



INSPECTIONS

This building consent is approved subject to inspections being requested.

PLEASE GIVE PRIOR NOTICE OF AT LEAST ONE WORKING DAY WHEN REQUESTING
INSPECTIONS. QUOTE THE CONSENT NUMBER.

Keep this copy of plans and specifications on site at times of all inspections.

CALL FOR INSPECTIONS FOR ALL ITEMS TICKED.

- 1. SITE INSPECTION**
The site has been inspected before the consent is issued. ☐
- 2. FOOTINGS**
We want to see the excavations and ground before any concrete is poured. ☐
- FOUNDATIONS**
We want to see the reinforcing in place before concrete is poured. ☒
- 4. CONCRETE SLABS**
We want to see the D.P.C. basecourse, reinforcing and underfloor services. ☒
- 5. TIMBER FLOORS**
We want to see the piles, sub-floor bracing and connectors. ☐
- 6. CONCRETE BLOCKWORK**
We want to see the reinforcing in cells and bond beams before concrete is poured. ☐
- 7. PRELINING INSPECTION**
We want to see all framing, bracing, connectors, vapour barriers, insulation, timber moisture. ☒
- 8. BRICK VENEER**
We want to see the walls when they are at about half height to inspect cavities and ties. ☐
- 9. STUCCO OR PLASTER FINISH**
We want to see the under surface and reinforcing prior to application of the plaster.
the plaster. ☐
- 10. PLUMBING INSPECTION**
We want to see all plumbing and water pipework under test before it is enclosed.
Can be combined with the Prelining inspection. ☒
- 11. FIREPLACE OR SOLID FUEL HEATERS**
We want to see the foundations, seismic restraint, clearances, flue and liners, and
ceiling plate. ☐
- 12. DRAINAGE (Foulwater and Stormwater)**
We want to see all drainage work under test before it is closed in. ☒
- 13. SEPTIC TANK AND EFFLUENT TRENCH**
We want to see the tank before it is filled with liquid and effluent line before covering. ☐
- 14. FINAL**
We want to make a final inspection before issuing a code compliance certificate. ☒

KEEP DOGS TIED UP WHEN INSPECTOR CALLS

Specification

for

Proposed Garage

for

The Habberfield Trust
7 Nettlingham Place
TE PUKE

CCC
UNISSUED

Western Bay of Plenty District Council

APPROVED

Building consent issued with number

60884

c



REF: 98- 10105

Architectural Draughting
SHERYL KRAMER
530 No 3 Road
Te Puke

Ph/Fax (07) 573 9753
Mobile 025 419 553

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details

box 1

Name Hobbsfield Trust
 Street and Number 7 Nottingham Place
 Lot and DP Number TEPOWC
 City/Town/District TEPOWC
 Location of Storey: single upper storey
 Building height to apex 34 m Roof weight light/heavy
 Roof height above eaves 10 m Cladding weight light/heavy
 Stud height 2.4 m Room in roof space no
 Average roof pitch 15°
 Building length BL = 60 m Gross Building
 Building width BW = 55 m Plan Area, GPA 33 m²
 Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.
 Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: 0 ☒ Terrain: C ☒ Exposure: 0 ☒ Topography: Gentle 0 ☒
 R2 1 ☐ Coastal 1 ☐ Exposed 1 ☒ Moderate 1 ☐
 Total points 1 Extreme 3
 Wind zone: Low (0) ☐ Very high (3)
Medium (1) ☒ Specific Design (4)
High (2) ☐

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: A B C

BUs required Wind

box 4

From Table W1AW1B
 W along = 84 BUs/m
 W across = 24 BUs/m
 Total wind load,
 W ALONG:
 W along x BW = 187 BUs
 W ACROSS
 W across x BL = 144 BUs

BUs required Earthquake

box 5

From Table EQ1
 E = 2.7 BUs/m²
 Note: For a room in the roof space use E+1
 Total earthquake load,
 EQ ALONG and EQ ACROSS:
 E x GPA BUs = 82.1 BUs

Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	8 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m)	Rating BU/m	BUs Achieved (BU/m x L)	Rating BU/m	BUs Achieved (BU/m x L)
					W	W	E	E
A		A1	SP211	12	90	108		
B		B1	GB2	24	80	192		
C								
D								
E								
F								
Totals Achieved					W	300	E	
From Sheet A Totals Required					W	181	E	89
Wreq/Ereq =					2.1			

*If Wreq/Ereq is 1 or less complete E column only
 If Wreq/Ereq is 1.5 or more complete W column only
 Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	8 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m)	Rating BU/m	BUs Achieved (BU/m x L)	Rating BU/m	BUs Achieved (BU/m x L)
					W	W	E	E
M		M1	SP2	0.6	85	51		
		M2	SP2	0.6	85	51		
N		N1	SP211	12	90	108		
O								
P								
Q								
Totals Achieved					W	210	E	
From Sheet A Totals Required					W	144	E	89
Wreq/Ereq =					1.6			

PRELIMINARY & GENERAL

General

Scope of Work - to erect new Garage

Parties to the work involved are:

Territorial Authority: Western Bay of Plenty
District Council

Site Location: 7 Nettlingham Place, Te Puke

Legal Description: Lot 37, DPS 25129

Conditions of Contract

The general conditions of contract shall be as laid down by the N.Z. Master Builders Federation and/or NZSS 3901 - Standard of Agreement for Small Building Contracts. All work shall comply with The New Zealand Building Code, NZS 3604 and other standards relating to the works to be carried out.

Bylaws

The Contractor shall comply with the N.Z. Building Code, all National Standards and Regulations and all statutory obligations and regulations of the Territorial Authority and Regulatory Bodies with regard to the execution of the contract.

The Contractor shall obtain all building consents, pay all fees and give notices as required by the N.Z Building Code and Regulatory Bodies.

Safety

The Contractor shall make all necessary arrangements to be in total compliance with the Health and Safety Act 1992 to ensure the safety, health and welfare of workers. Fence off, light or otherwise separate any source of danger on site to people outside work hours.

Take all necessary precautions to prevent damage and nuisance from water, smoke, vehicles, dust, rubbish, noise and any other causes resulting from the construction works.

Workmanship

Where no specific reference is made in this specification in respect of any particular labour requirements, it shall be understood that the standard of workmanship required is not lower than the best trade practice for that type of work.

PRELIMINARY & GENERAL - CONT.

Intent

Any work or materials not covered in this specification or plans but which is necessary for the proper and effectual completion of the work shall be taken as part of the specification and plans.

Dimensions

The Contractor shall check all dimensions on the drawings and should any discrepancies arise he shall notify the Plan Draughtsman. No allowance will be made for failure to check dimensions.

Levels

Indicated ground lines shown on the drawings are assumed correct. All levels are to be checked with the actual levels on site. The Contractor shall perform all setting out of work and shall be held responsible for the accuracy thereof.

Protection of Works

All materials on the site shall be protected from damage, in particular from the elements. Any damage incurred by the Contractor failing to carry out this protection shall be deducted from the money due.

Inspection of Works

On completion of the works and prior to occupation by the Owner the Owner shall with the Contractor make a final inspection and approval of the works. Should the Owner occupy the building prior to this inspection he does so at his own responsibility and the Contractor is absolved from all liabilities from damage during such occupancy.

Maintenance

The Contractor shall maintain and make good any defect which may occur within 60 days of the completion of the contract due to faults which may occur in the materials or labour supplied.

Final Completion Certificate

The contract shall not be deemed complete until a Final Completion Certificate has been issued by the Territorial Authority or Building Certifier.

EXCAVATION

Scope of Work

This section of the contract consists in general of all excavations for foundations (including retaining walls) and floors.

Setting Out

The Contractor shall set out the works as shown on the drawings and to the levels required. All dimensions given must be verified on the site before fabrication or installation work is carried out and the Contractor shall be responsible for the accurate setting out of all constructional work and services required to be executed under this contract.

Excavation

The Contractor shall remove vegetation and topsoil where necessary and stockpile on site. Any surplus excavated material shall be removed or respread and compacted at completion and on the direction of the Owner. Excavate for all foundations to the size and depths shown on the drawings or specified herein. Excavation shall be to solid bearing. If foundation material is not satisfactory, excavate to solid bearing and backfill or use 10.3 MPa concrete.

Hardfill

Backfill against foundation under floor slab with compacted pumice hardfill. Backfill against all other foundations with sound excavated material (not topsoil) and compact.

Backfilling

Fill and compact around footings and service lines to bring up to natural levels. Top layer minimum 100mm topsoil where required for grassing.

Drainage

Where concrete floor slab is used, the area around the site shall be graded so that surface water drains clear of the site.

DAMP PROOF WORK

Scope of Work

This section of the contract consists in general of the damp proofing between compacted pumice hardfill and the concrete floor and footings and also the waterproofing of concrete block walls where required.

Waterproof Membrane

Under the floor slab and on top of the Hardfill lay 0.25mm polythene vapour barrier. Lap all joints 100mm and seal with 50mm wide plastic tape. At perimeter of slab seal polythene into joint between foundation wall and slab. Where pipes etc. penetrate membrane, adequate protection against seepage shall be made by sealing with plastic tape. Care shall be taken to ensure the membrane forms a complete waterproof barrier and that it is not punctured before or during casting of floor slabs.

REINFORCING STEEL

Materials and Workmanship

All reinforcing except stirrups and ties shall be deformed Grade 275 conforming to NZS 3402:1989 and NZS 3421. Stirrups and ties shall be plain grade 275 to NZS 3402:1989. The materials and workmanship for bending, cleaning, placing and lapping of reinforcement shall be carried out in accordance with Clauses 2.3A.33 to 9.3A37 of NZS 1900 Chapter 9.3A.

Rods shall be free from loose rust, paint or oil, with ends of all rods hooked or lapped for lengths equal to 40 diams. Unhooked rods shall be lapped 50 diams. Bend all horizontal rods not less than 600mm around angles. All intersections of rods shall be bound together with 1.6mm black soft wire.

Cover to Steel

All reinforcement including stirrups and ties shall have the following cover unless otherwise specified -

Foundations cast against earth - 75mm

Foundations cast against formwork - 50mm

The Contractor shall notify the Territorial Authority Building Certifier when the reinforcing is placed ready for concreting. No concrete shall be placed until the Certifier has approved the reinforcing steel.

CONCRETE

N.Z. Building Code

The Contractor shall follow the Approved Documents with regard to the criteria and/or methods that must be used in this section to establish compliance with the Code.

Standards

All work and materials under this section shall comply with NZS 3109:1980 and amendments.

Materials

(a) Cement: Shall be fresh, approved Portland cement, carefully stored away from damp in a weatherproof shed.

(b) Aggregates: Fine aggregate shall be clean, hard sand or finely crushed stone, well washed in fresh water, free from all vegetable or clay matter. Coarse aggregate shall be crushed basalt or other approved hard, durable, clean stone free from impurities or excess dust with a maximum size of 20mm.

(d) Water: shall be organically clean and fresh.

Holding Down Bolts

Cast in situ 10mm H.D. bolts hooked around top rods, or with ragged end (where no reinforcing occurs) bedded 225mm into concrete. Keep 225mm from angles of walls and at no more than 1400mm crs, with a minimum of 2 bolts to any plate. Cast in all other bolts required.

Placing of Reinforcement

The contractor shall provide all spacers, chairs, supports, tie wires and concrete blocks necessary to maintain the reinforcement rigidly in the position detailed, within the tolerances specified, regardless of whether or not such supports, etc. are detailed on the drawings. The reinforcing when in place must be capable of resisting without displacement of concrete.

CONCRETE CONTINUED

Concrete Mix

All concrete work shall comply with NZSS 1900 Chapter 9.3 and 9.3a. Concrete shall be ordinary grade concrete as specified in NZSS 1900 Chapter 9.3a and have a minimum specified compressive strength of 17.5 MPa at 28 days standard cured, unless otherwise specified.

Ready Mixed Concrete

Approved Ready Mixed concrete may be used provided it complies with the requirements of this specification in respect to materials, proportions, consistency and strength. Ready mixed concrete shall be delivered in an approved type of agitator truck, and shall be discharged from the truck within 45 minutes of the time when mixing water was added to the mix. Deliveries of concrete must be made so that there is no period exceeding 30 minute that the concrete is not available for placing.

Placing of Concrete

If not oiled, formwork shall be wetter immediately prior to concreting but are not to contain free water.

Concrete shall be placed such that it arrives in its final position in the forms sensible in the state in which it left the mixer and free from segregation or separation of its components.

All concrete shall be completely compacted by means of vibrators.

Surface finish shall be power float unless otherwise indicated.

Unless otherwise indicated floor slabs shall be 225mm above finished ground level.

Floor slab shall be cured for seven days after pouring by either keeping the surface continuously damp by hosing regularly.

CARPENTER & JOINER

N.Z. Building Code

The Contractor shall follow the Approved Documents with regard to the criteria and/or methods that must be used in this section to establish compliance with the Code.

B1/AS1	Structure - General 4.0 Timber
B1/AS2	Structure - Timber Barriers
E2/AS1	External Moisture 2.0 Walls 4.0 Floors 6.0 Construction Moisture

Documents referred to in this section are:

- NZS 2295: Building Paper (Breather Type)
- NZS 3602: Specifying Timber & Wood Based Products for use in Building
- NZS 3603: Timber Design
- NZS 3604: Light Timber Frame Buildings not Requiring Specific Design
- NZS 3631: N.Z. National Timber Grading Rules
- NZMB 3640: Minimum Requirement of the N.Z. Timber Preservation Council

Documents listed above are deemed to be part of this specification.

General

All timber shall be brought to the site properly seasoned to comply with Standard Specifications and neatly stacked and filleted ready for use.

The Contractor shall make good wherever required.

The Contractor shall provide and fix all nogs, dwangs, and in general make all necessary provisions for fixing switches, etc. needed within the scope of the work and to the true intent and meaning of drawings and specification. All nails which would otherwise be visible shall be punched well below the surface, while special care shall be taken throughout the job to avoid hammer marks on finishing timbers. General framing timbers shall be machine thickened to an even dimension.

Workmanship

All timber shall be bolted or nailed together in a tradesmanlike manner in accordance with the best trade practice. All work shall be accurately set out, neatly executed and finished. Any work developing defects shall be made good or replaced.

CARPENTER & JOINER - CONT.

Dampcourse

Wherever timber would otherwise be in direct contact with concrete it shall be separated by one layer of heavy malthoid dampcourse.

Framing - General

Grading to NZS 3631 and treated to NZMP 3640.

Bolt all studs or plates to concrete with 200mm D10 H.D. bolts at max 1400mm crs.

Secure studs by skew nailing into plates. Check trimmers and beams 12mm into trimming studs and double stud where necessary. Double stud and block at all angles and wall intersections.

Brace all walls as shown on plans.

Brace roof as shown using Pryda strapbrace fixed in accordance with manufacturers instructions.

Over purlins lay 1.0mm thick 50mm mesh galvanised wire netting, well stretched and edges twitched. Fix with galvanised clouts or staples. Cover netting with duroid building paper laid shingle fashion with 150mm laps.

Framing - Size and Spacing

Wall plates	90 x 45	Laserframe	(or similar)	
Studs	90 x 45	"	"	600 crs
Dwangs	90 x 45	"	"	800 crs

Lintels see drawings for sizes

Trusses Pryda Trusses @ 2000 crs
 to manufacturers design

Purlins 100 x 50

Exterior Post 100 x 100 H3

Wall Bracing

Refer to plan for location and type of wall bracing to be used and refer to all requirements of NZS 3604 Section 6 and Appendix K with manufacturers instructions where applicable.

CARPENTER & JOINER - CONT.

Exterior Sheathing

Under all sheathing lay duroid heavy weight building paper securely fixed in position. Lay paper horizontally with 75mm laps, lapped over head flashings and under jamb and sill flashings.

Provide and fix Hardiplank Weatherboard in accordance with manufacturers instructions.

Fire Wall

Provide for 9.5mm Gib Fyrelime to both side of framing, and 6mm Hardiflex to exterior, in accordance with Gib Board Specification - attached to this specification.

Exterior Finishing

All joints between different materials shall be finished so as to render the work watertight. Where necessary bed beads, battens etc., in mastic.

Exterior Joinery

Provide powder coated aluminium joinery units to size as shown on drawings.

Fix in position complete with all necessary flashings to make entirely watertight.



Gib® Residential Garage Boundary Walls

ADDITION TO 'GIB BOARD FIRE RATED SYSTEMS, 1992'

Scope of Use

The solution offered in this bulletin is intended for use when a 30/30/30 or 60/60/60 Fire Resistance Rating (FRR) is required by the NZBC Acceptable Solution C3/AS1 for single-storey residential garage boundary walls.

Compliance with the NZBC

Under normal conditions of dry internal use Gib Board® Fire Rated Systems have a serviceable life in excess of 50 years and satisfy the requirements of NZBC Clause B2 – Durability.

Gib Board® Fire Rated Systems provide passive fire protection in accordance with the requirements of NZBC Clause C3 – Spread of Fire.

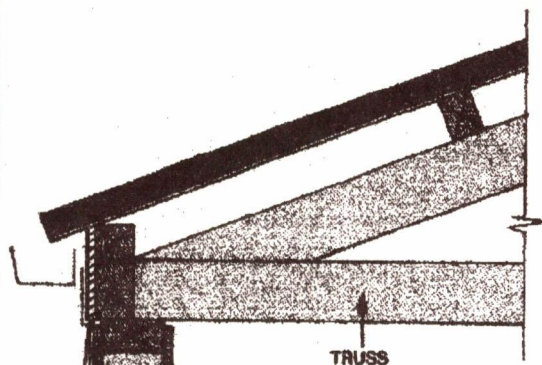
Gib® Residential Garage Boundary Walls have been specifically designed to fall inwards, away from the adjacent property boundary, when collapse conditions are reached during a fire and therefore satisfy the requirements of NZBC Clause C4 – Structural Stability during Fire.

NOTES:

- i) Wall construction in accordance with 'Gib Board® Fire Rated Systems, 1992' GBTL 30 or GBTL 60 depending on the required Fire Resistance Rating (FRR).
- ii) Sheets joints in the external Gib Fyrelite® linings on the outside of the frame, i.e., under the cladding system, do not require taping and stopping.
- iii) Impervious cladding materials with a ventilating air-space, such as steel or aluminium weatherboards, may be installed over building paper directly over the external Gib Fyrelite® lining.
- iv) Absorbent cladding materials such as plywood or fibre cement must be separated from the external Gib Fyrelite® lining by means of vertical battens, with a nominal depth of 50mm, and building paper behind the cladding material.

Reference

Macdonald Barnett Partners, Consulting Civil and Structural Engineers, Report No 5109 CRB, dated 13 October 1993, and Producer Statement dated 1 March 1994.

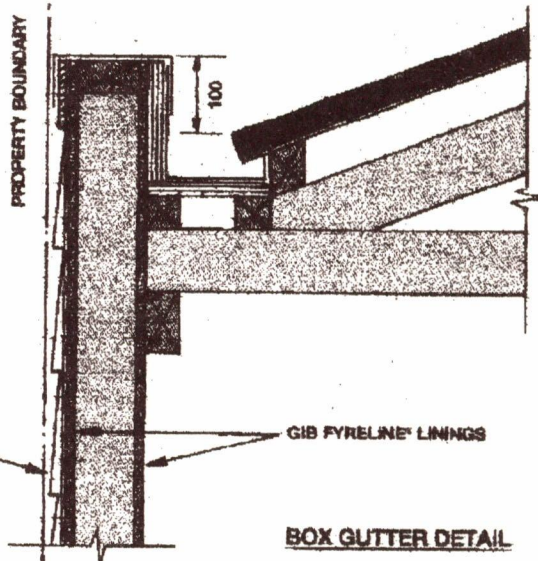


TRUSS

GIB FYRELINE® LININGS

CLADDING OVER
BUILDING PAPER

EXTERNAL GUTTER DETAIL



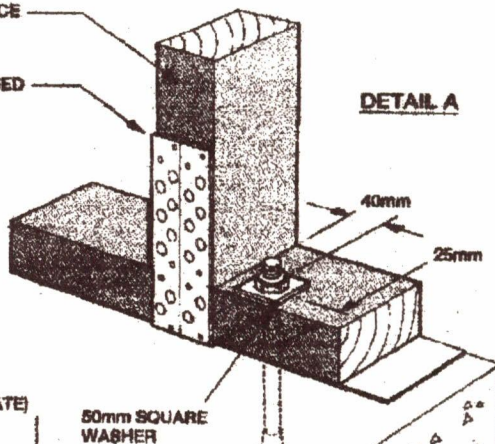
GIB FYRELINE® LININGS

BOX GUTTER DETAIL

INSIDE STUD FACE

2 No. 25 x 1mm GALVANISED
MILD STEEL STRAP
6 NAILS TO STUD &
6 NAILS TO PLATE
(2 SIDE & 4 INSIDE)
OR EQUIVALENT FIXING
WITH 12kN CAPACITY

DETAIL A



50mm SQUARE
WASHER

M10 CHEMSET
50mm INTO CONCRETE,
Ø 800 CRS
OR EQUIVALENT FIXING
WITH 12kN CAPACITY

D10 @ 500 CRS
500 AND 800mm
INTO SLAB (ALTERNATE)

D12

D12

40mm

500mm

800mm

PROPERTY BOUNDARY



WINSTONE WALLBOARDS LTD

Auckland Tel 0-9-634 2184 Fax 0-9-634 3972
Wellington Tel 0-4-566 4293 Fax 0-4-566 7844
Christchurch Tel 0-3-332 3159 Fax 0-3-337 1014

ROOFER

Coloursteel Roofing

Coloursteel G2z roofing shall be fixed in accordance with manufacturers instructions with approved laps, nails, etc. and shall match existing.

Flashings

Fit all ridges, barge, etc and generally all flashings required to make the roof entirely watertight. Flashing material shall match roofing.

Spoutings & Downpipes

Provide Taylor fascia in accordance with manufacturers instructions.

Support on securely fixed suitable brackets at 900mm c/s with fall graded to outlets.

Downpipes shall be 80 dia. PVC to be constructed with proper offsets and shoes and to be supported by at least 2 straps screwed to plugs in wall.

Downpipes shall discharge to soakholes the approval of the Territorial Authority.

PLUMBER

N.Z. Building Code

The Contractor shall follow the Approved Documents with regard to the criteria and/or methods that must be used in this section to establish compliance with the Code.

G1/AS1	Personal Hygiene
	2.0 Fixture Construction
	3.0 Location of Sanitary Fixtures
G12/AS1	Water Supplies
G13/AS1	Foul Water - Sanitary Plumbing

General

All materials shall be the best of their respective kinds and all workmanship shall be in accordance with the best trade practice. The whole of the materials and workmanship shall conform to the Territorial Authority regulations.

Flashings

Flash all openings through roof with lead flashings as required. Generally provide all necessary flashings to make building completely watertight.

Cold Water Supply

Extend from existing main in 30mm PVC to Garage. Extend to W.C. and whb in 15mm copper pipe.

Taps

Supply and install Owner selected taps.

W.C. Pan

Provide and fix first quality materials. The W.C. pan shall be complete with plastic seat and lid, flush pipe and a 14 lt low down flushing cistern. required. Consult with Owner as to colour and style required.

Wastes & Vents

All fittings shall be complete with wastes and traps, (anti-vac where long runs and chrome plated where exposed) and vented where necessary. Provide and fix a PVC terminal vent where required complete with bird proof cowl. Backvent fittings as required.

DRAINLAYER

N.Z. Building Code

The Contractor shall follow the Approved Documents with regard to the criteria and/or methods that must be used in this section to establish compliance with the Code.

B1/AS1	Structure - General
	6.0 Drains
E1/AS1	Surface Water
	3.0 Drainage System Materials & Construction
G13/AS2	Foul Water - Drainage

Regulations & Permits

All drainage work shall be carried out by a licensed drainlayer and to the requirements of the Territorial Authority and of the Plumbing & Drainage Regulations. The Contractor shall pay all fees and charges demanded by the Territorial Authority in connection with such work.

Drainlaying Generally

Water, cement, sand and shingle shall conform to the requirements of NZSS for concrete aggregates. All work shall comply with the Plumbing and Drainage regulations and to the approval of the Territorial Authority. All work shall be carried out by a licenced drainlayer.

Excavation

Excavate for all drains to the widths required, to regular and even falls and leave with clean cut bottoms, to a minimum depth of 600mm. Backfill as described in excavation.

Pipes

All pipes and fittings carrying sewage shall be of first quality PVC 110mm dia.

Stormwater pipes may be PVC or concrete to size shown on drawings.

Laying of Soil Drains

All changes in direction shall be made with Inspections Junctions, Inspection Bends or Y Junctions with cleaning eye. All runs of drains shall have inspection points at 12m intervals along the drain and fix cleaning eyes at ends of all drains.

DRAINLAYER - CONT.

Sewer Connection

Connect sewer drains to Council Sewer System. Check position of connection before commencing work.

Gully Traps

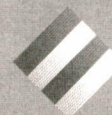
All gully traps shall be of the closed type with wastes discharging below ground level.

Stormwater Drainage

The contractor shall allow to excavate for drains and lay approved stormwater drainage. Stormwater to discharge to soakholes.

Inspection & Testing

Allow for the inspection and testing of all new drains by the Territorial Authority before filling in.



May 30, 2007

HABBERFIELD TRUST
P O BOX 10329
BAYFAIR 3030

Barkes Corner
Greerton, Tauranga
Private Bag 12803
Tauranga 3030
Telephone 07 571 8008
Facsimile 07 577 9820
customer@wbopdc.govt.nz
www.wbopdc.govt.nz

CCC
UNISSUED

Dear Sir or Madam

**BUILDING CONSENT NUMBER 60884
APPLICATION FOR AMENDMENTS**

Your application to amend a Building consent already issued has been approved. The amendments now become part of the original Building Consent and you can proceed with the work.

The following additional endorsements are a condition of the approval:

THIS CONSENT IS SUBJECT TO AN AMENDMENT TO THE BUILDING CODE REQUIREMENTS TO THE EFFECT THAT CLAUSE B2.3.1 APPLIES FROM 30 DECEMBER 1998 INSTEAD OF FROM THE TIME OF ISSUE OF THE CODE COMPLIANCE CERTIFICATE IN RESPECT OF ALL THE LISTED ELEMENT

~~Attached is a sundry invoice showing the new charges and any payments made by you. If there are fees owing that relate to this amendment for the project, they must be paid before the amended project can be issued.~~

Please remember to call for inspections and to advise the Council when the project is fully completed

Yours faithfully

Regulatory Officer
gjr:gjr:107806

Application to Amend Building Consent

Section 45, Building Act 2004

25 MAY 2007

Building Consent No

60884

Project/Location

Address

7 Nettingham Place
Tepuke

Project

Description as on original
Building Consent

Note: Supply in duplicate full plans and specifications to clearly show the extend and details of proposed amendment

Description and Reason for Proposed Amendments

This consent is subject to an amendment to the Building Code requirements to the effect that clause B2.3.1 applies from 30 December 1988 instead of from the time of issue of the Code Compliance Certificate in respect of all the listed elements.

Signature: (Owner/Agent)

Full Name:

Bruce Hobbartfield Lee
Bruce Hobbartfield Lee

Fee (Office Use Only)

	Amount	Date Paid	Receipt No
Processing Fee	/		
Extra Inspections	/		
Other	/		
Total	/		

Reviewed for any Changes to the PIM

Office Use Only

Additional Information Required

Yes

☐

No

☐

Additional Endorsements to Original Building Consent

Yes, Specify

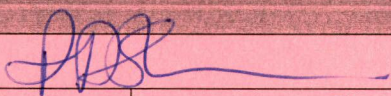
☐

No

☐

Approved

Building Inspector:



Date:

25 / 5 / 07

Number of Extra Inspections:

