. Specifically designed retaining walls may be required to stabilise cut slopes and the edge of filled areas. (NZ Building Code Section B1.)

3 October, 1998

To whom it may concern,

This letter is to confirm that L M & M J Schnuriger own the property at 9 Nettingham Place Te Puke, being adjacent to 7 Nettingham Place owned by The Habberfield Trust.

That L M & M J Schnuriger have no objection to the building of a car-shed / garage on the property of The Habberfield Trust in the corner adjacent to their present garage 500mm from the boundary.

Signed

L M Schnuriger
M J Schnuriger

L M & M J Schnuriger

CCC
UNISSUED

17 May 2007

P/1739/60

Habberfield Trust
C/- B H Lee
P O Box 5061
Mount Maunganui

Dear Sir

Determination and Code Compliance Process

As per our recent discussions, in order to be able to get a Code Compliance Certificate for the original building consent for your garage at 7 Nettlingham Place (Building Consent 60884) you will need to make application to Council to make an amendment to the project description to add the following text:

"This consent is subject to an amendment to the Building Code requirements to the effect that clause B2.3.1 applies from 30 December 1998 instead of from the time of issue of the Code Compliance Certificate in respect of all the listed elements".

The listed elements are as follows, just for your information and do not need to be included in the above description.

"B2.3.1 Building elements must, with only normal maintenance, continue to satisfy the performance requirements of this code for the lesser of the specified intended life of the building, if stated, or:

- a. *The life of the building, being not less than 50 years, if:*
 - i. *Those building elements (including floors, walls, and fixings) provide structural stability to the building, or*
 - ii. *Those building elements are difficult to access or replace, or*
 - iii. *Failure of those building elements to comply with the building code would go undetected during both normal use and maintenance of the building.*
- b. *15 years if:*
 - i. *Those building elements (including the building envelope, exposed plumbing in the subfloor space, and in-built chimneys and flues) are moderately difficult to access or replace, or*
 - ii. *Failure of those building elements to comply with the building code would go undetected during normal use of the building, but would be easily detected during normal maintenance.*
- c. *5 years if:*
 - i. *The building elements (including services, linings, renewable protective coatings, and fixtures) are easy to access and replace, and*
 - ii. *Failure of those building elements to comply with the building code would be easily detected during normal use of the building."*

This is in line with recent determinations by the Department of Building & Housing.

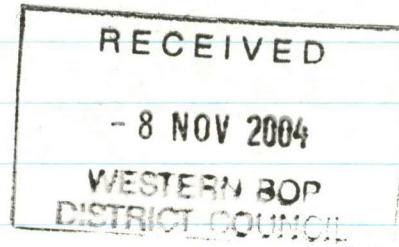
An amendment application form is attached, and there will be no extra fees.

Yours faithfully

Nick Walsh
Assistant Building Control Official

BC 60884

Bruce H Lee
PO Box 5061
Mt Maunganui



Attn Building Expectar.

Rc Habberfield Trust.
Lot 37 DP8 25/29
Ref 98-10105

CCC
UNISSUED

Please find enclosed a site plan of the sewer system as requested.

Should you have any questions we can be contacted at 07-575-3790

We trust all is in order and you will be able to approve the building

Cheers.

Bruce H Lee.

PLUMBER
~~BUILDER~~ GRAEME WEBB

JOB No 98-10105

CONSENT No.

ADDRESS OF JOB: 7 Nettlingham Place TePuke

Lot 37 DP# 25129 886 m²