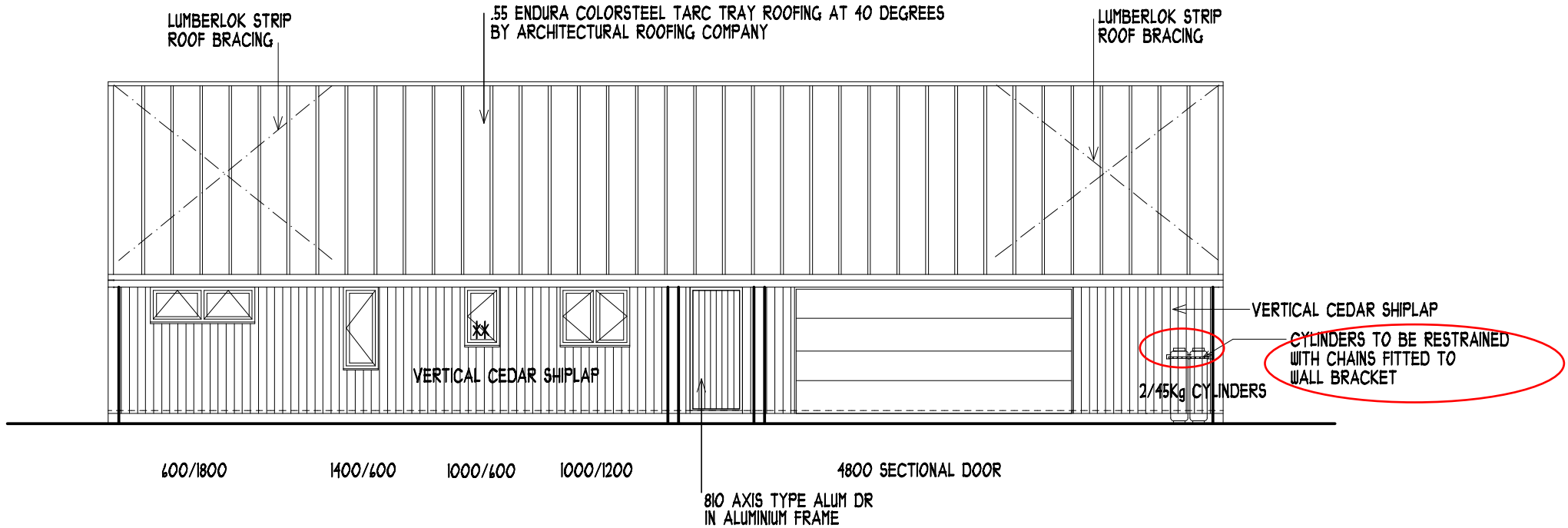


# Approved Building Consent Documents

**Please Note: A copy of the stamped approved documents must be available on site for all inspections.**

INSPECTION BOOKING TIMEFRAMES		
Telephone 03 347 2839		
Call received	<i>Before 3pm inspection will be done</i>	<i>After 3pm inspection will be done</i>
Monday	Wednesday	Thursday
Tuesday	Thursday	Friday
Wednesday	Friday	Monday
Thursday	Monday	Tuesday
Friday	Tuesday	Wednesday

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.



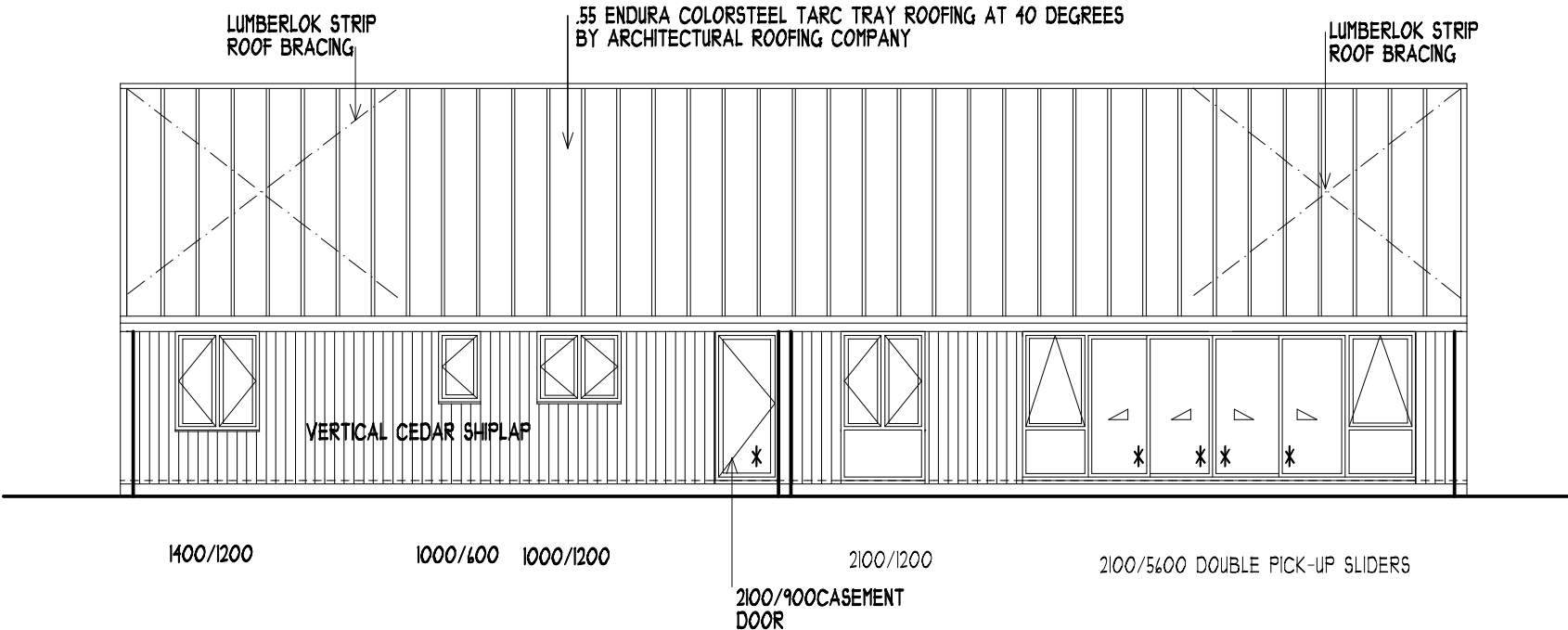
**SOUTH THERMAL CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 23.5sqm  
TOTAL AREA OF GLAZED AREAS: 3.7sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 15.7%

## SOUTH VIEW

**NOTE: ALUMINIUM JOINERY & GLAZING**  
VERIFY ALL DIMENSIONS ON SITE BEFORE MANUFACTURE  
ALL UNITS TO BE DOUBLE GLAZED-MIN R RATING 0.24  
INSULATED GLASS UNIT IGU CLEAR/CLEAR  
VERIFY ALL COLOURS, FINISHES, HANDLES, ETC WITH OWNER.  
VERIFY ALL DOORS TO BE KEYED ALIKE  
ALL TIMBER REVEALS SHALL BE H3.1 TREATED  
ALL GLAZING SHALL COMPLY WITH NZS 4223:1999, & PARTS 1, 2, 3 & 4.  
\* TYPE 'A' SAFETY GLAZING  
\*\* TYPE 'A' SAFETY GLAZING TO INSIDE

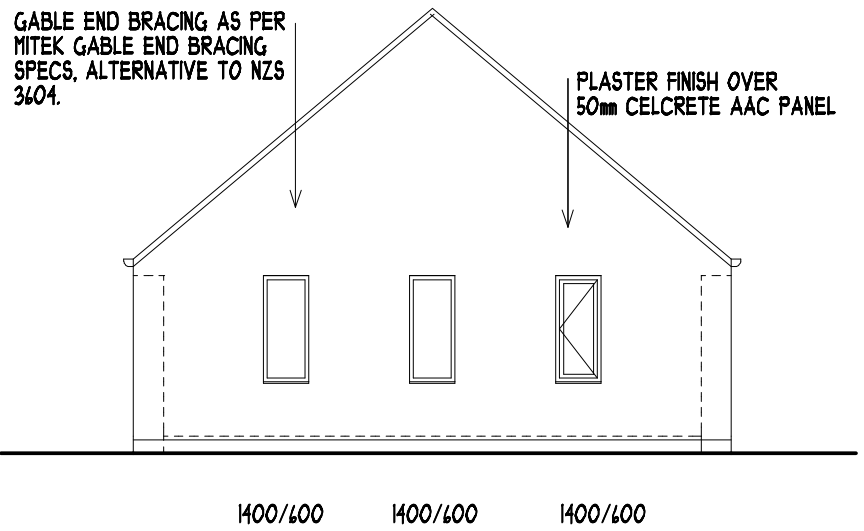
**THERMAL H1 CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 81sqm  
TOTAL AREA OF GLAZED AREAS: 23.4sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 28.8%

**SOUTH/EAST/WEST THERMAL H1 CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 51.5sqm  
TOTAL AREA OF GLAZED AREAS: 9.4sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 16.3%  
CALCULATION METHOD USED-GLAZING MORE THAN 30%



**NORTH THERMAL H1 CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 23.5sqm  
TOTAL AREA OF GLAZED AREAS: 14sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 59.6%

## NORTH VIEW

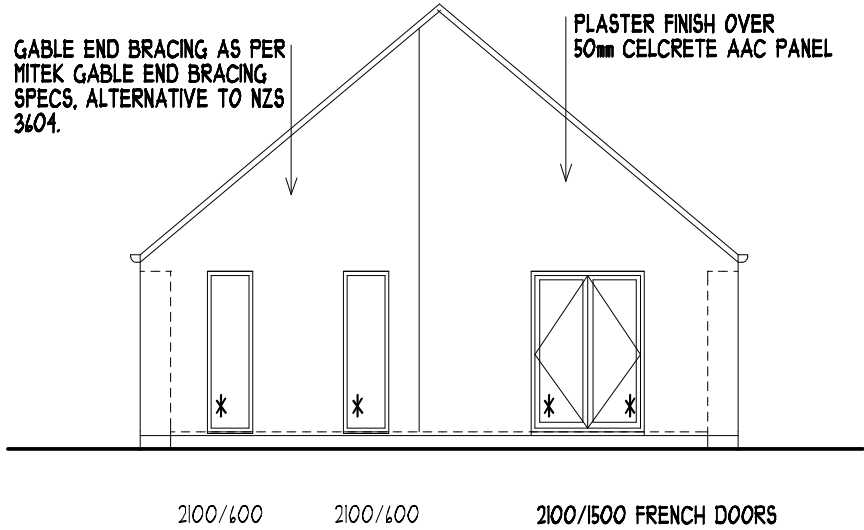


## EAST VIEW

**EAST THERMAL H1 CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 171sqm  
TOTAL AREA OF GLAZED AREAS: 0sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 0%

Elevation : NORTH & SOUTH		Risk severity					
Risk factor	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTALS FOR EACH RISK FACTOR		
Wind zone	0	0	1	2	1		
Number of storeys	0	0	1	4	0		
Roof/Wall intersection design	0	0	3	5	0		
Eaves width	0	1	2	5	2		
Envelope complexity	0	1	3	6	1		
Deck design	0	2	4	6	0		
Total risk score:					4		

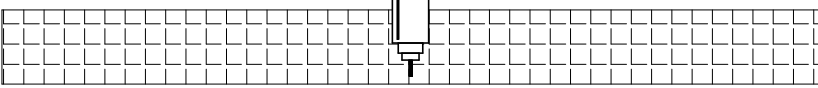
Elevation : EAST & WEST		Risk severity					
Risk factor	LOW	MEDIUM	HIGH	VERY HIGH	SUBTOTALS FOR EACH RISK FACTOR		
Wind zone	0	0	1	2	1		
Number of storeys	0	0	2	4	0		
Roof/Wall intersection design	0	1	3	5	1		
Eaves width	0	1	2	5	5		
Envelope complexity	0	0	3	6	1		
Deck design	0	0	4	6	0		
Total risk score:					8		



## WEST VIEW

**WEST THERMAL H1 CALCULATIONS:**  
TOTAL AREA OF THERMAL ENVELOPE: 171sqm  
TOTAL AREA OF GLAZED AREAS: 5.7sqm  
TOTAL PERCENTAGE OF ALL WALLS GLAZED: 33.5%

Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025  
Phone (03) 338 1206  
email: w.sheddan@clear.net.nz

PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP318610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

ELEVATIONS

Date : Tuesday, 31 January, 2017

Scales : 1:100

Shts:

Sht 1 of 8

Ref No :

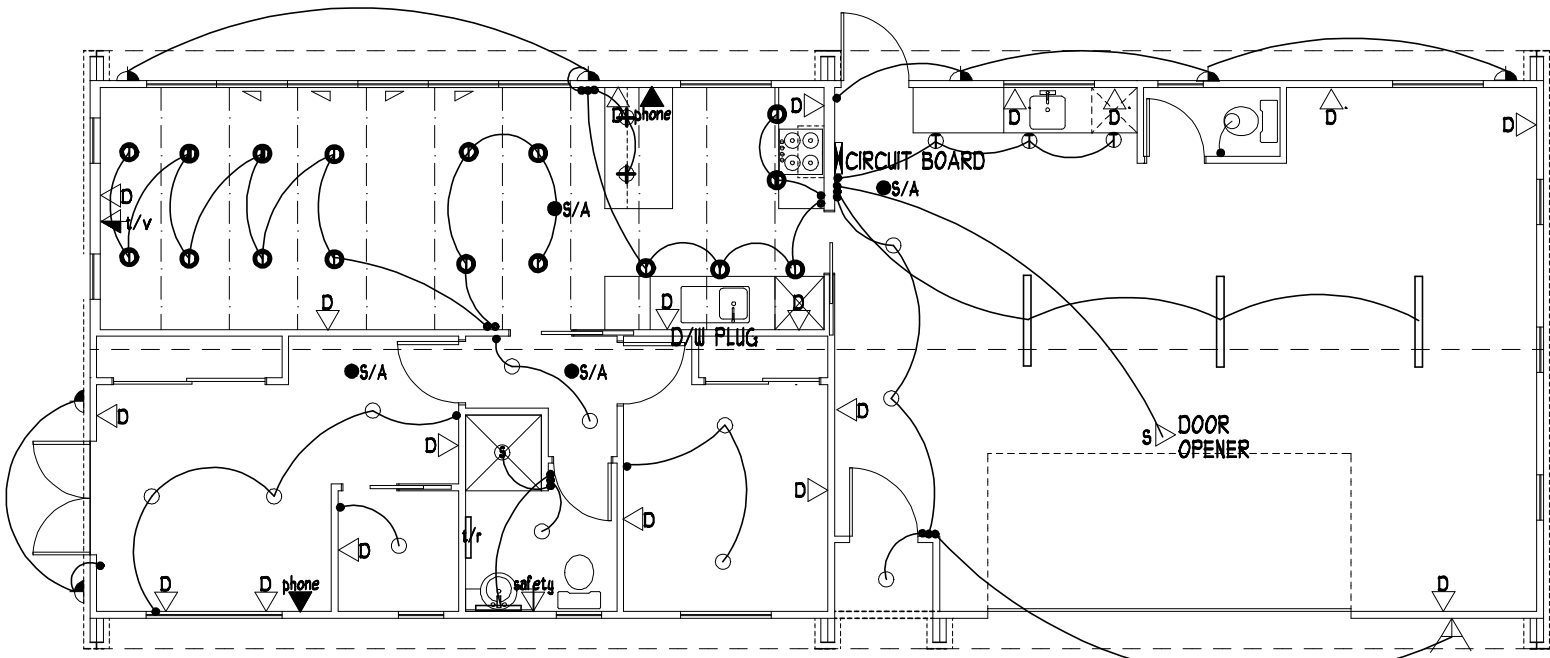
SP199

AMENDED: 28/04/2017

NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.

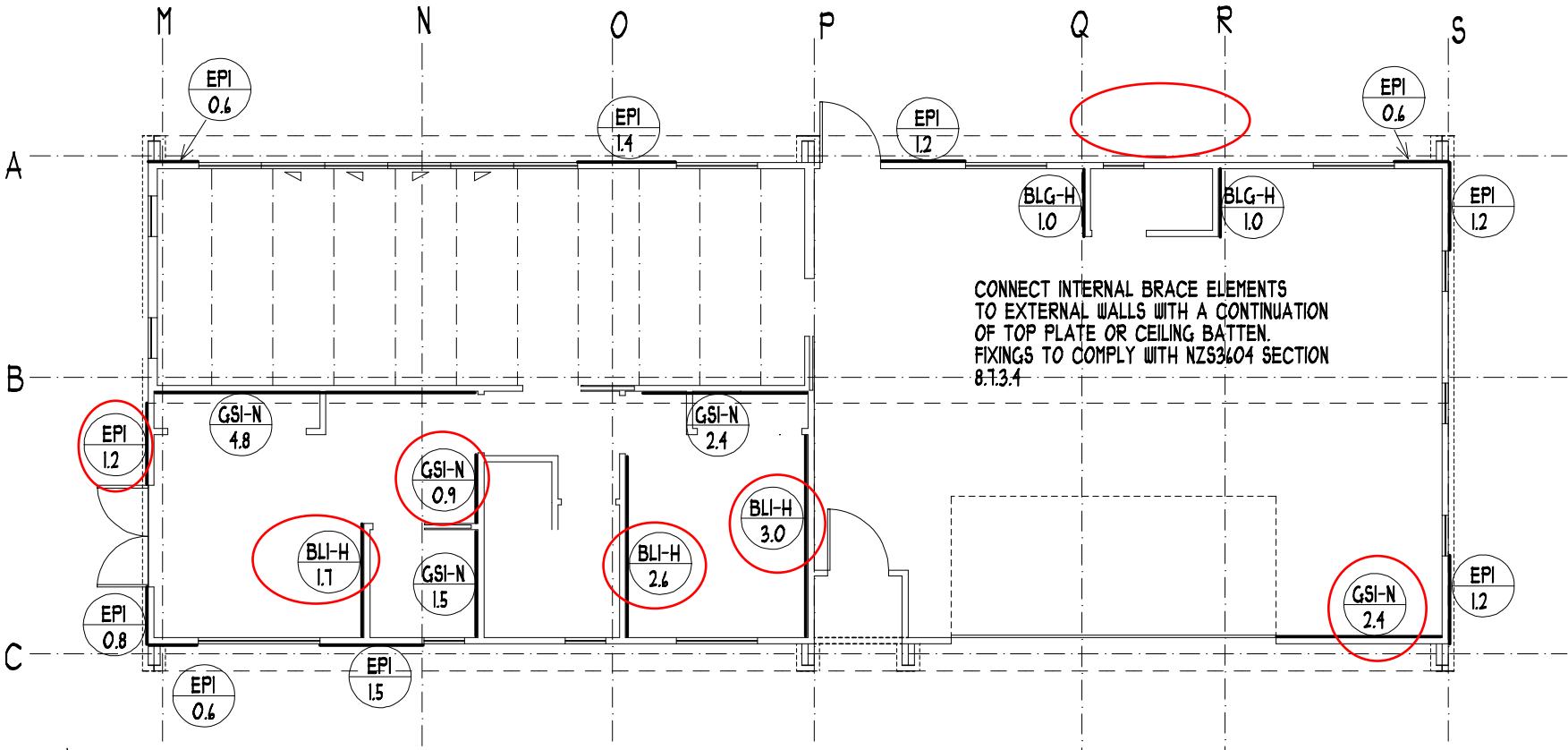
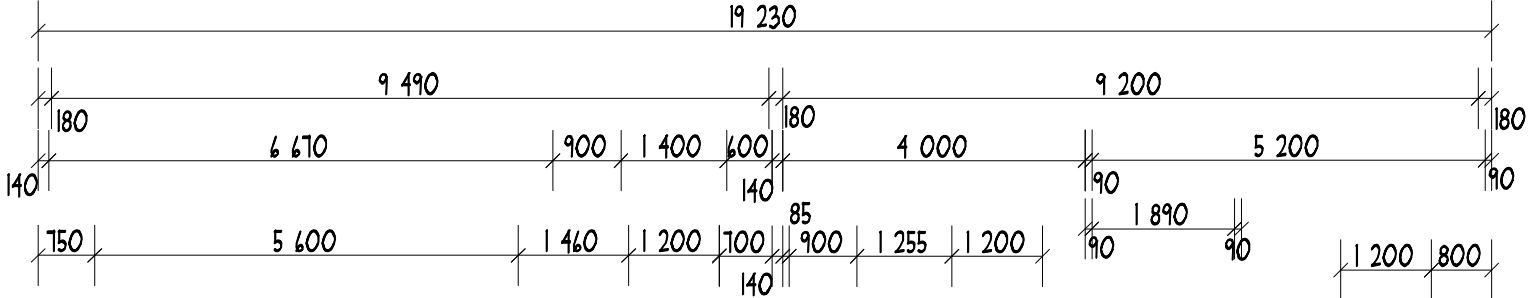
ELECTRICAL KEY

- ◁▷ DOUBLE SWITCHED SOCKET
- △ SINGLE SWITCHED SOCKET
- ◁▷ safety DOUBLE SWITCH BATHRM SOCKET
- ◁▷ t/v TV SOCKET
- ◁▷ phone TELEPHONE SOCKET
- ◁▷ h/r HEATED TOWEL RAIL
- TWIN FLUO
- MIRROR LIGHTING
- DOUBLE SPOTS WITH SENSOR
- OUTSIDE WALL LIGHT
- PENDANT LIGHT
- IC - F TILTING SPOT LIGHT
- CA135 TILTING SPOT LIGHT
- CA135 RATED SPOT LIGHT
- CA135 RATED SHUR SPOT LIGHT
- S/A SMOKE ALARM WITH TEST & HUSH BUTTONS



ELECTRICAL PLAN

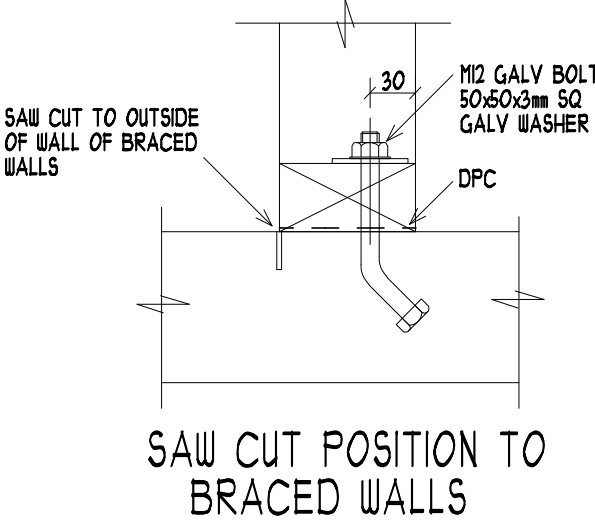
NOTES: -ALL ELECTRICAL WORK TO BE FINALIZED ON SITE WITH OWNERS  
-ALL ARTIFICIAL LIGHTING WILL COMPLY WITH THE REQUIREMENTS OF G8.  
-ALL DOWNLIGHTS TO BE COMPLIANT WITH ELECTRICAL SAFETY REGULATIONS 2010, AND NZBC CI SECTION 1.1



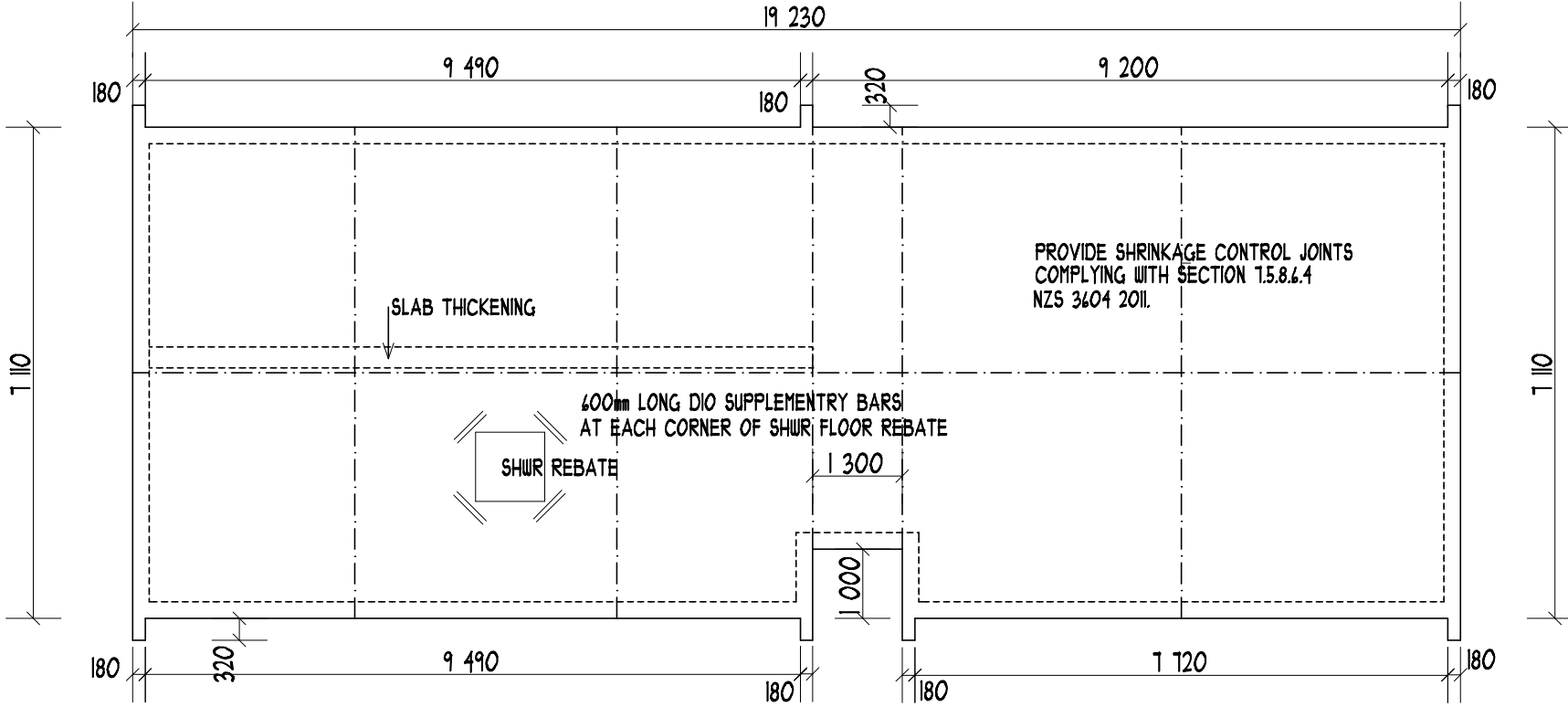
BRACING PLAN

-ALL EXTERIOR PLY BRACING TO BE CARTER HOLT HARVEY 7mm H3 ECOPLY PLYBRACE. ALL BRACING SHEETS SHOWN SHALL BE FIXED AS DETAILED IN STRUCTURAL PLYWOOD PROPERTIES & APPLICATIONS MANUAL (MARCH 2014), OR VIEW ON [www.ecoply.co.nz](http://www.ecoply.co.nz). ALL FIXINGS TO BE GALV

-GIB BRACING SYSTEMS TO BE FIXED AS DETAILED IN GIB EzgBracing SYSTEMS MANUAL (JUNE 2011), VIEW ON [www.gib.co.nz](http://www.gib.co.nz)



SAW CUT POSITION TO BRACED WALLS



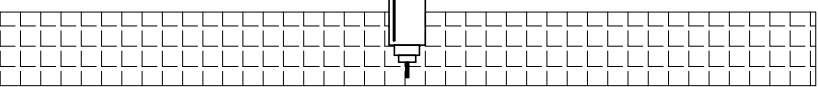
FOUNDATION PLAN

FLOOR PLAN  
FAMILY UNIT AREA: 10sqm  
GARAGE AREA: 67sqm

ALL EXTERIOR FRAMING SHALL BE H12 TREATED 90x45 S&G FRAMING AT 400CRS  
COMPLYING WITH NZS 3604: 2011, NZS 3402: 2003 AND NZS 3440: 2003 AND AMENDED NZBC B2/AS1.  
ALL INTERIOR FRAMING SHALL BE H12 TREATED 90x45 S&G FRAMING AT 400CRS  
COMPLYING WITH NZS 3404: 2011, NZS 3402: 2003 AND NZS 3440: 2003 AND AMENDED NZBC B2/AS1.  
ALL TIMBER LINTELS TO AS SHOWN ON PLANS AND SHALL BE H12 TREATED S&G GRADE COMPLYING WITH TABLE B.2 NZS 3604:2011. ALSO REFER TO TRUSS LAYOUT FOR ANY CHANGES TO LINTEL SIZES AT LOADED AREAS.  
ALL LINTELS & FIXING TO BE IN ACCORDANCE WITH NZS3604, 2011, SECTION 8.4 (FIG 8.12) AND TABLE 8.14\* OR AS SHOWN ON TRUSS DESIGN

ALL WET AREAS TO BE LINED WITH GIB AQUALINE. FOR FIXING DETAILS REFER TO GIB AQUALINE WET AREA SYSTEMS MANUAL (MARCH 2007) PAGES 10-22 OR VIEW ON [www.gib.co.nz](http://www.gib.co.nz). SEMI-GLOSS PAINT FINISH TO WALLS FOR TILED OR VINYL FLOOR FINISHES SEE WET AREA DETAILS  
ANY JOINTS BETWEEN BATHRM FIXTURES THAT ABUT IMPERVIOUS LININGS SHALL BE SEALED WITH A SILICON SEALANT WITH MOLD INHIBITOR.

Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025  
Phone (03) 338 1206  
email: [w.sheddan@clear.net.nz](mailto:w.sheddan@clear.net.nz)

PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP318610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

FLOOR PLAN  
ELECTRICAL PLAN  
BRACING PLAN  
FOUNDATION PLAN  
SAW CUT DETAIL

AMENDED: 28/04/2017

Date : Tuesday, 31 January, 2017

Scales : 1:100 1:5

Shts:

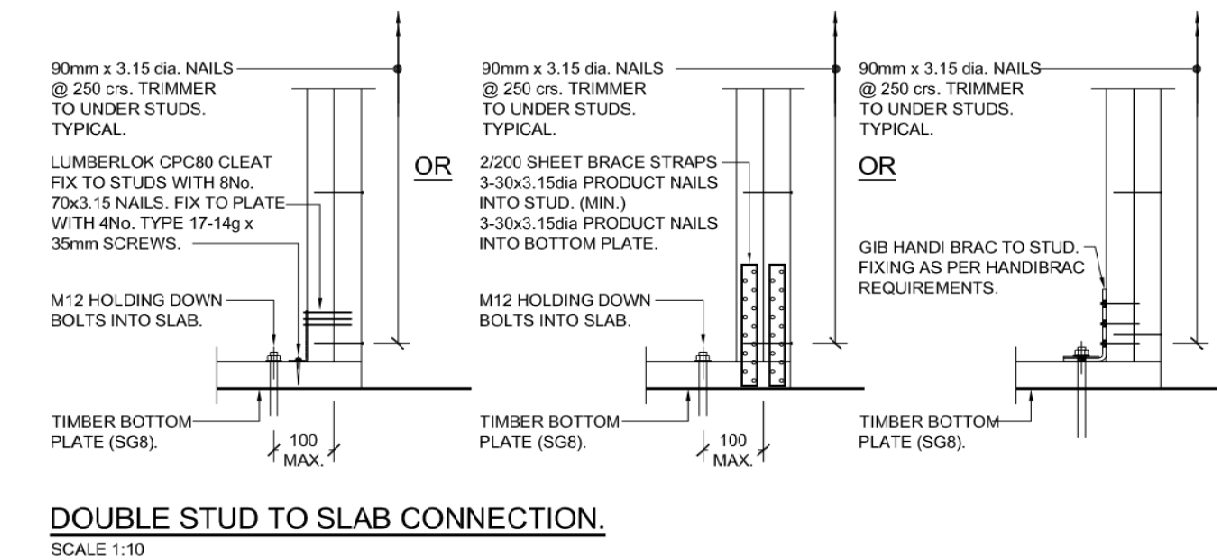
Sht 2 of 8

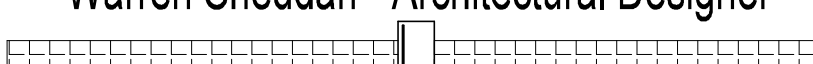
Ref No :

SP199

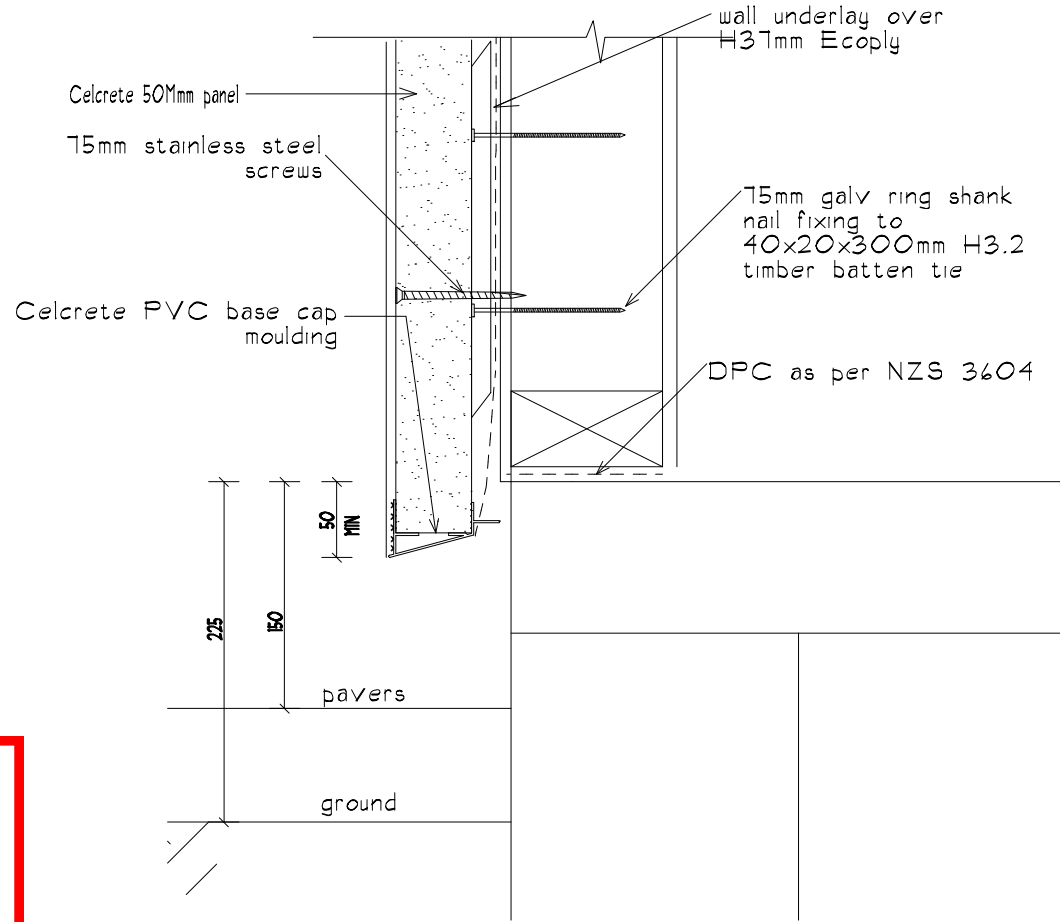


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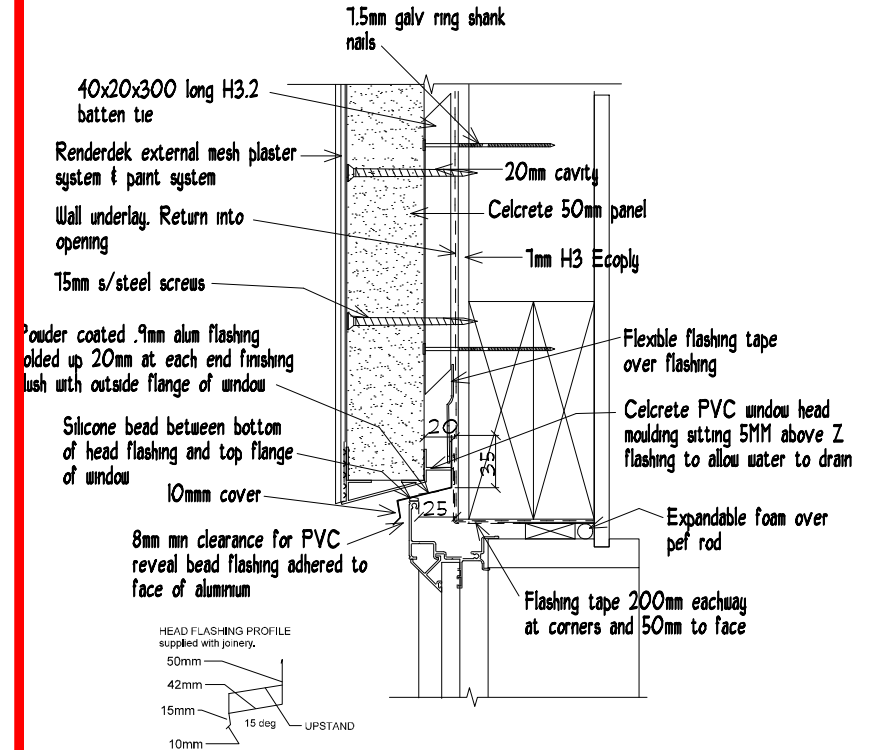


<p>Warren Sheddan - Architectural Designer</p>  <p>42 HAPPY HOME ROAD-CHRISTCHURCH 8025 Phone (03) 338 1206 email: w.sheddan@clear.net.nz</p>	<p>PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP378610 JOSHUA PLACE WESTMELTON FOR KEVIN AND COURTENAY UNSWORTH</p>	<p>CROSS SECTION A-A CROSS SECTION B-B SECTION C PFC DETAILS</p>	<p>Date : Tuesday, 31 January, 2017</p>	
		<p>Scales : 1:50 1:10</p>		
		<p>Shts:</p> <p>Sht 3 of 8</p>	<p>Ref No : SP199</p>	
<p>AMENDED: 28/04/2017</p>				

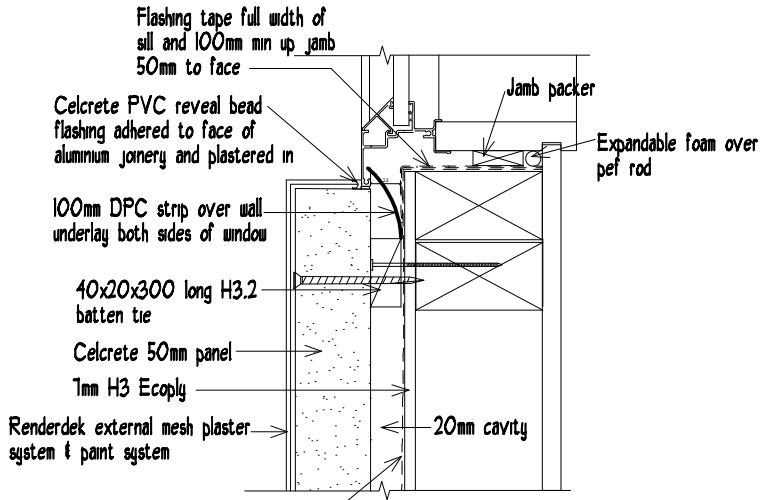
NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.



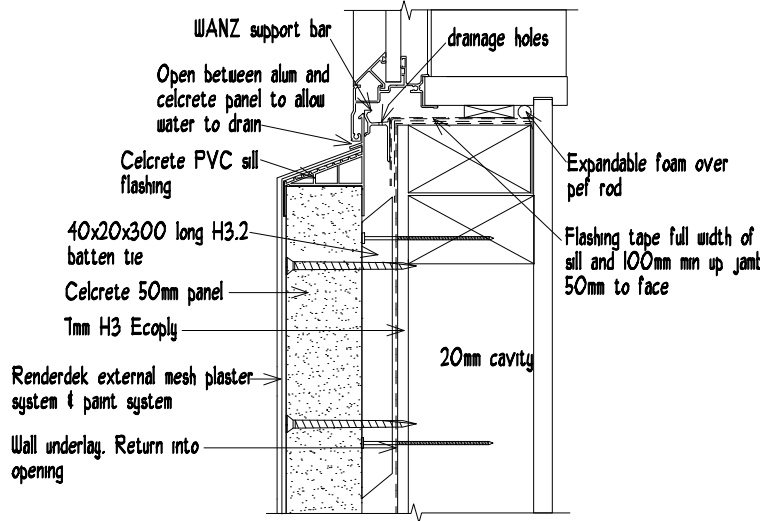
CELCRETE 50mm PANEL FOUNDATION DETAIL



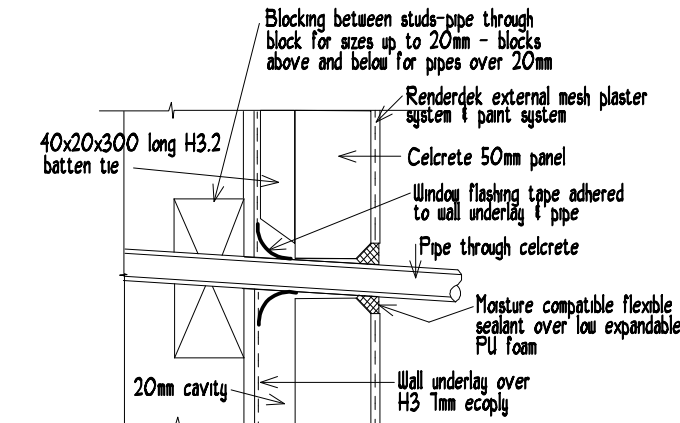
CELCRETE 50mm PANEL WINDOW HEAD DETAIL - 20mm CAVITY



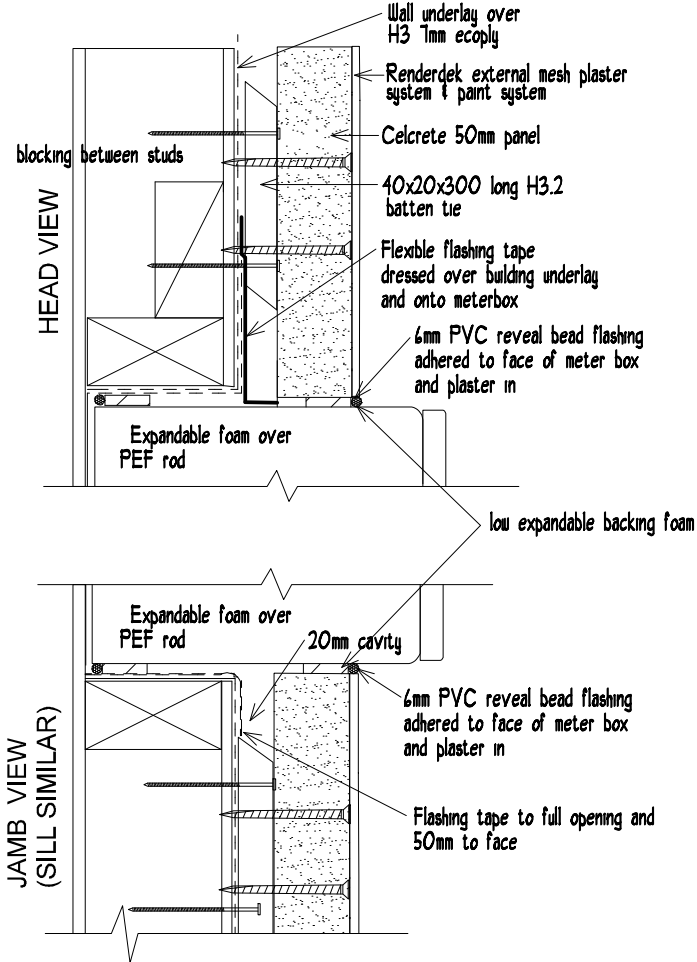
CELCRETE 50mm PANEL WINDOW JAMB - 20mm CAVITY



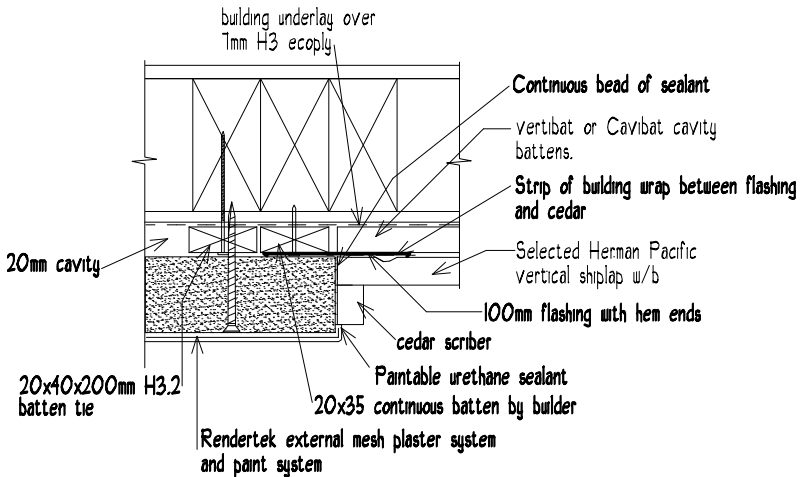
CELCRETE 50mm PANEL WINDOW SILL - 20mm CAVITY



CELCRETE 50mm PANEL PIPE PENETRATION - 20mm CAVITY



CELCRETE 50mm PANEL METER BOX INSTALLATION - 20mm CAVITY



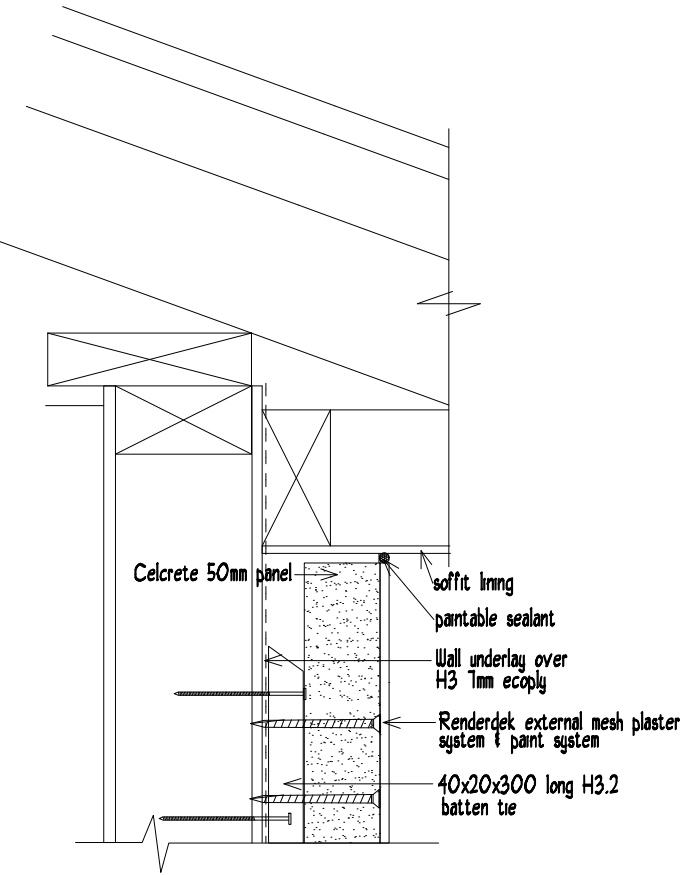
CELCRETE ABUTTING VERTICLE CEDAR SHIPLAP W/B (ENTRANCE)

COMMENT:  
Where possible, meter-boxes should be located in sheltered areas of the building, such as a porch, or be installed behind a weatherproof glazed panel.

When installing window tape apply pressure along entire surface for a good bond to wall and Meter box surfaces.

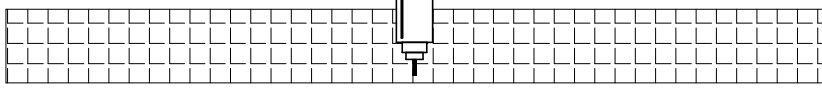
Care must be taken to ensure that when using low expandable PU foam excess foam is cut off. A moisture compatible flexible sealant is to be spread over the exposed foam edge .

Detail tape may need to be used around the corners of the meterbox to ensure weathertightness.



CELCRETE 50mm PANEL SOFFIT - 20mm CAVITY

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PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP318610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

50mm CELCRETE PANEL DETAILS

Date : Tuesday, 31 January, 2017

Scales : 1:5

Shts :

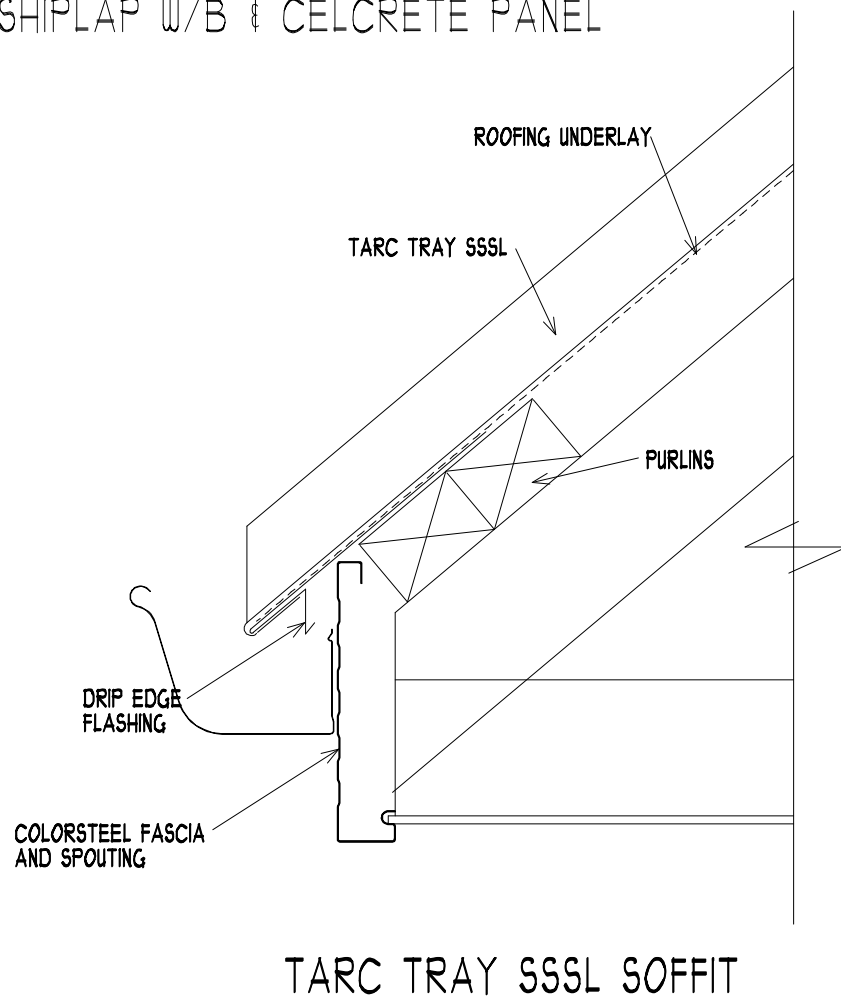
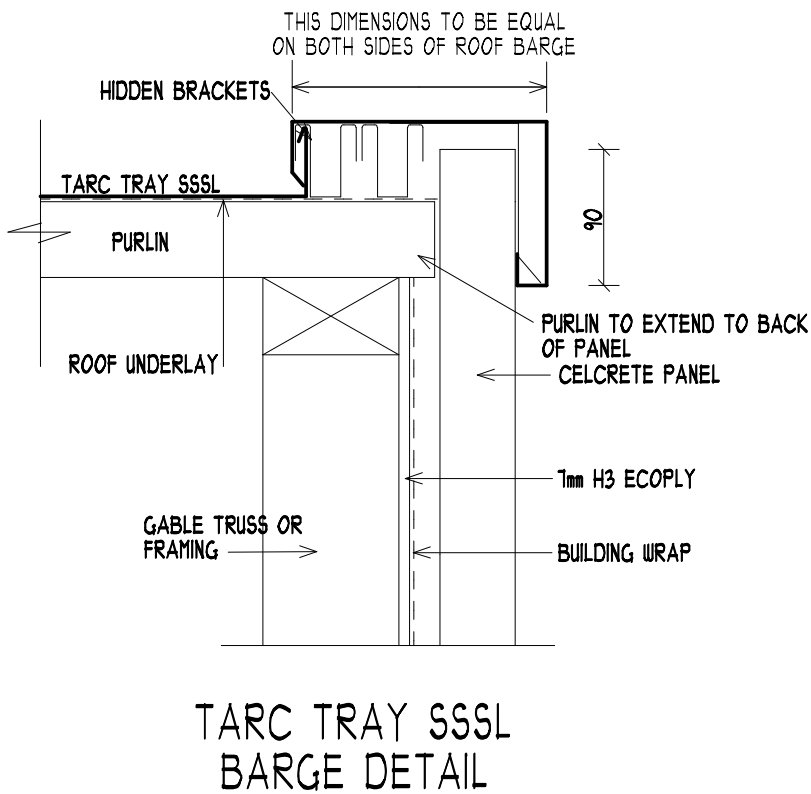
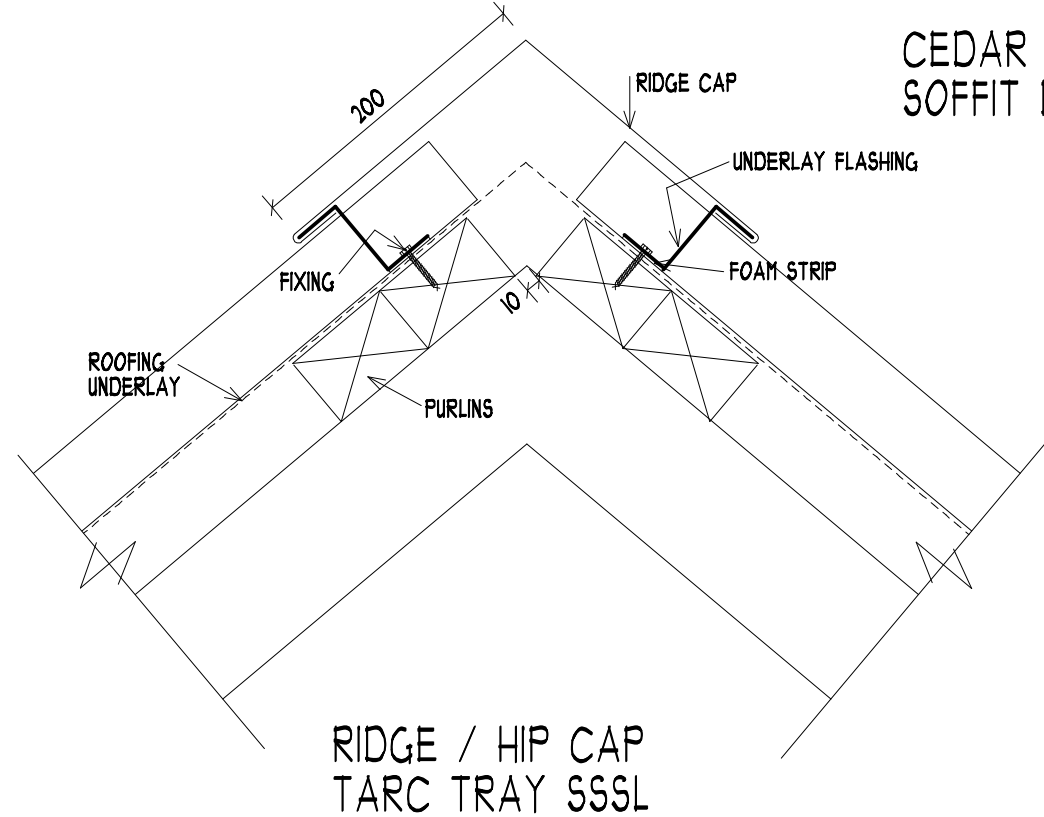
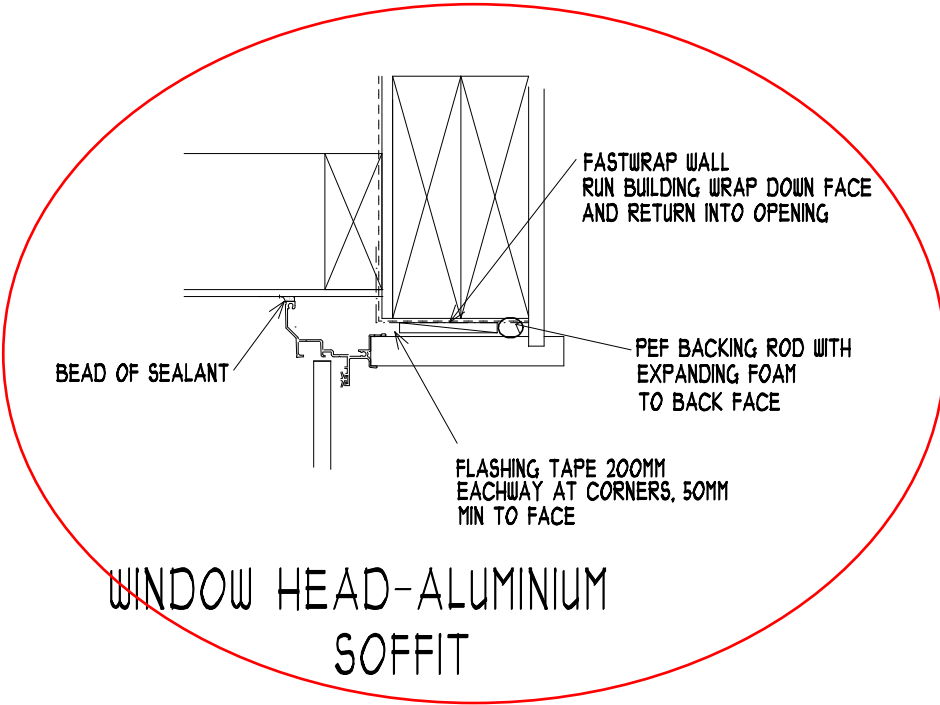
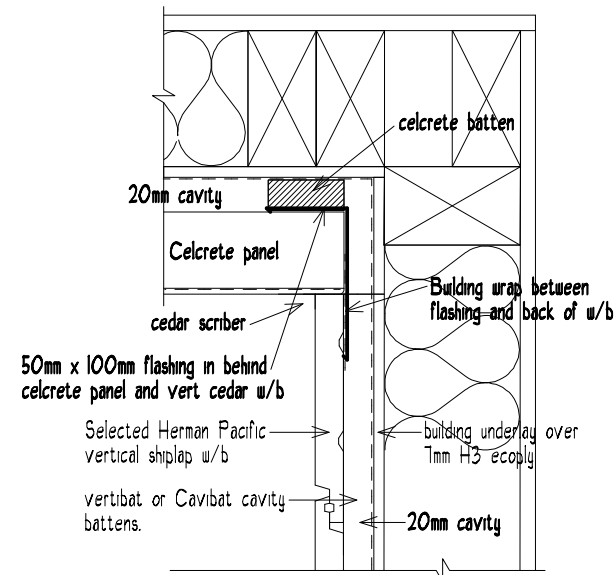
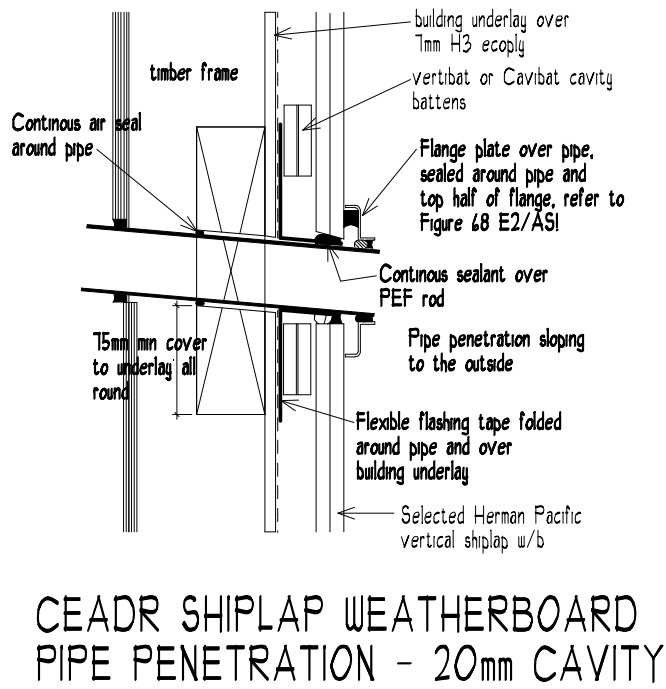
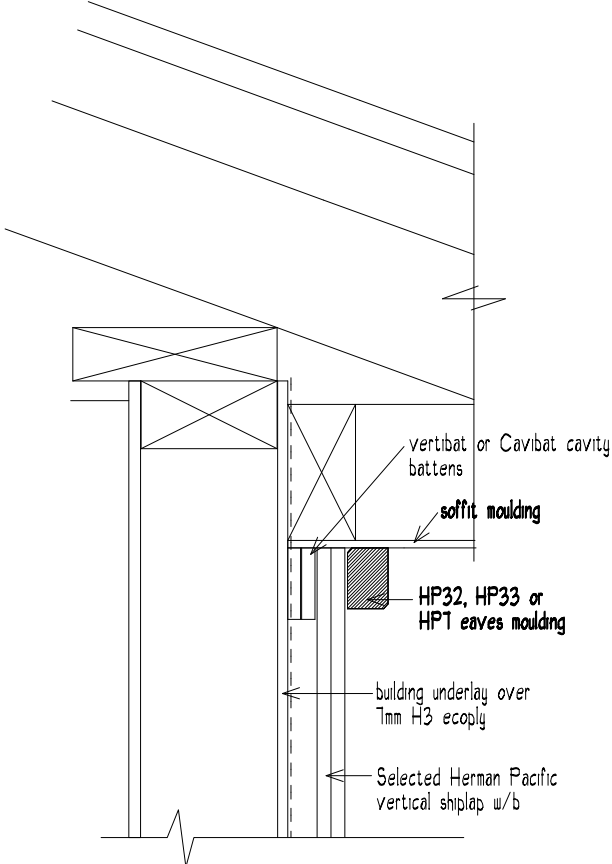
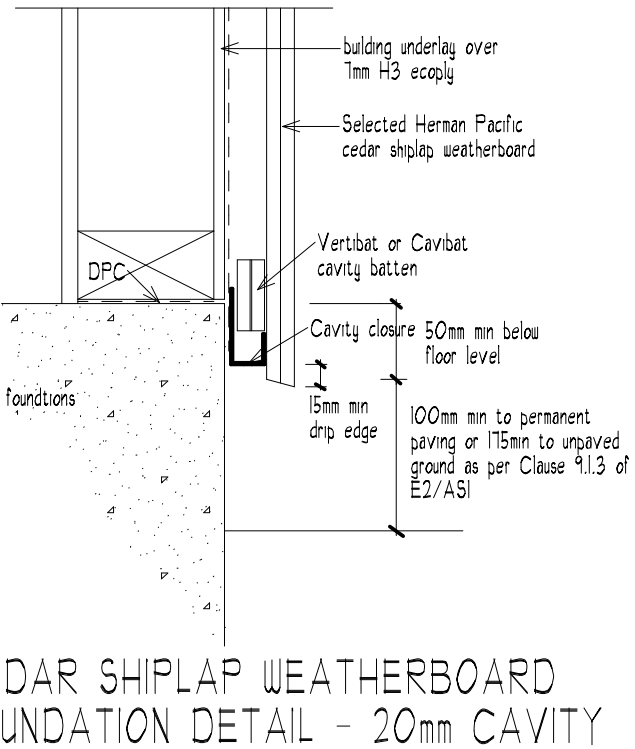
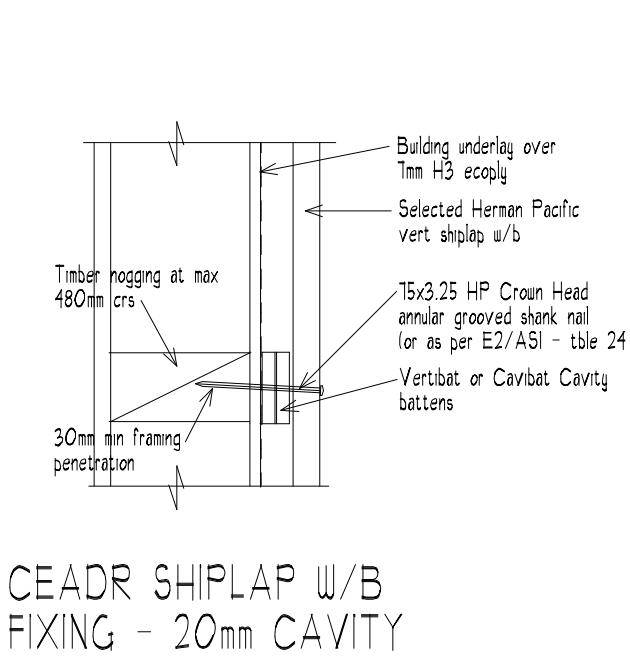
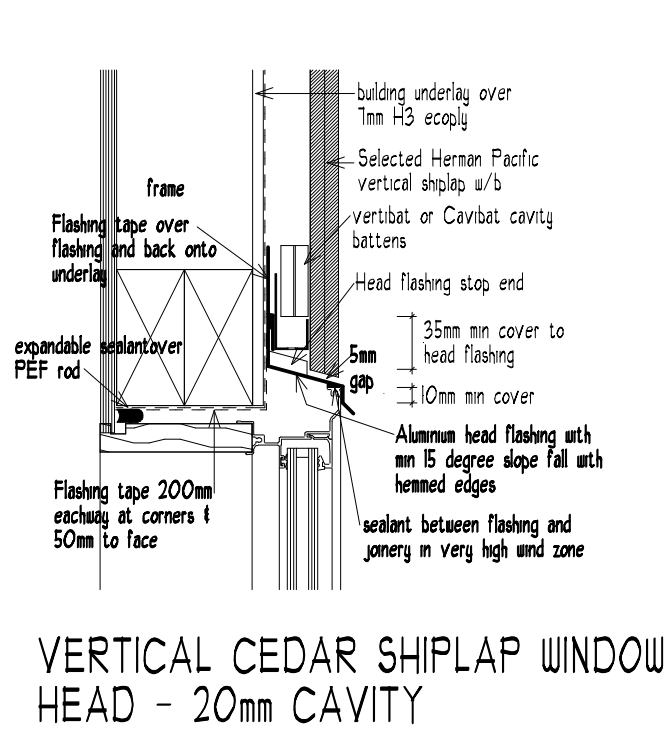
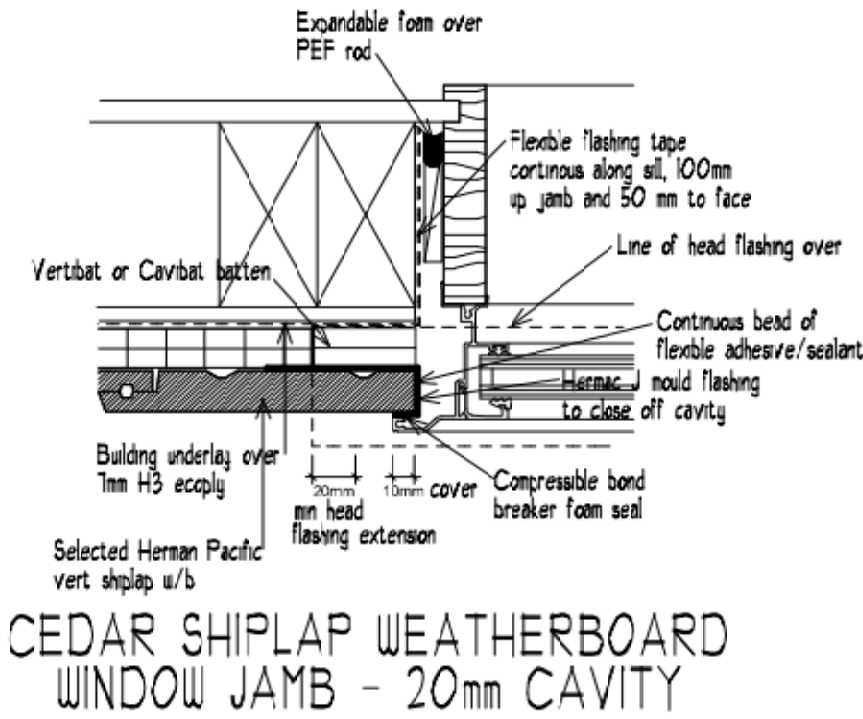
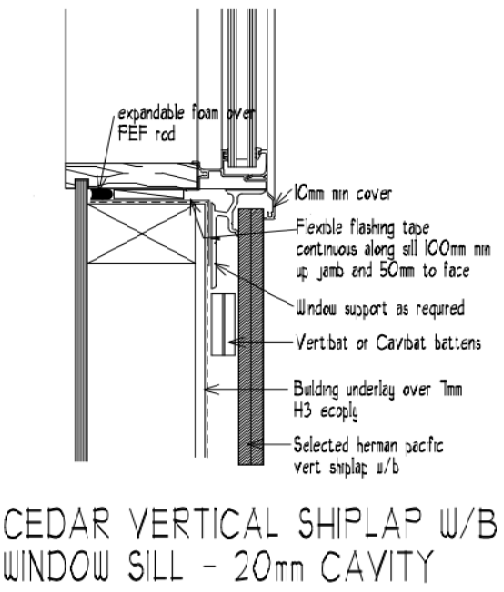
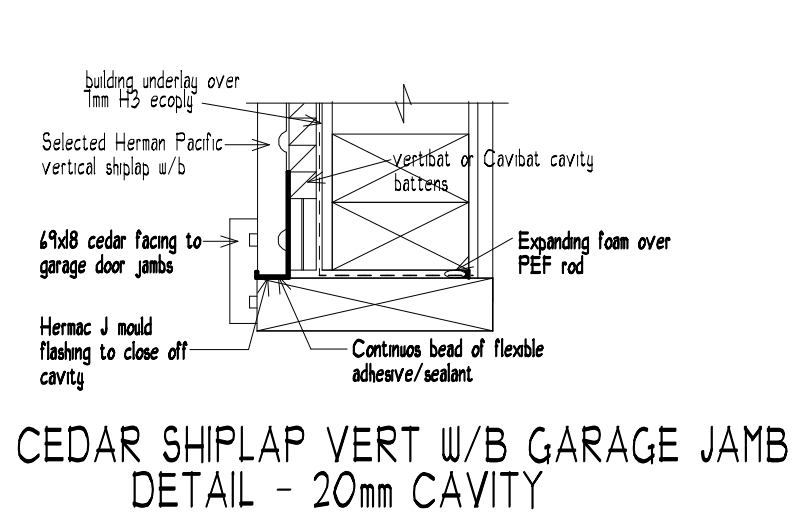
Sht 4 of 8

Ref No :

SP199



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PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP318610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

VERTICAL CEDAR W/B DETAILS  
TARC TRAY SSSL DETAILS

AMENDED: 28/04/2017

Date : Tuesday, 31 January, 2017

Scales : 1:5

Shts:

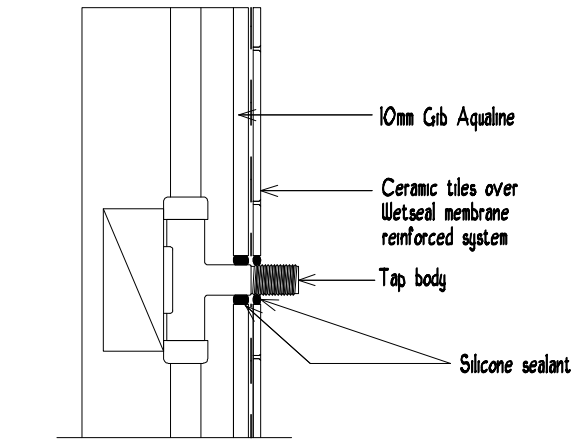
Sht 5 of 8

Ref No :

SP199

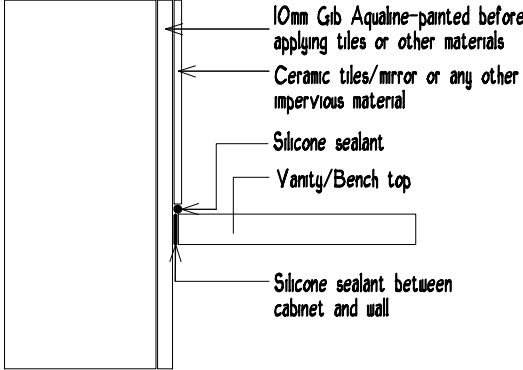
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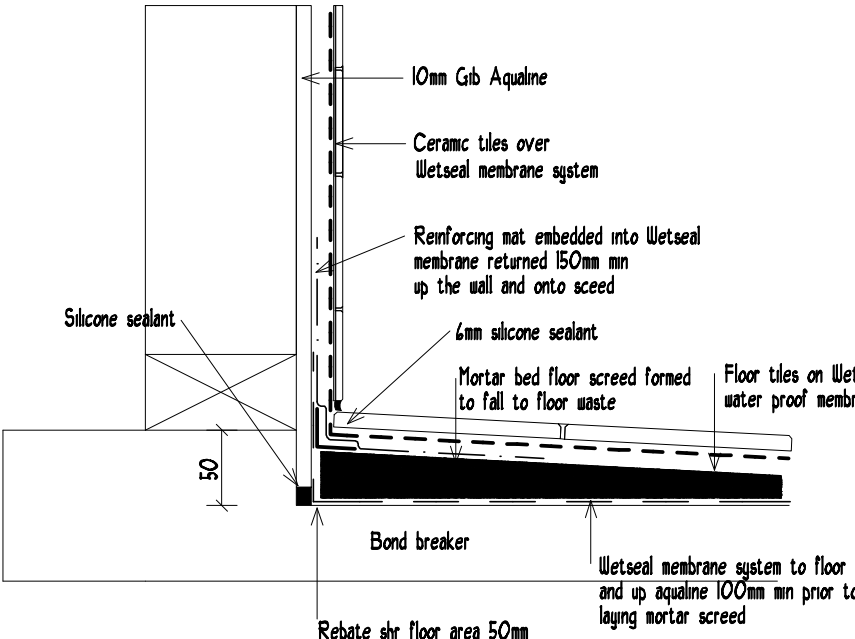


PIPE PENETRATION  
TILED WALL

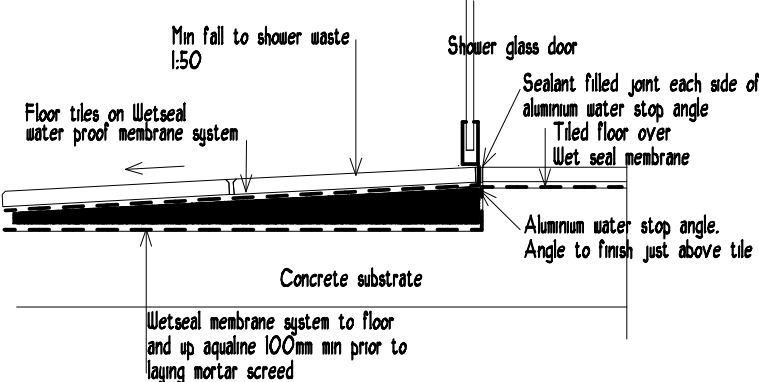
NOTE:  
All pipes to be fixed on  
resilient brackets.



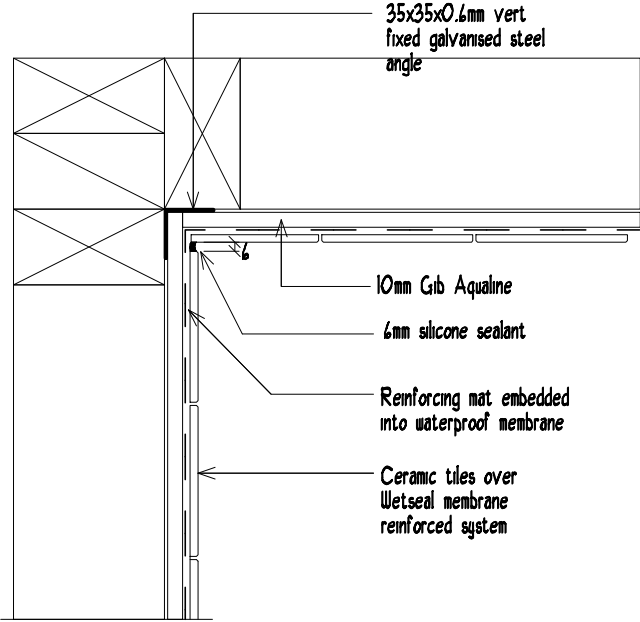
VANITY/BENCH TOPS  
IMPERVIOUS MATERIALS



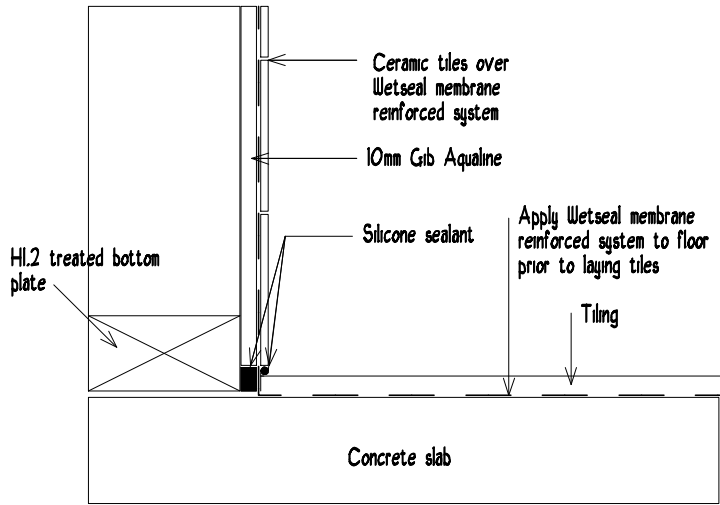
TILED SHR WITH TILED WALLS



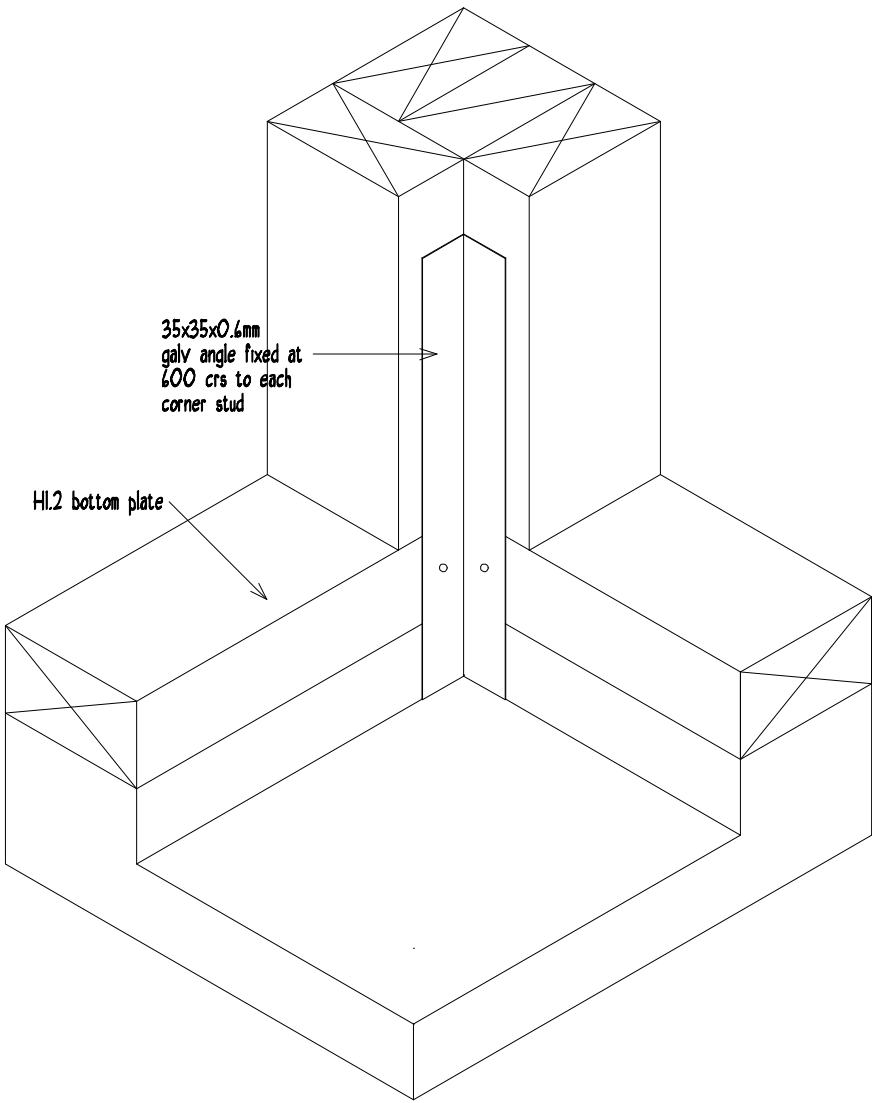
WATER STOP DETAIL TO TILED SHR



INTERNAL CORNER DETAIL  
TILED WALLS

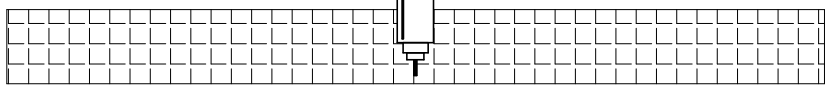


WALL/FLOOR DETAIL  
TILED WALLS AND FLOOR



SHR CORNER ANGLE DETAIL

Warren Sheddan - Architectural Designer



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Phone (03) 338 1206  
email: w.sheddan@clear.net.nz

PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP378610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

WET AREA DETAILS

Date : Tuesday, 31 January, 2017

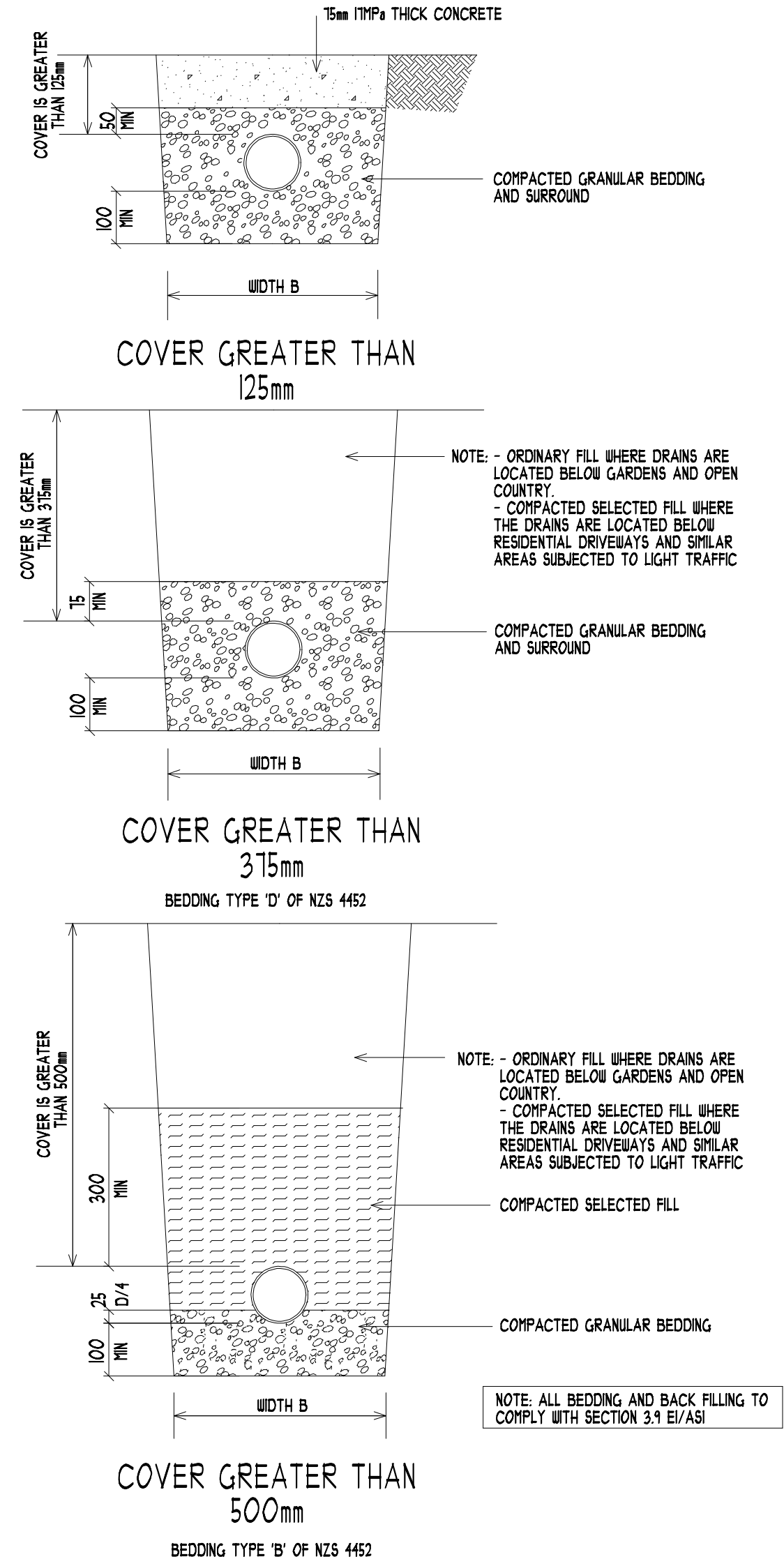
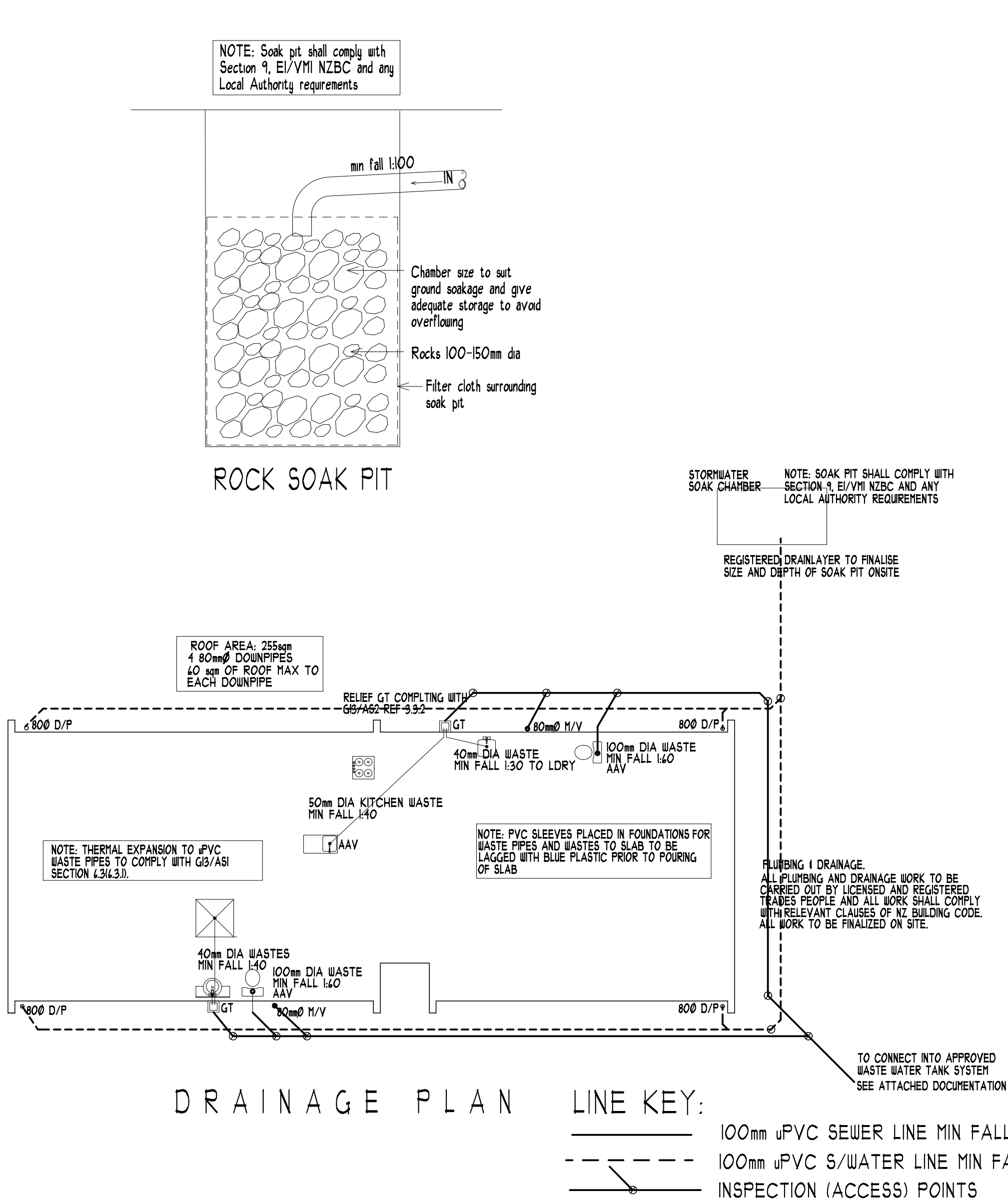
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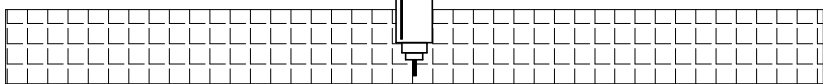
Shts:  
Sht 6 of 8

Ref No :  
SPI99

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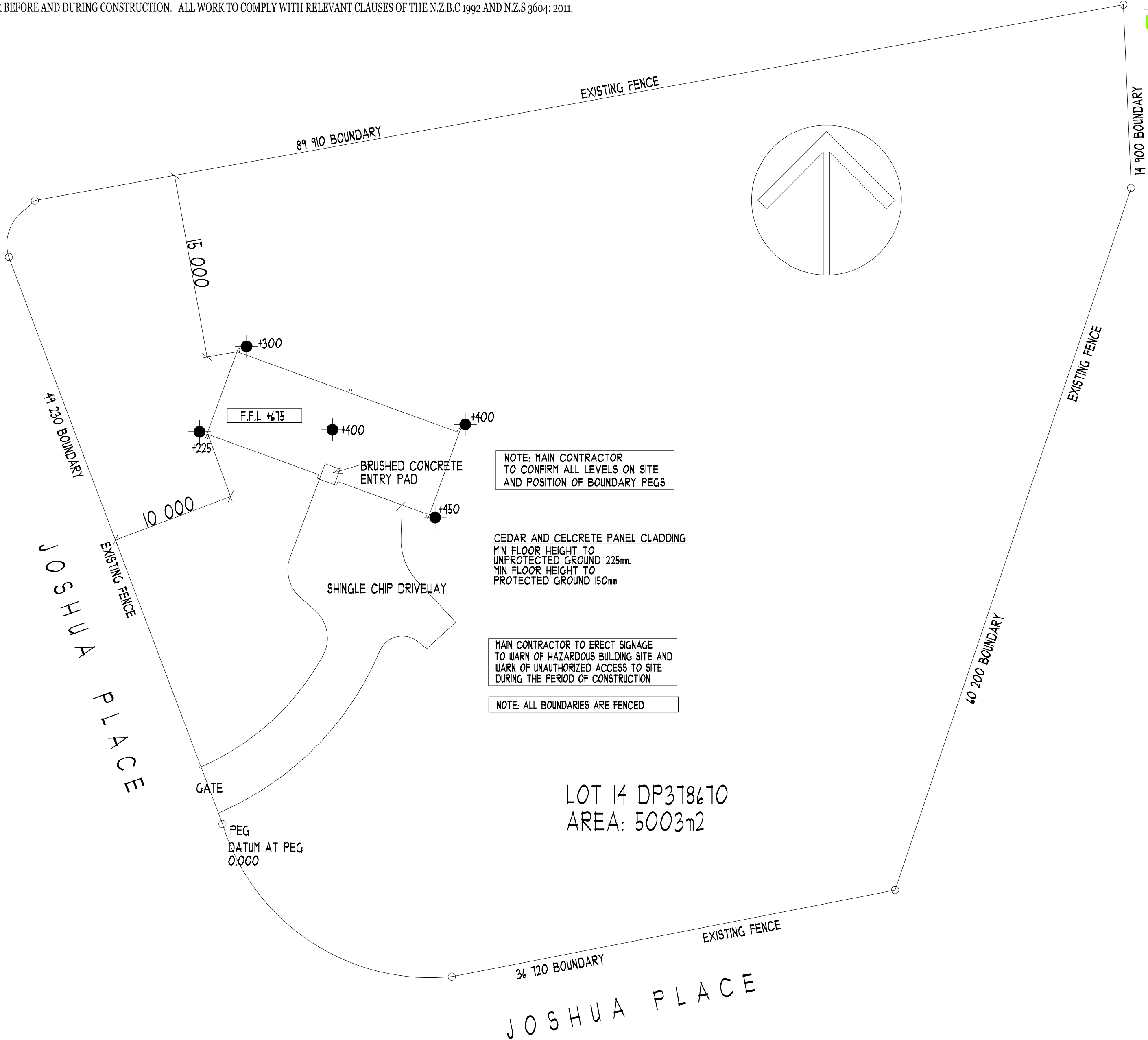


<div>Warren Sheddan - Architectural Designer</div> <div></div> <div>42 HAPPY HOME ROAD-CHRISTCHURCH 8025 Phone (03) 338 1206 email: w.sheddan@clear.net.nz</div>	PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP3178610 JOSHUA PLACE WESTMELTON FOR KEVIN AND COURTENAY UNSWORTH	DRAINAGE PLAN SOAK PIT DETAILS DRAIN DETAILS	Date : Tuesday, 31 January, 2017	
			Scales : 1:100 1:20 1:10	
			Shts : Sht 7 of 8	Ref No : SP199



NOTE: ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE AND DURING CONSTRUCTION. ALL WORK TO COMPLY WITH RELEVANT CLAUSES OF THE N.Z.B.C 1992 AND N.Z.S 3604: 2011.

Planning Approved



NOTE: MAIN CONTRACTOR  
TO CONFIRM ALL LEVELS ON SITE  
AND POSITION OF BOUNDARY PEGS

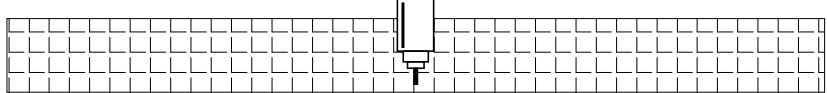
CEDAR AND CELCRETE PANEL CLADDING  
MIN FLOOR HEIGHT TO  
UNPROTECTED GROUND 225mm.  
MIN FLOOR HEIGHT TO  
PROTECTED GROUND 150mm

MAIN CONTRACTOR TO ERECT SIGNAGE  
TO WARN OF HAZARDOUS BUILDING SITE AND  
WARN OF UNAUTHORIZED ACCESS TO SITE  
DURING THE PERIOD OF CONSTRUCTION

NOTE: ALL BOUNDARIES ARE FENCED

LOT 14 DP318610  
AREA: 5003m2

Warren Sheddan - Architectural Designer



42 HAPPY HOME ROAD-CHRISTCHURCH 8025  
Phone (03) 338 1206  
email: w.sheddan@clear.net.nz

PROPOSED FAMILY UNIT AT LOT 14 (No 4) DP318610 JOSHUA PLACE  
WESTMELTON  
FOR KEVIN AND COURTENAY UNSWORTH

SITE AND LOCATION PLAN

Date : Tuesday, 31 January, 2017

Scales : 1:250

Shts:

Sht 8 of 8

Ref No :

SP199