

HOUSE TYPE C	34 WOOD CRES PROSPECTORS PARK, CROMWELL
LOT DP VALUATION	LOT 157 DP 556860 2850407780
INFORMATION	
BEDROOMS	3
LIVING	1
BATHROOMS	2.5
GARAGE	1
AREA	
SLAB	85.17
FIRST	62.77
TOTAL	148M2
LOT	256
FOOTPRINT	95
COVERAGE	38%
SITE INFORMATION	
CLIMATE ZONE:	3
EARTHQUAKE ZONE	2
RAINFALL	30-40
WIND REGION	A
WIND ZONE	HIGH
EXPOSURE ZONE	B
SNOW LOADING ZONE	N5
BUILDING IMPORTANCE	LEVEL 2
RISK GROUP	SH
ZONE	RURAL RESOURCE
CURRENT RC	RC 170378
PROJECT INFORMATION	
WATER SUPPLY	TOWN MAINS
WASTEWATER DISPOSAL	TOWN MAINS
STORMWATER	ON SITE
POWER	AT BOUNDARY
TELECOMMUNICATIONS	AT BOUNDARY
ACCESS	ROAD
MATERIALS	
SLAB:	85mm FIRTH RIBRAFT SLAB ON 220mm POLYSTYRENE PODS
FIRST FLOOR:	240X45 SG8 JOISTS @ 450 CRS, MIN 19MM FLOORING OVER /CHH ECOPLY FLOOR F8 19MM H3 CHH ECOPLY FLOOR F8 TO WET AREAS.
EXT FRAMING:	140 X 45 SG8 H1.2 @600CRS STUDS 20 SERIES MASONRY BLOCK
CLADDING:	1: FIRTH 70 SERIES BRICK: KIWI BRICK SHOTOVER CREAM 2: 50MM STO ARMOUR LIGHTWEIGHT CONCRETE & PLASTER 3: BGC DURAGROOVE FIBRE CEMENT ALL ON 20MM CAVITY ON 6MM JAMES HARDIE RAB
ROOFING:	5-RIB ROOFING : IRONSAND ON COVERTEK 407, ON H1.2 70X45 PURLINS ON FLAT @ 900 CRS TYPE 'T' FIXING 2.4kN 1/10G SELF DRILLING SCREW 80MM LONG 185 METAL FASCIA, 125 BOX SPOUTING, 80Ø DOWN PIPE

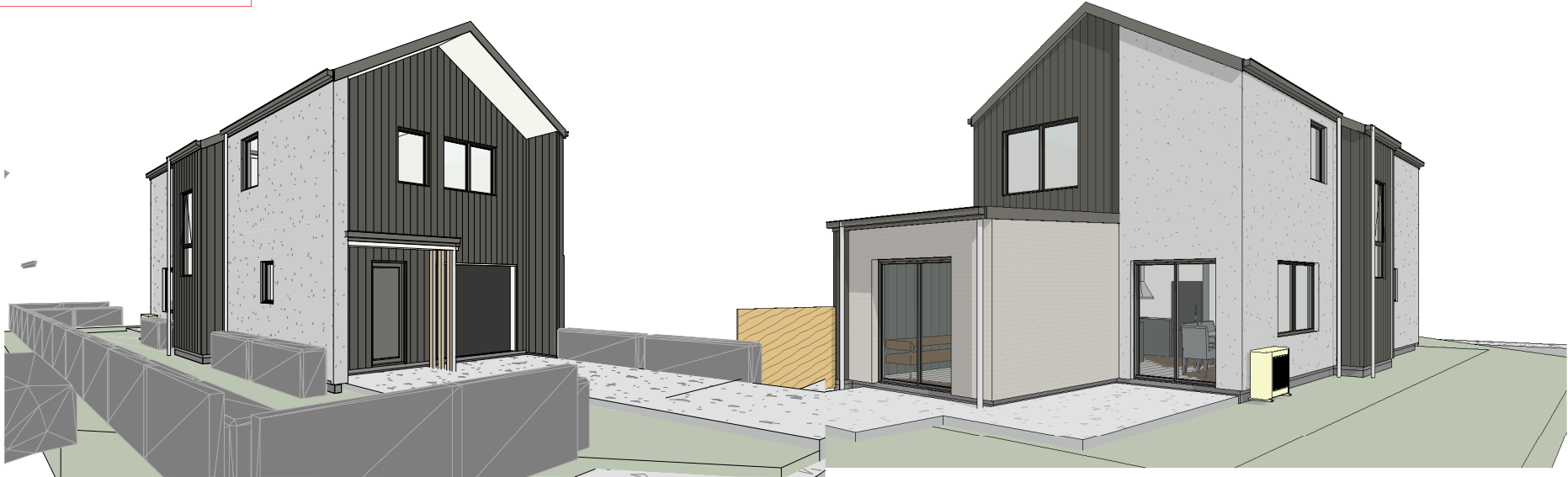
CENTRAL OTAGO DISTRICT COUNCIL  
Plans and Specifications Approved in  
accordance with The New Zealand Building  
Code and Approved Documents. To be retained  
on the building site and produced on request  
rac 2/02/2023



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1 FRONT VIEW



2 SIDE VIEW

3 REAR VIEW

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			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	PERSPECTIVE - TYPE C		
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022					
						CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_001	C

Sheet List	
Sheet Name	Sheet Number

PERSPECTIVE - TYPE C	C_001
INDEX AND NOTES	C_002
NZBC NOTES	C_003
SITE PLAN	C_100
SCHEDULES AND FINISHES	C_101
SLAB PLAN	C_102
GROUND FLOOR PLAN	C_103
FIRST FLOOR FRAMING	C_104
FIRST FLOOR PLAN	C_105
CEILING AND ELECTRICAL LAYOUT	C_106
ROOF PLAN	C_107
ELEVATIONS	C_200
SECTIONS - TYPE C	C_300
SECTIONS	C_301
SECTION	C_302
SECTION B	C_303
KITCHEN	C_400
WET AREA DETAILS	C_401
DETAILS SLAB	C_500
DETAILS WALL	C_501
DETAILS WALL WINDOWS	C_502
DETAILS WINDOWS	C_503
DETAILS ROOF	C_504
DETAILS ROOF	C_505
DETAILS ROOF OVER ENTRY	C_506
DETAILS ROOF	C_507
CLADDING PENETRATIONS	C_508
ENG DETAILS MID FLOOR	C_510
DOOR SCHEDULE	C_600

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**ROOF & RAINWATER GOODS:**  
5-RIB ROOFING : ON COVERTEK 407,  
ON H1.2 70X45 PURLINS ON FLAT @ 900 CRS  
TYPE 'T' FIXING 2.4kN 1/10G SELF DRILLING SCREW 80MM  
LONG  
185 METAL FASCIA, 125 BOX SPOUTING, 80Ø DOWN PIPE

**EXTERNAL WALLS: PLASTER FINISH**  
140X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
7MM H3 ECOPLY RAB, 20MM DRAINED CAVITY  
50MM STO ARMOUR PLASTER SYSTEM,  
CLASSICO FINISH

**EXTERNAL WALLS: BCG DURAGROOVE FIBRE CEMENT SHEET**  
140X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
7MM H3 ECOPLY RAB, H3.1 20MM DRAINED CAVITY

**EXTERNAL WALLS: BRICK VENEER**  
140X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
7MM H3 ECOPLY RAB,  
BRICK TIES  
70 SERIES BRICK

**EXTERNAL WINDOW AND DOOR JOINERY**  
VANTAGE RESIDENTIAL THERMAL HEART DOUBLE GLAZED ALU  
JOINERY.  
AXIS VERTICAL GROOVE DOOR. GLAZED PANEL REFER SCHEDULE.  
HARDWARE: URBO RANGE  
GLASS: LOW E MAX  
GARAGE DOOR: GARADOR ASPEN INSULATED SECTIONAL DOOR  
LOWHEAD ROOM AUTO DOOR OPENER  
COLOUR: SANDSTONE

**INTERNAL WALLS:**  
90X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
10MM STANDARD GIB LINING  
(10MM AQUILAINE TO WET AREAS)  
LEVEL 4 PAINT FINISH

**INTERNAL CEILINGS:**  
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)  
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,  
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS  
@ 600 CRS.  
SQUARE STOP CORNICE. LEVEL 4 FINISH  
GIB DIAPHRAGM CEILINGS - REFER ENGINEERS NOTES

**INTERNAL DOORS AND TRIMS**  
SKIRT: 85X10 FJ BEVEL, PAINT FINISH  
ARC: 60X10 FJ BEVEL, PAINT FINISH  
DOORS: 1980 LEAF, HOLLOW CORE FLUSH PANEL, MDF JAMB  
TYPCIAL. PINE JAMB TO WETAREAS. PAINT FINISH TO ALL.

**GENERAL NOTES**

- All works shall comply with the relevant chapters of the NZS 3604, NZ building Code and Approved Documents and all other relevant regulations.

- To be read in conjunction with the Fire Report, Gib Fire Rated Systems and 30 min Fire rating provided where required.

- It is the Contractors responsibility to confirm all dimensions and site conditions before commencement of any works.

- Refer to Engineering Notes for Foundation, Slab and Bracing information.  
If soft ground is encountered contact the Engineer to provide further instruction.

- Smoke detectors to be installed to comply with NZBC F7 / AS1 Sec 3.1 - 3.3 fitted with hush facility as required, ensure min 300mm from walls.

- Provide mechanical ventilation to bathroom, ensuites (25l/s min) and cooktop (50l/s min).

-Ensure all wet areas, wall and floor linings comply with NZBC E3/AS1 '3.0 Watersplash' (Impervious linings and semi gloss or gloss paint finish)

- Steel fixings and fastenings to comply with NZS 3604:2011 Table 4.1







- Nails to comply with NZS 3604:2011 Table 4.3

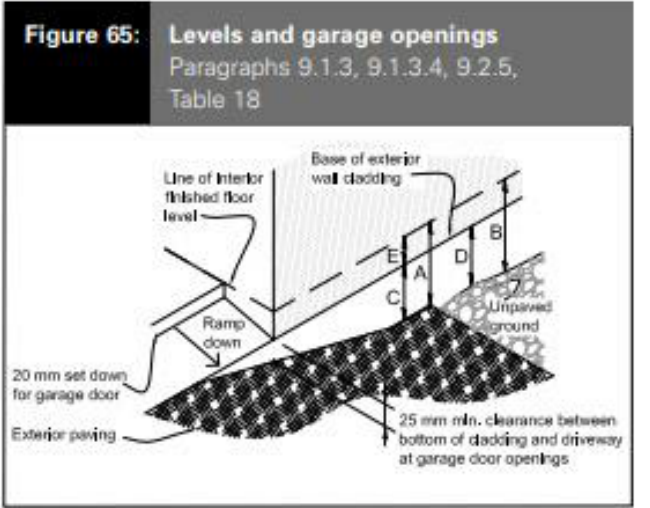
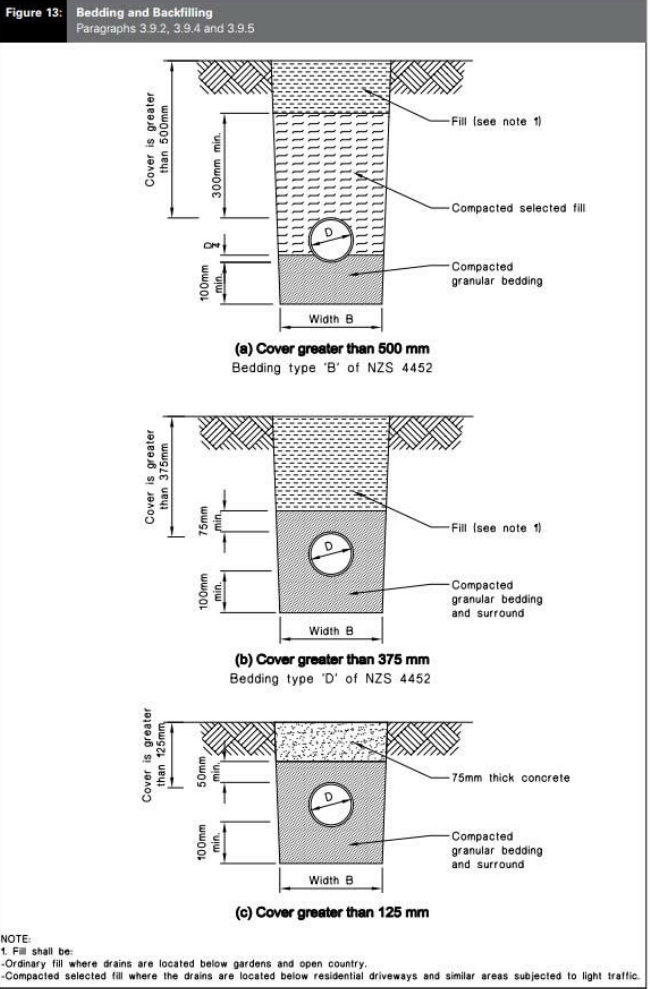
-All window and door joinery shall be site measured prior to fabrication.

TIMBER TREATMENT				
All treatment to comply with NZS3602:2003. This table is a summary only. Min levels are shown, higher treatment levels may be used if appropriate				
LOCATION	Item	Species		
External, in contact with ground	Piles	Radiata pine	H5	
	Retaining - upright		H5	
	Retaining - horizontal		H4	
External Exposed, not in contact with ground	Posts, bearers, beams	Radiata pine	H3.2	
	Floor joists, rafters guardrails, stringers Laminate beams & posts			
Floors	Interior flooring	Ply/Particleboard	None	
	Flooring in wet areas		Treated	
Walls	Standard External wall	Radiata pine	H1.2	
	Cavity Battens	Radiata pine	H3.1	
	Ply exterior wall bracing	Ply	H3	
	Internal wall framing	Radiata Pine	H1.2	
Roof	Sarking & gutter framing,		H3.2	
	Standard Prenailed Truss Framing		H1.2	
	Purlins		H1.2	

**SUBSTITUTIONS**

- A substitution may be proposed where specified products are not available, or if a contraactor recommends a suitable product.  
Substitute products must be brought to the attention of the owner and architect and are considered if they are equivalent to those specified and have applicable Codemark  
or Branz appriasials.

LEGEND			
	ORG      Overflow Relief Gully		
	TV      Terminal Vent		
	IP      Inspection Point		
	HC      Hose Cock		
S.C.	Slab Saw Cut		
	SEW      UPVC Waste Pipe all inslab 100Ø 1:60fall		
	SW      UPVC Stormwater Drain 1:100min fall IP opening to every bend		
<b>DRAINAGE NOTES</b>			
1. All plumbing and drainage shall be in accordance with AS/NZ 3500			
2. Plumbing information shown for Building Consent only, registered plumber/drainlayer to check and verify on site .			
3. Drainlayer shall provide as-built documentation on completion.			
4. Where the new drainage connects to the existing services, the location and invert of the existing drain shall be established prior to the start of any other work on site to enable the new drain to be set out accordingly.			
5. Ensure all allowances are made for plumbing, drainage, electrical services prior to concrete pours.			
6. Insulate all hot water pipes to NZBC H1/AS1 energy efficiency & AS/NZS 3500.5.3.11.7 Insulation of piping and to the insulation manufacturer's instructions cut insulation section tight between timber framing.			
7. HWC to have seismic restraint as per NZBC B1.3.2, to be installed on tray with tundish drain.			
8. Hot and Cold water supply to comply with G12/AS1			
<b>Stormwater Gradients</b>			
Drain internal DIA	MIN GRADE		
100mm	1 : 120		
<b>Sanitary Fixtures</b>			
Fixture	Min Pipe DIAMIN	GRADE	FUR
Basin	32mm	1 : 20	1
Bath	65mm	1 : 40	4
Washing Machine	65mm	1 : 40	5
Kitchen s/dishwasher	65mm	1 : 40	3
Laundry Trough	65mm	1 : 30	5
Shower	65mm	1 : 40	2
WC	100mm	1 : 60	4 (cist)
<b>Pipe Support</b>			
Pipe Diameter	Max Support distance (mm)		
	Vertical	Graded	
32-50	1000	500	
65-100	1200	1000	
greater than 1000	1800	1200	

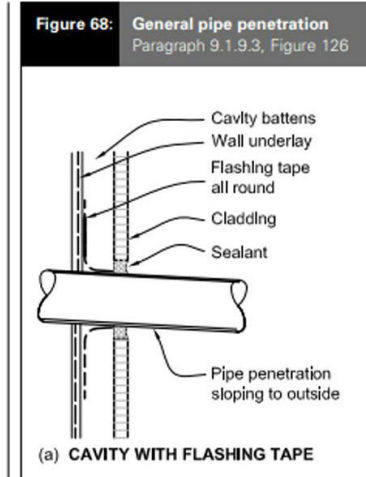


SASTUDIO	NOTES All dimensions to be verified on site before making any shop drawings or commencing any work. All work to comply with current NZBC and relevant codes and standards. Do not measure off these printed drawings. The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited. If in doubt - ASK  LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz		REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
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						CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_002	C



Table 8.19 – Nailing schedule for hand-driven and power-driven nails (see 8.8.6)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Bottom plate to floor framing at:				
(a) External walls and internal wall bracing elements	100 x 3.75	2 at 600 mm centres	90 x 3.15	3 at 600 mm centres
(b) Internal walls (may be nailed to floor decking)	100 x 3.75	1 at 600 mm centres	90 x 3.15	1 at 600 mm centres
(c) Trimmer not exceeding 4.2 m long	100 x 3.75	4 (end nailed)	90 x 3.15	6 (end nailed)
Dwang to stud	75 x 3.15 or 100 x 3.75	2 (skewed) 2 (end nailed)	75 x 3.06 90 x 3.15	2 (skewed) 2 (end nailed)
Fishplate to straightened stud	60 x 2.8	4 each side of cut	60 x 2.8	4 (each side of cut)
Half joint in top plate	75 x 3.15	3	75 x 3.06	4
Lintel to trimming stud	75 x 3.15 or 100 x 3.75	4 (skewed) 2 (end nailed)	90 x 3.15	3 (end nailed)
Ribbon board to stud	100 x 3.75	2	90 x 3.15	3
Sill or header trimmer to trimming stud for:				
(a) Trimmer not exceeding 2.4 m long	100 x 3.75	2 (end nailed)	90 x 3.15	3 (end nailed)
(b) Trimmer not exceeding 3.0 m long	100 x 3.75	3 (end nailed)	90 x 3.15	5 (end nailed)
(c) Trimmers not exceeding 3.6 m long	100 x 3.75	4 (end nailed)	90 x 3.15	6 (end nailed)
Solid plaster batten to stud	60 x 2.8 (galv.)	500 mm centres	60 x 2.8 (galv.)	500 mm centres
Stud to plate	75 x 3.15 or 100 x 3.75	4 (skewed) 2 (end nailed)	75 x 3.06 90 x 3.15	4 (skewed) 3 (end nailed)
Top plate 140 mm x 35 mm to 90 mm x 45 mm and top plate to lintel	100 x 3.75	2 at 500 mm centres	90 x 3.15	3 at 500 mm centres
Trimming studs at openings, blocking and studs at wall intersections	100 x 3.75	600 mm centres	90 x 3.15	600 mm centres
Trimming stud to doubled stud immediately under lintel	100 x 3.75	2	90 x 3.15	2
Walling to stud	60 x 2.8	2	60 x 2.8	2
NOTE –				
(1) Nail lengths and diameters are the minimum required.				
(2) Refer to 4.4 for required protective coatings for metal fasteners.				
(3) For studs up to 2.7 in length, 2 / 90 x 3.15 power-driven nails (end nailed) are sufficient.				



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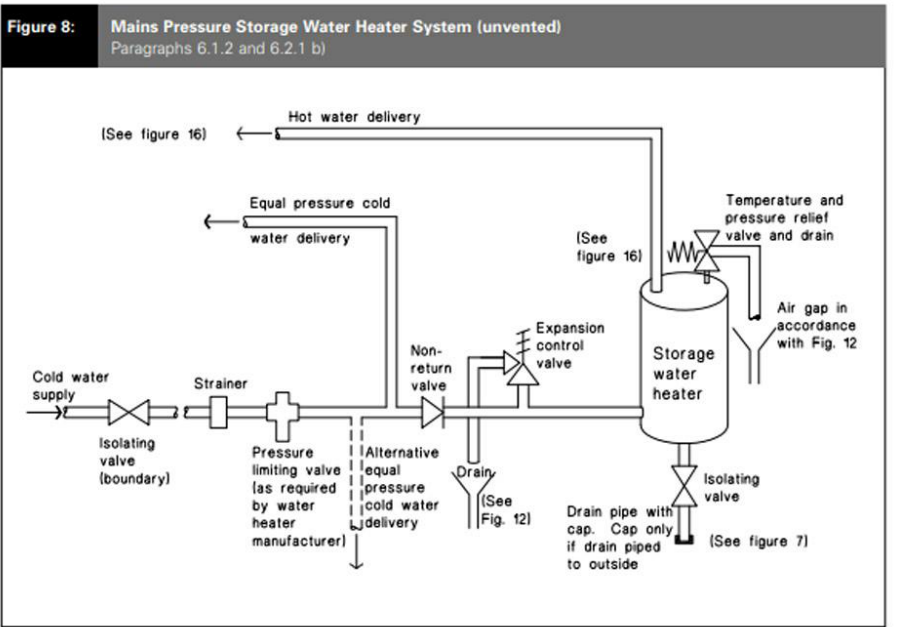
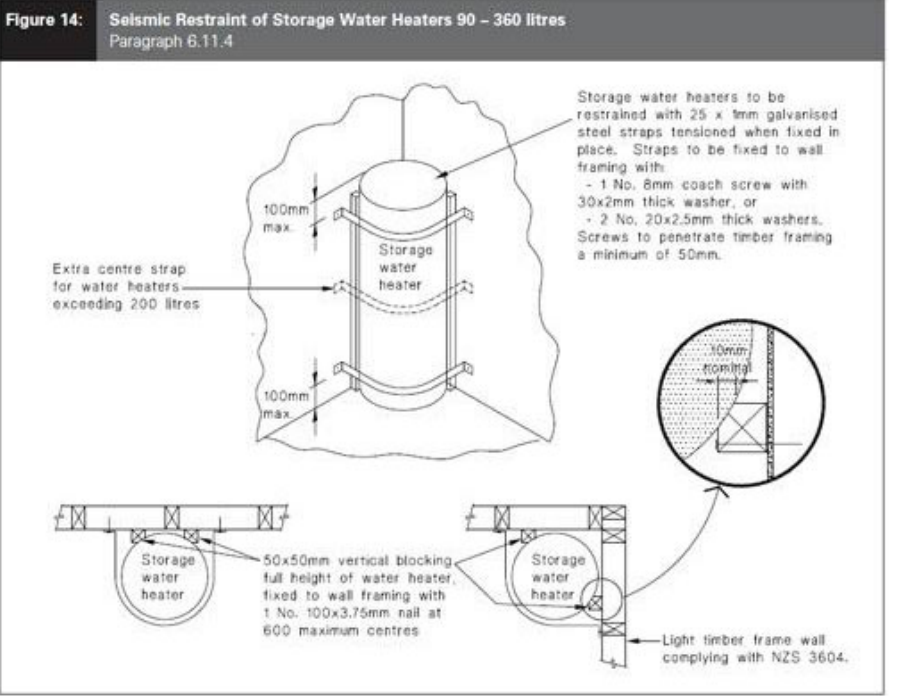
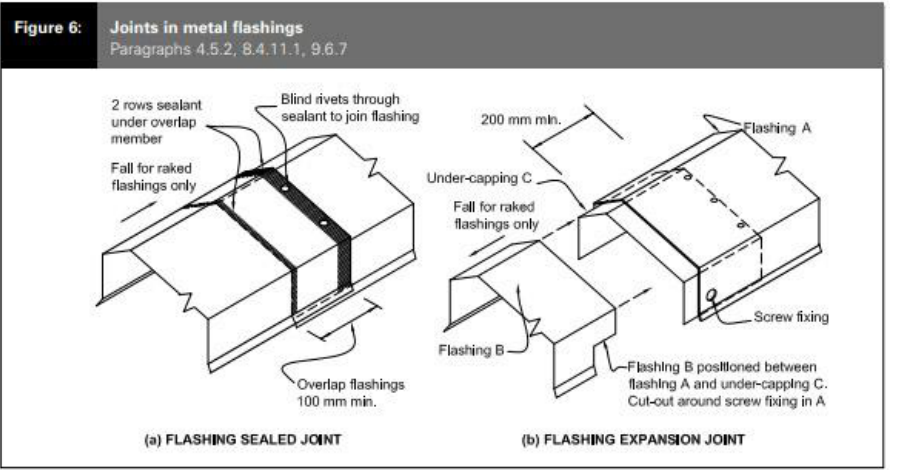
7.6 NAILING SCHEDULE FOR TIMBER FLOOR FRAMING

Table 7.5 lists the size, number and location of nails to be used in floor framing. See 2.4.4 for other requirements for nails.

Table 7.5 – Nailing schedule for hand-driven and power-driven nails (see 7.6)

Joint	Hand-driven nails		Power-driven nails	
	Length (mm) x diameter (mm) and type	Number/ Location	Length (mm) x diameter (mm) and type	Number/ Location
Floor framing				
Boundary joist to end of each joist	100 x 3.75	2 (end nailed)	90 x 3.15	2 (end nailed)
Curtailed joist not exceeding 3 m long to trimmer	100 x 3.75	3 (end nailed)	90 x 3.15	5 (end nailed)
Curtailed joist to trimmer when half housed	100 x 3.75	2 (end nailed)	90 x 3.15	3 (end nailed)
Flitched joint in joist	100 x 3.75	4 (each end)	90 x 3.15	6 (each end)
Herringbone strutting to joist	60 x 2.8	2 (skewed)	60 x 2.8	2 (skewed)
Joist to plate on foundation walls	100 x 3.75	12 (skewed) per 1.5 m length	90 x 3.15	18 (skewed) per 1.5 m length
Joist to plate or bearer	100 x 3.75	2 (skewed)	90 x 3.15	3 (skewed)
Lapped joint in joist	100 x 3.75	2 (each side)	90 x 3.15	3 (each side)
Solid blocking between joists to plate bearer or stringer	100 x 3.75	4 (skewed)	90 x 3.15	6 (skewed)
Solid blocking to joist	100 x 3.75 or 75 x 3.15	2 (end nailed) 4 (skewed)	90 x 3.15	2 (end nailed)
Flooring				
Sheet decking (not exceeding 21 mm thick):				
(a) Supports at sheet edges	60 x 3.06 ring shanked galv. or 60 x 2.8	150 mm centres	60 x 2.8 ring shanked galv.	150 mm centres
(b) Intermediate supports		300 mm centres		300 mm centres
Strip flooring not exceeding 75 mm wide to floor joist	2½ x finished thickness	1	–	1
Strip flooring not exceeding 100 mm wide to floor joist	2½ x finished thickness	2	–	2
NOTE –				
(1) Nail lengths and diameters are the minimum required.				
(2) See 4.4 for required protective coatings for metal fasteners.				

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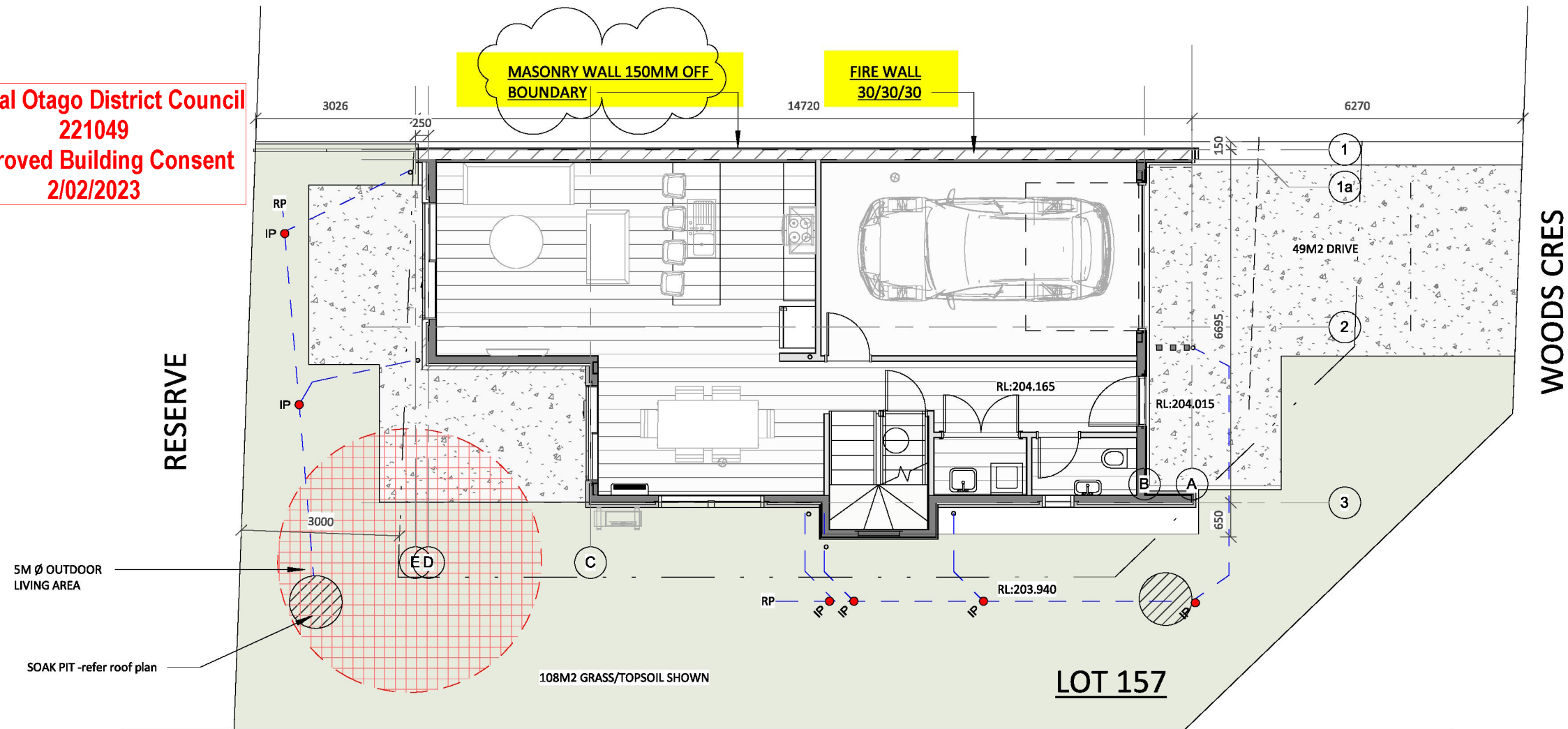
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#### SITE NOTES

**SITE REQUIREMENTS:**  
REFER TO GEOTECH LETTER AND ENGINEER  
GROUND CONDITION REQUIREMENTS.

**SITE PREPARATION:**  
ENSURE BUILDING PLATFORM AND FINISHED GROUND  
HAVE AN EVEN FALL AWAY FROM BUILDING.  
ALL RUBBISH AND ORGANIC MATTER SHALL BE  
REMOVED FROM THE AREA TO BE COVERED BY THE  
BUILDING.

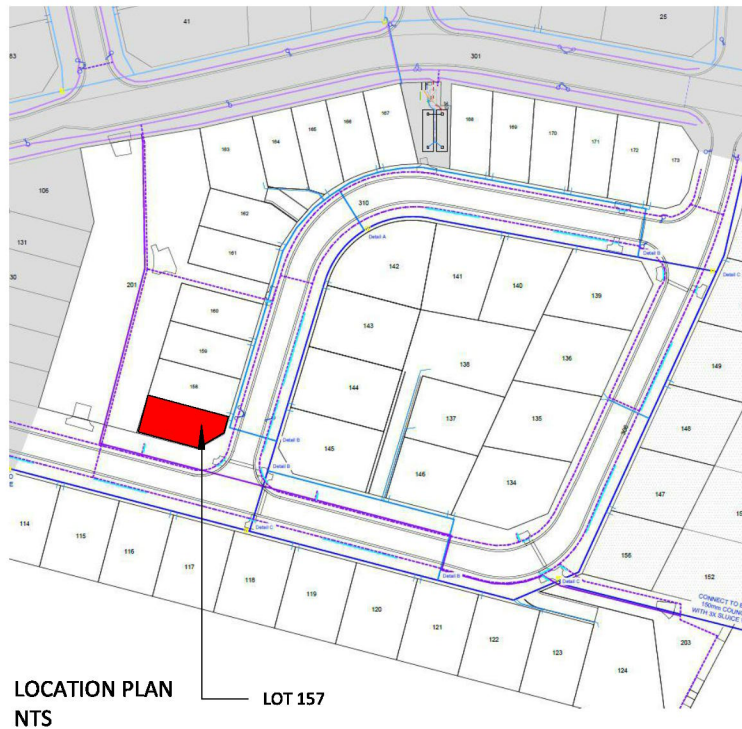
**SETTING OUT:**  
CONTRACTOR TO CONFIRM ON SITE ALL BOUNDARY  
SETOUT PRIOR TO COMMENCEMENT OF WORKS.

**SERVICES:**  
CONTRACTOR TO LOCATE ALL SERVICE CONNECTION  
POINTS ON SITE PRIOR TO COMMENCEMENT OF  
WORKS.  
CHECK INVERT LEVELS TO CONFIRM ADEQUATE FALLS  
CAN BE ACHIEVED.  
CONTRACTOR TO CONFIRM PLUMBING ROUTES AND  
FIXTURE POSITIONS ON SITE PRIOR TO  
COMMENCEMENT OF WORKS.

**CONSTRUCTION HAZARDS:**  
CONTRACTOR TO INSTALL ADEQUATE FENCING TO  
RESTRICT PUBLIC ACCESS IN ACCORDANCE WITH NZBC  
F5.

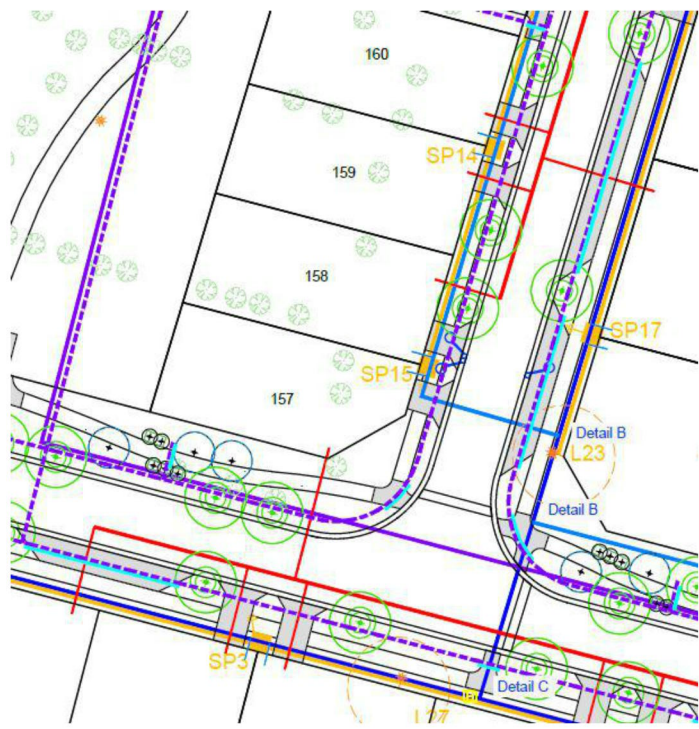
**SEDIMENT CONTROL:**  
SEDIMENT AND RUNOFF CONTROL SHALL BE  
INSTALLED BY THE CONTRACTOR PRIOR TO, OR  
DURING THE SITE WORKS FOR THE PROJECT. THE  
SEDIMENT CONTROLS SHALL BE INSTALLED IN  
ACCORDANCE WITH THE DISTRICT PLAN AND COUNCIL  
REQUIREMENTS.

#### 1 SITE PLAN 1 : 100



LOCATION PLAN  
NTS

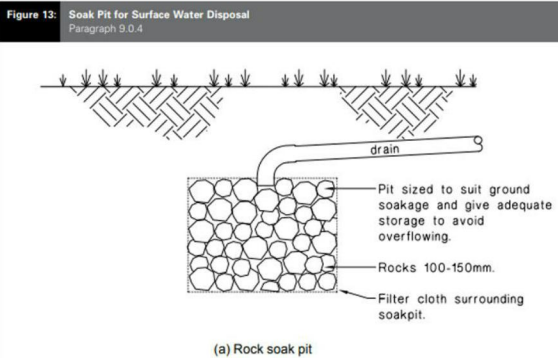
#### WALLIS DRIVE



SERVICES PLAN  
NTS

**Stormwater Gradients**  
Drain internal DIA MIN GRADE  
100mm 1 : 120

OTHER NOTES REFER SLAB PLAN



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#### NOTES

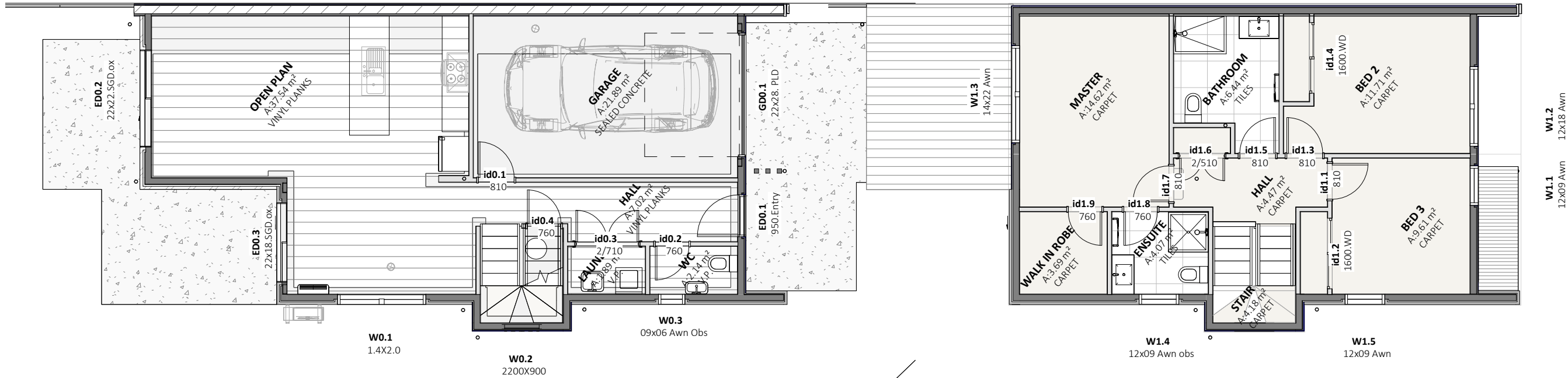
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1 1. GROUND SCHEDULES  
1 : 100

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2 FIRST SCHEDULES  
1 : 100

Room Schedule				
Name	Area	Floor Finish	Ceiling Finish	Wall Finish
BED 2	11.71 m²	CARPET	13mm GIB	10mm GIB
BED 3	Not Placed	CARPET	13mm GIB	10mm GIB
BED 3	9.61 m²	CARPET	13mm GIB	10mm GIB
LINEN	0.74 m²	CARPET	13mm GIB	10mm GIB
MASTER	14.62 m²	CARPET	13mm GIB	10mm GIB
ROBE	Not Placed	CARPET	13mm GIB	10mm GIB
ROBE	1.14 m²	CARPET	13mm GIB	10mm GIB
ROBE	1.12 m²	CARPET	13mm GIB	10mm GIB
STAIR	4.18 m²	CARPET	13mm GIB	10mm GIB
WALK IN ROBE	3.69 m²	CARPET	13mm GIB	10mm GIB
CARPET: 10	46.81 m²			
GARAGE	21.89 m²	SEALED CONCRETE	13mm GIB	10mm GIB
SEALED CONCRETE: 1	21.89 m²			
BATHROOM	6.44 m²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
ENSUITE	4.07 m²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
ES	Not Placed	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
HALL	7.02 m²	VINYL PLANKS	13mm GIB	10mm GIB
HALL	4.47 m²	VINYL PLANKS	13mm GIB	10mm GIB
HALL	Not Placed	VINYL PLANKS	13mm GIB	10mm GIB
LAUNDRY	1.89 m²	VINYL PLANKS	13mm GIB AQ	10MM GIB AQUALINE
OPEN PLAN	37.54 m²	VINYL PLANKS	13mm GIB	10mm GIB
WC	2.14 m²	VINYL PLANKS	13mm GIB	10mm GIB
VINYL PLANKS: 9	63.57 m²			
Grand total: 20	132.27 m²			

Floor Schedule	
Type	Area
0. 100mm SLAB	84.50 m²
0. 100mm SLAB: 1	84.50 m²
1. FIRST FLOOR	63.88 m²
1. FIRST FLOOR: 1	63.88 m²
1. LANDING	0.32 m²
1. LANDING	0.36 m²
1. LANDING	0.35 m²
1. LANDING	0.32 m²
1. LANDING: 4	1.34 m²
2. footing	26.02 m²
2. footing: 1	26.02 m²
10.TILES	4.11 m²
10.TILES	6.64 m²
10.TILES: 2	10.75 m²
10.VINYL	45.49 m²
10.VINYL	2.20 m²
10.VINYL	1.94 m²
10.VINYL: 3	49.62 m²
DRIVEWAY	117.73 m²
DRIVEWAY	49.33 m²
DRIVEWAY: 2	167.07 m²
grass	144.29 m²
grass	249.82 m²
grass: 2	394.11 m²
Grand total: 16	797.30 m²

Window Schedule			
Mark	Type	Head Height	Level
W0.1	1.4X2.0	2200	GF
W0.2	2200X900	4100	GF
W0.3	09x06 Awn Obs	2200	GF
W1.1	12x09 Awn	2200	FF
W1.2	12x18 Awn	2200	FF
W1.3	14x22 Awn	2200	FF
W1.4	12x09 Awn obs	2200	FF
W1.5	12x09 Awn	2200	FF

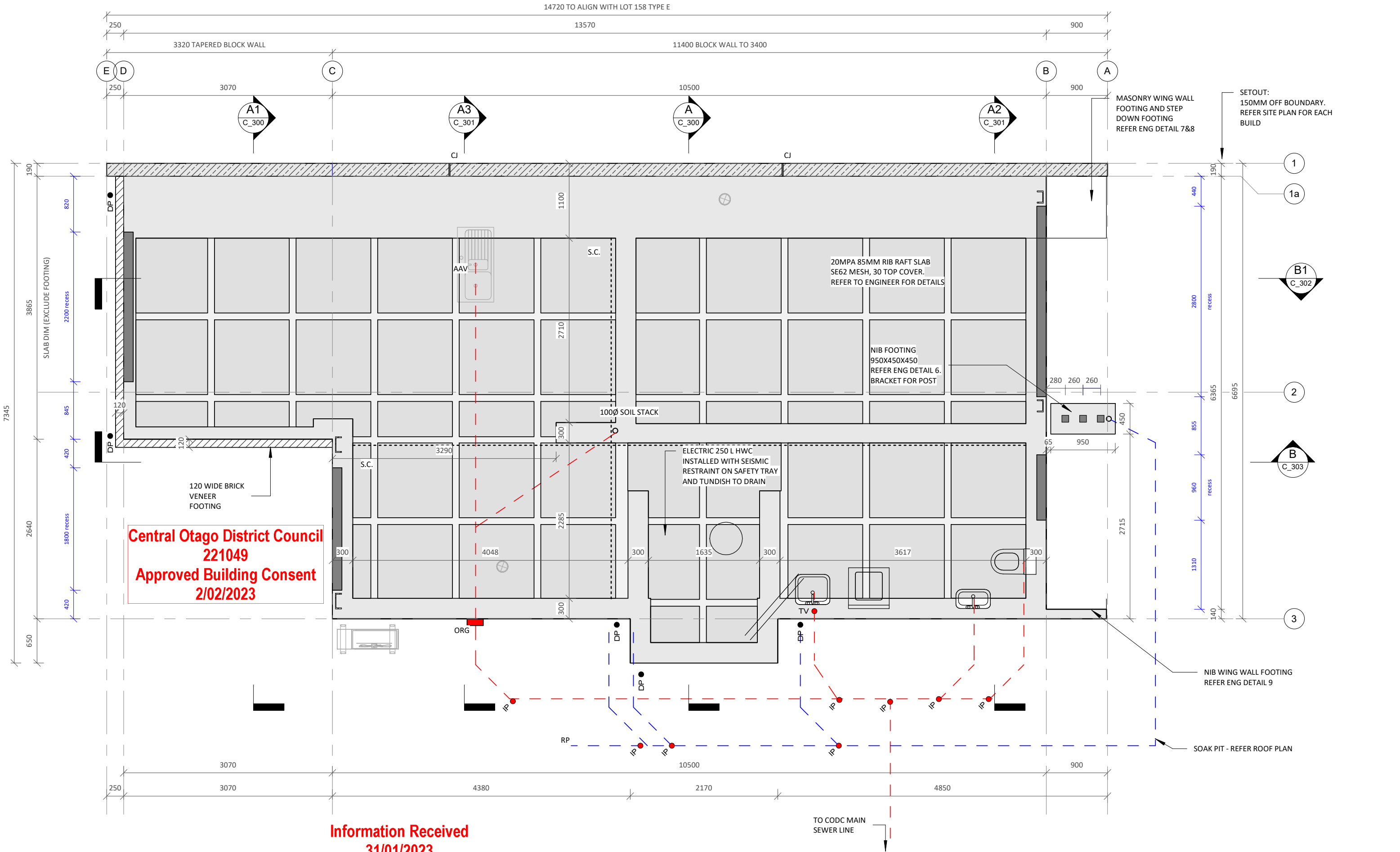
Wall Schedule		
Type	Length	Area
EXT 50 fence	3063	3.76 m²
EXT 140 T. brick	7016	14.15 m²
EXT 140 T. Plaster	23796	55.59 m²
EXT 140 T. VERTICAL DURAGROOVE	25238	77.62 m²
EXT 190mm BLOCK	14751	48.20 m²
EXT DURAGROOVE	1453	6.77 m²
EXT PLASTER NIB	1137	6.36 m²
INT140mm	735	1.78 m²
INT 45mm	10393	25.14 m²
INT 90mm	54679	109.63 m²
Grand total	142261	349.01 m²

Door Schedule			
Mark	Type	Head Height	Level
ED0.1	950.Entry	2200	GF
ED0.2	22x22.SGD.ox	2200	GF
ED0.3	22x18.SGD.ox	2200	GF
GD0.1	22x28. PLD	2200	GF
id0.1	810	1980	GF
id0.2	760	1980	GF
id0.3	2/710	1980	GF
id0.4	760	1980	GF
id1.1	810	1980	FF
id1.2	1600.WD	1980	FF
id1.3	810	1980	FF
id1.4	1600.WD	1980	FF
id1.5	810	1980	FF
id1.6	2/510	1980	FF
id1.7	810	1980	FF
id1.8	760	1980	FF
id1.9	760	1980	FF

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13/12/2022  
CODC

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			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SCHEDULES AND FINISHES		1 : 100
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_101	C

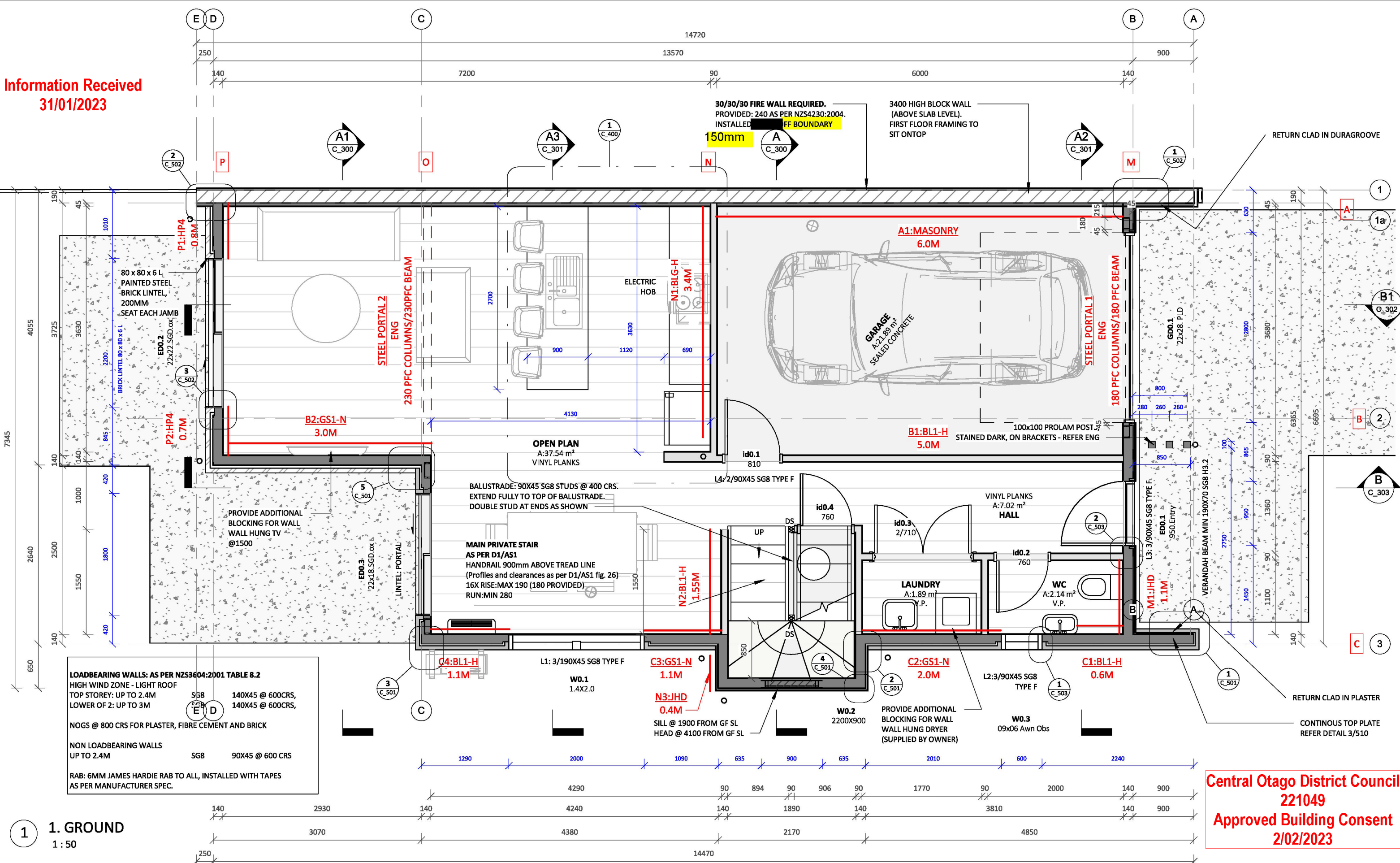




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		A			FOR FIRE REPORT		25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SLAB PLAN		1 : 50
		B			FOR BC COORD		6.12.2022					
		C			FOR BUIDLING CONSENT		12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
								CHP DEVELOPMENTS LTD	JS	2025	C_102	C



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1. **GROUND**  
1 : 50

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	GROUND FLOOR PLAN		1 : 50
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_103	C

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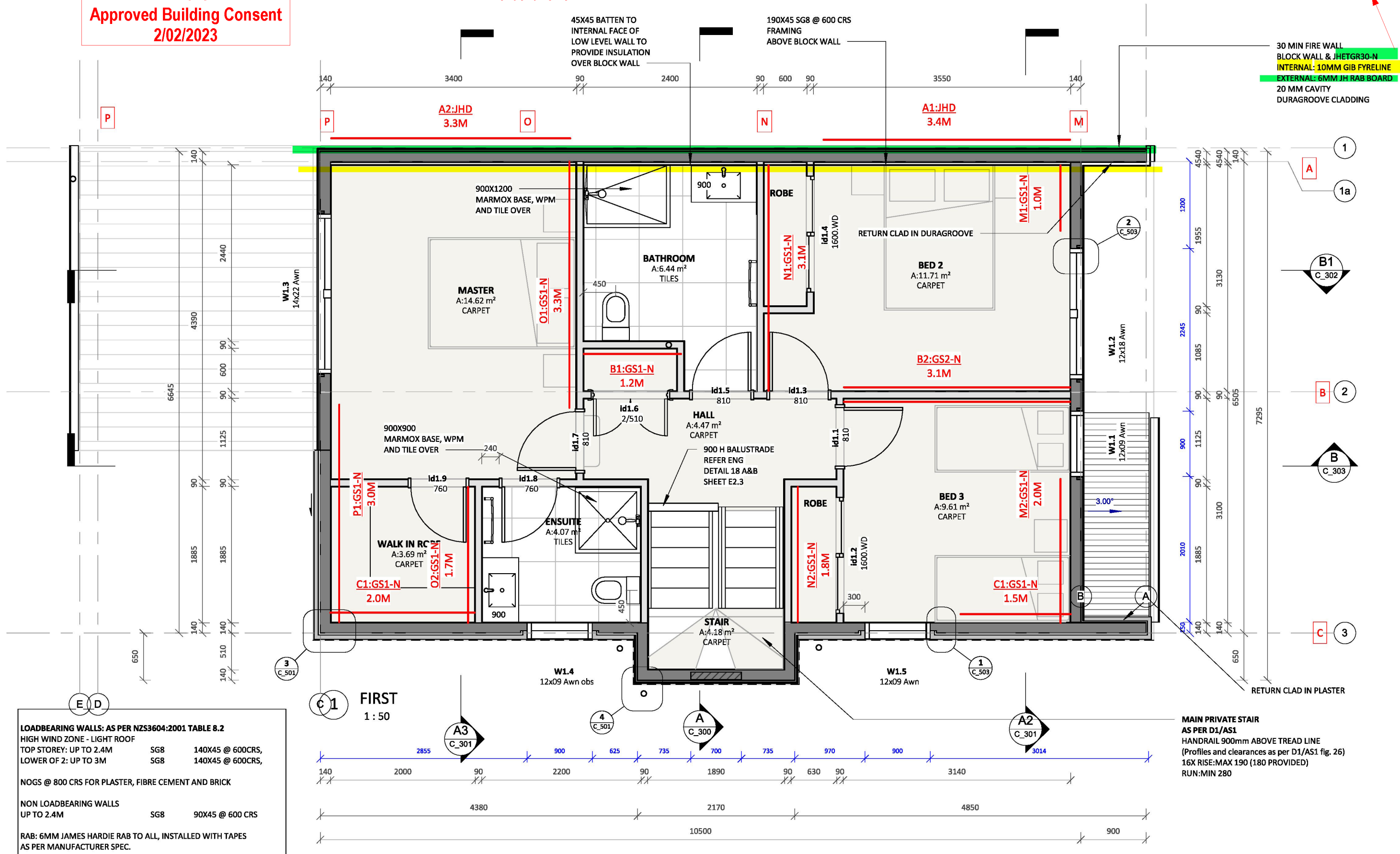




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refer to specs



**LOADBEARING WALLS: AS PER NZS3604:2001 TABLE 8.2**  
HIGH WIND ZONE - LIGHT ROOF  
TOP STOREY: UP TO 2.4M SG8 140X45 @ 600CRS,  
LOWER OF 2: UP TO 3M SG8 140X45 @ 600CRS,  
NOGS @ 800 CRS FOR PLASTER, FIBRE CEMENT AND BRICK  
NON LOADBEARING WALLS  
UP TO 2.4M SG8 90X45 @ 600 CRS  
RAB: 6MM JAMES HARDIE RAB TO ALL, INSTALLED WITH TAPES  
AS PER MANUFACTURER SPEC.

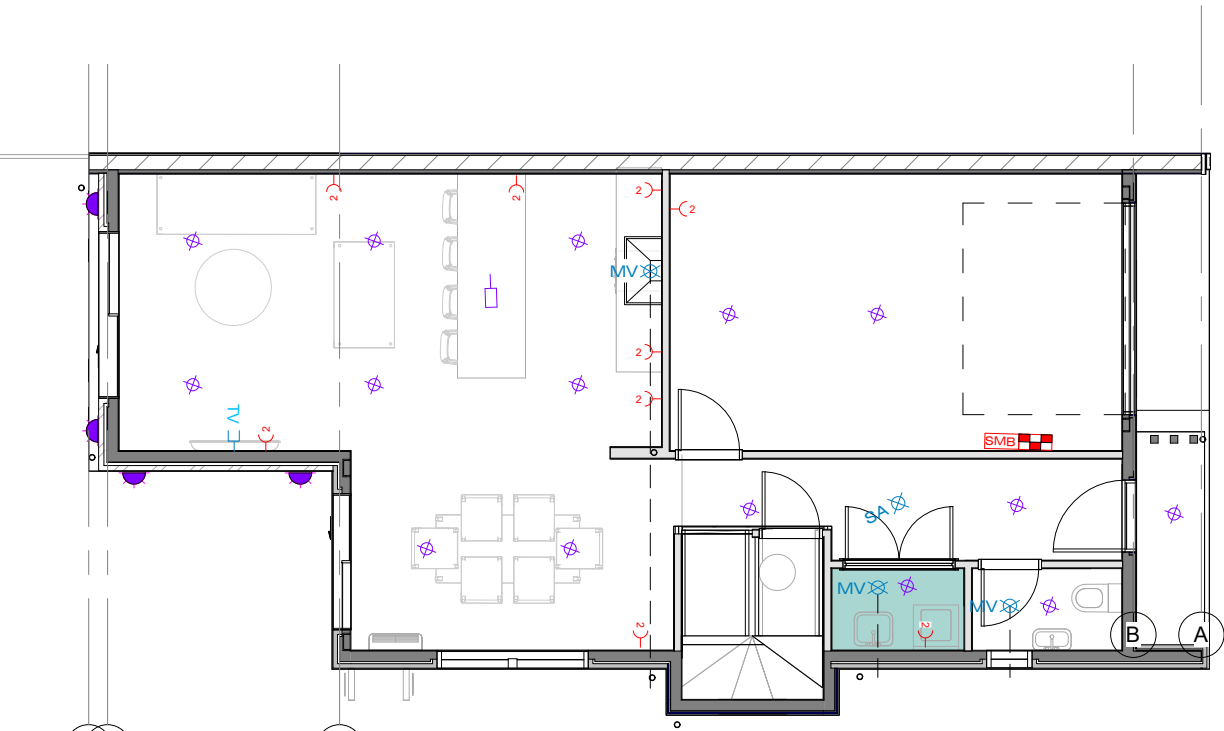
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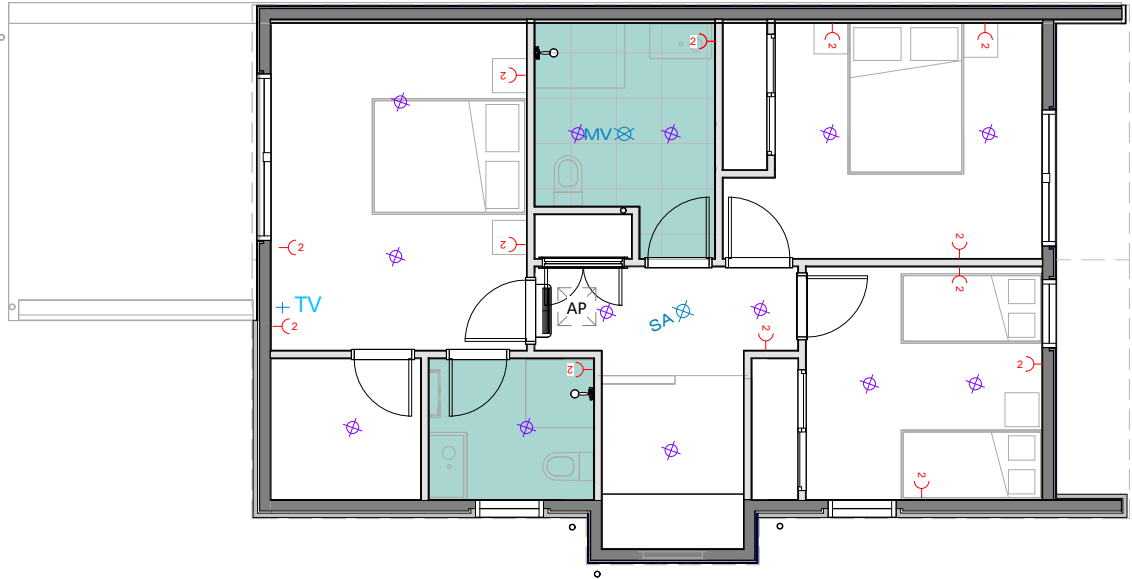
REV	ISSUE	DATE
A	FOR FIRE REPORT	25.10.2022
B	FOR BC COORD	6.12.2022
C	FOR BUILDING CONSENT	12.12.2022

PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	FIRST FLOOR PLAN	1 : 50
CLIENT	CHECK	FILE	SHEET
CHP DEVELOPMENTS LTD	JS	2025	C_105
			REV
			C



1 GF  
1 : 100

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2 FF  
1 : 100

**INTERNAL CEILINGS:**  
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)  
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,  
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS  
@ 600 CRS.  
SQUARE STOP CORNICE. LEVEL 4 FINISH

**HEATING:**  
2X AIR CON UNITS TO BE INSTALLED AS SHOWN.  
1 FOR LIVING AREA  
1 FOR BEDROOM HALLWAY

CONTRACTOR TO SPECIFY UNITS AND PROVIDE  
CONCRETE PAD FOR EXTERNAL UNIT

**MECHANICAL VENTILATION:**  
BATHROOM, ENSUITE, LAUNDRY AND KITCHEN TO BE  
PROVIDED WITH MECHANICAL VENTILATION.  
VIA HIGH WALL WITH WEATHERPROOF COWL.  
WEATHERPROOF COWL TO BE PAINTED TO MATCH CLADDING,  
OR TO MATCH JOINERY WHEN IN CEDAR  
MANROSE PRO SERIES 150MM DUCT WITH WEATHERPROOF COWL.




















**NOTE:**  
ALLOW FOR CABLE TO CONNECT TO FUTURE SOLAR  
TERMINATE CABLE TO BACK WALL OF GARAGE

**LIGHTS:**  
SETOUT AS PER DIMS.  
IF DIM NOT SHOWN, CENTER ON ROOM, MIRROR/ALIGN ON  
WINDOW CENTRE

EXTERNAL WALL LIGHTS @ 2000 AFL  
TV SOCKETS @ 1300 AFL

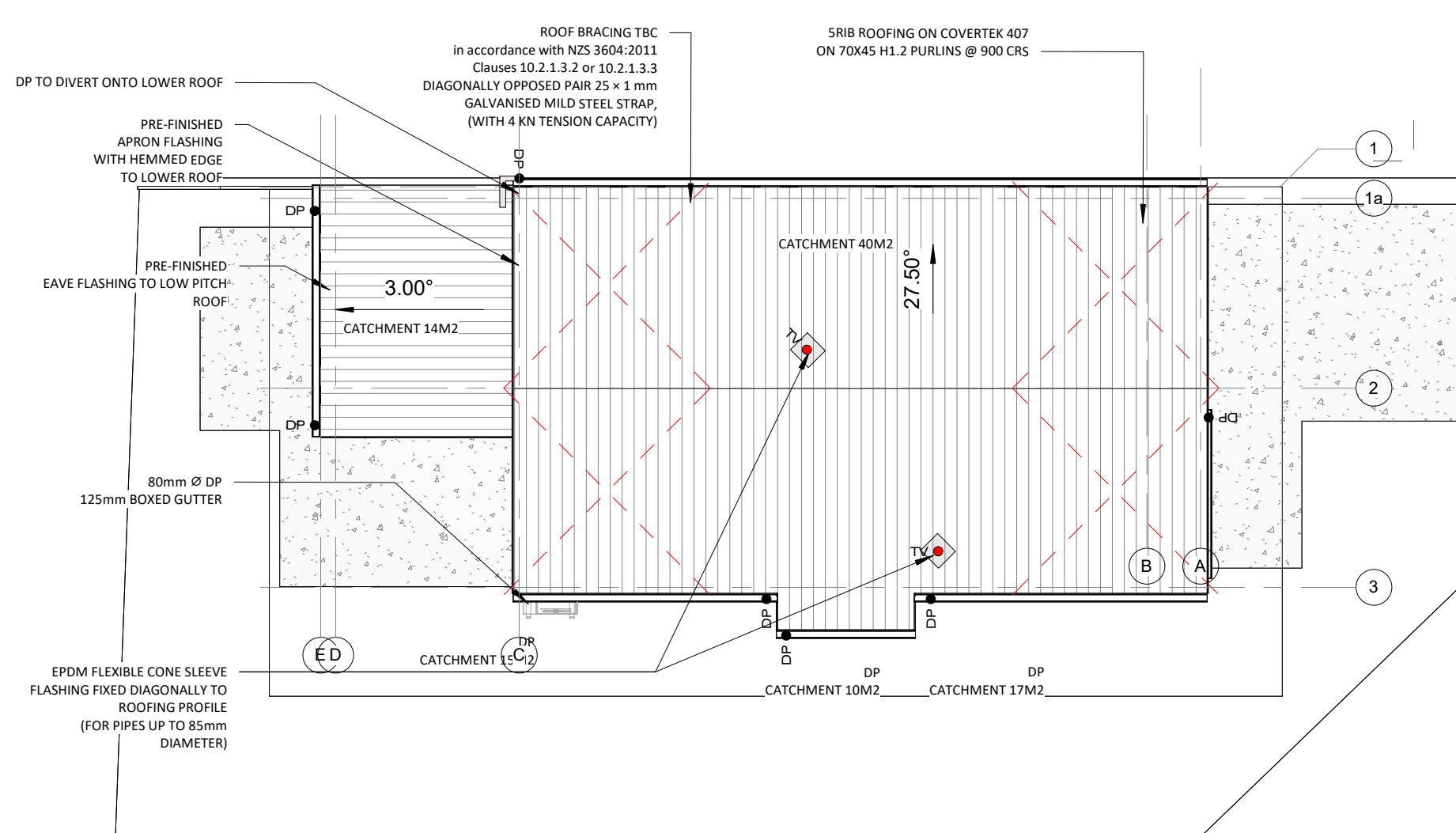
**UNDERFLOOR HEATING:**  
ALLOW FOR UNDERFLOOR TO TILED ENSUITE/BATHROOM FLOOR

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LEGEND	
	LED Down light
	LED recessed wall light
	Ceiling motion sensor
	Pendant
	Exterior Light
	Exterior Sensor
	Mirror light
	Air Con
	TV Point - confirm with client
	Phone/Data/HDMI Point
	Mechanical Ventilation
	Smoke Alarm
	Powerpoint (labelled)
	Powerpoint ( # of outlets)
	Double GPO + USB
	Switchboard
	Meter board - SMART METER
	Demister
	Electric heated towel rail
NOTES:	
1. All fittings to be confirmed with client prior to purchase	
2. Allow for pre-wire and Pre-line walk around with client	
3. All downlights shall be 'IC' rated minimum	
4. Ensure ceiling insulation clearances are met	
5. Smoke alarms shall comply with NZBC F7/AS1, shall have test and hush facilities.	
6. All extract grilles painted/powdercoated to match cladding/soffit they terminate through.	
7. All sensors to include daylight control.	
8. Light fittings to be minimum rated IP44 to bathrooms, IP65 in shower, IP54 exterior.	
9. Co-ordinate with joinery supplier for kitchen/bathroom requirements.	
10. Ensure all socket faceplates are orientated and aligned consistently.	
11. Sockets above bench = 1.0m AFL	
12. Sockets for wall mount TV = 1.5m AFL (confirm client)	

S A STUDIO	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>		REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	CEILING AND ELECTRICAL LAYOUT		1 : 100
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_106	C





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**SOAK PIT CALCULATIONS #2**  
(AS PER NZBC/E1 9.05/9.06)

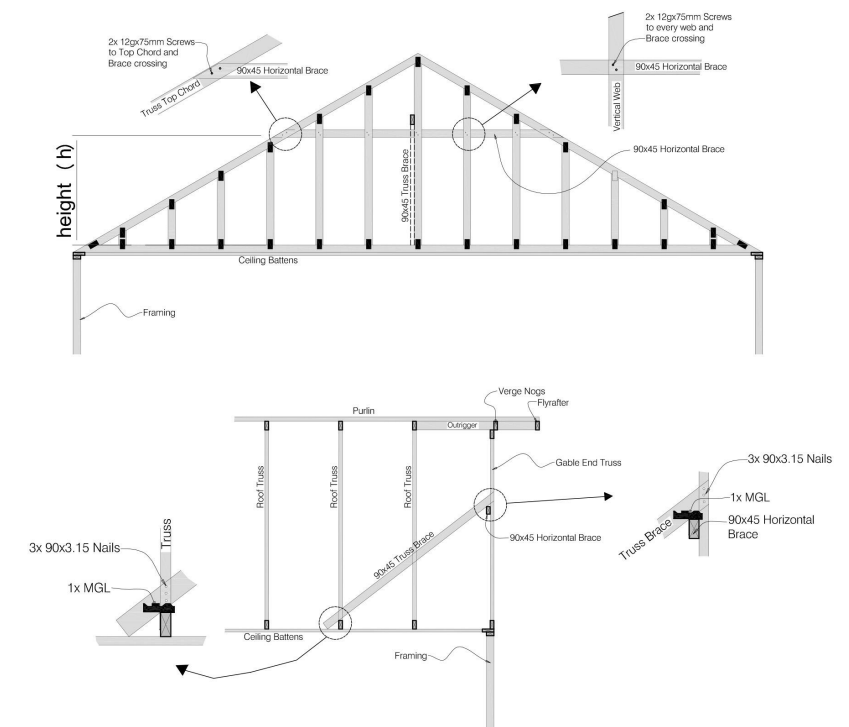
CATCHMENTS AREA=55M2  
CODC STANDARD 1M3 PER 50M2  
CATCHMENT  
=1.5M3 ROCK SOAK PIT

**SOAK PIT CALCULATIONS #1**  
(AS PER NZBC/E1 9.05/9.06)

CATCHMENTS AREA=42M2  
CODC STANDARD 1M3 PER 50M2  
CATCHMENT  
=1M3 ROCK SOAK PIT

ROOF DRAINAGE INFORMATION							
#	CATCHMENT m2		MIN GUTTER E1/AS1 FIG 15&16		GUTTER	DP Ø	
1.	40+15/2=27.5	EXT	7000	30°	8435 (125 Box)	80	
2.	12	EXT	4000	30°	8435 (125 Box)	80	
3.	10	EXT	4000	3°	8435 (125 Box)	80	
4.	17	EXT	4000	3°	8435 (125 Box)	80	

Roof Schedule	
Family and Type	Area
Basic Roof: ROOFING 5rib	90.43 m <sup>2</sup>
Basic Roof: ROOFING 5rib	13.99 m <sup>2</sup>
	104.41 m <sup>2</sup>
Basic Roof: TRUEOAK ROOFING 3	2.60 m <sup>2</sup>
	2.60 m <sup>2</sup>

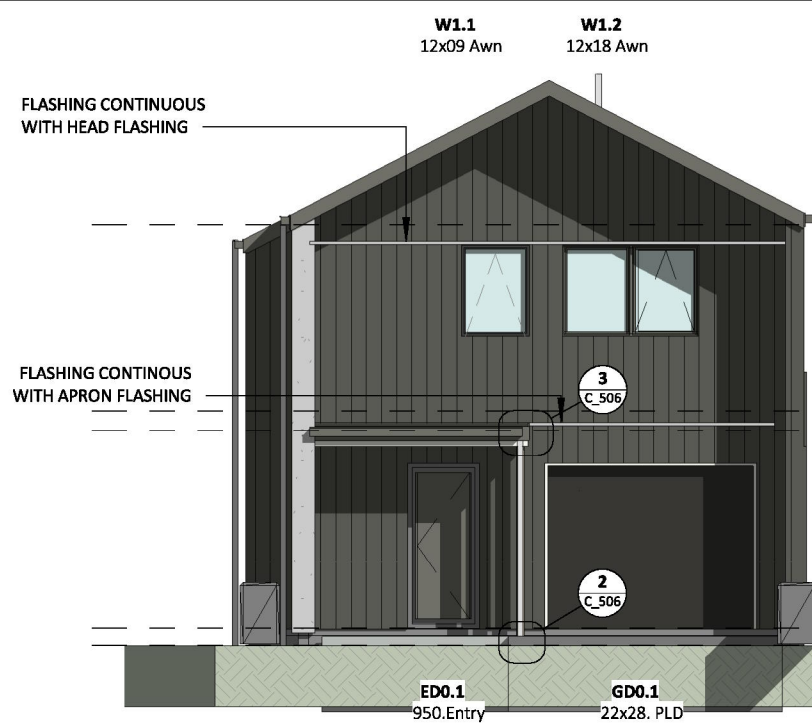


	Web size (mm) SG8 or better	Wind Zone				
		Low	Medium	High	Very High	Extra High
Single Truss	70x45 SG8 at 400crs	2200	2000	1750	1600	1500
	90x45 SG8 at 400crs	2400	2150	1900	1850	1650
	70x45 SG8 at 600crs	1900	1700	1500	1400	1250
	90x45 SG8 at 600crs	2100	1900	1650	1500	1400
Double Trusses	2/70x45 SG8 at 400crs	2800	2550	2250	2050	1900
	2/90x45 SG8 at 400crs	3050	2750	2450	2250	2100
	2/70x45 SG8 at 600crs	2450	2200	1950	1750	1650
	2/90x45 SG8 at 600crs	2650	2400	2100	1950	1800

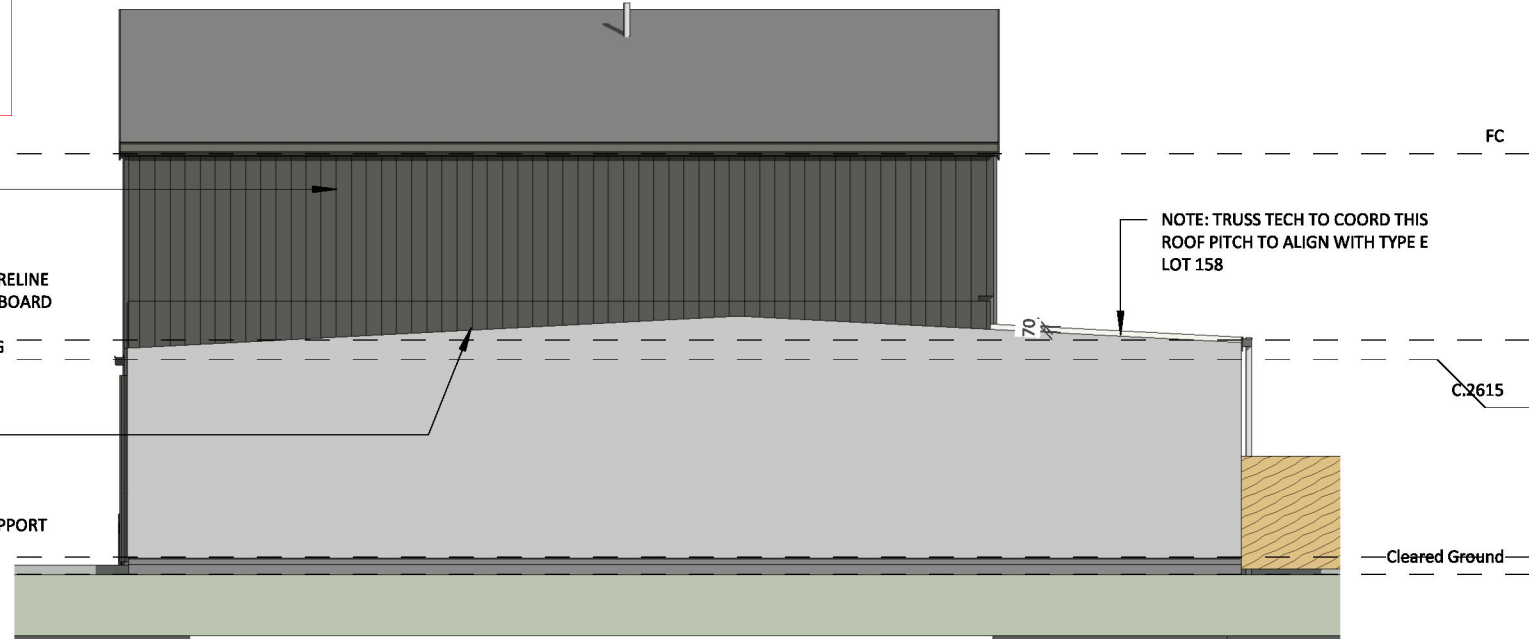
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			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	ROOF PLAN		1 : 100
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_107	C

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FC  
30/30/30 FIRE WALL FULL HEIGHT.  
30 MIN FIRE WALL JHETGR30-N  
INTERNAL: 10MM GIB FYRELINE  
EXTERNAL: 6MM JH RAB BOARD  
20 MM CAVITY  
FIBRE CEMENT CLADDING  
BLOCK WALL OF NEIGHBOUR  
TYPE E. APRON FLASHING TO CLOSE - PROVIDE BLOCKING UNDER TO SUPPORT FLASHING  
GF  
Cleared Ground



1 FRONT ELEVATION  
1 : 100



2 BOUNDARY ELEVATION  
1 : 100



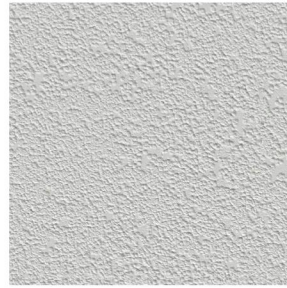
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3 REAR ELEVATION  
1 : 100

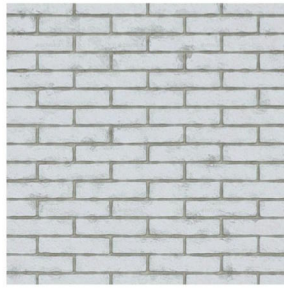
4 SIDE ELEVATION  
1 : 100



5-RIB ROOFING :  
SANDSTONE GREY  
ON COVERTEK 407,  
ON H1.2 70X45 PURLINS ON  
FLAT @ 900 CRS  
TYPE 'T' FIXING 2.4kn 1/10G  
SELF DRILLING SCREW  
80MM LONG  
185 METAL FASCIA, 125 BOX  
SPOUTING, 80Ø DOWN PIPE



140X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @  
800 CRS  
6mm HOME RAB20MM  
DRAINED CAVITY  
RESENE CONSTRUCTION  
SYSTEMS 50MM EPS  
ROCKCOTE CLASSICO FINISH  
COLOUR TBC  
Sto Armour plaster  
system



EXTERNAL WALLS: BRICK VENEER  
140X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800  
CRS  
6mm HOME RAB  
KIWI BRICK  
SHOTOVER  
CREAM



BGC DURAGROOVE (FIBRE CEMENT)  
ON 20mm VENTED AND DRAINED CAVITY  
OVER 6mm HOME RAB  
PAINTED, COLOUR  
SANDSTONE GREY

Table 2: Building envelope risk scores Paragraph 3.1.2, Figure 1							
Risk factor	Risk severity						Subtotals for each risk factor
	LOW	MEDIUM	HIGH	VERY HIGH (1)	VERY HIGH (2)		
Wind zone (per NZS 3604)(1)	0	0	1	1	2		1
Number of storeys	0	1	2	2	4		2
Roof/wall intersection design	0	1	3				5
Eaves width	0	1	2		5		5
Envelope complexity	0	1	3		6		1
Deck design	0	0	2	4	6		0
Total risk score for use in Table 3:							14

(Enter the appropriate risk severity score for each risk factor in the score columns. Transfer these figures across to the right-hand column. Finally, add up the figures in the right-hand column to get the total risk score.)

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements.

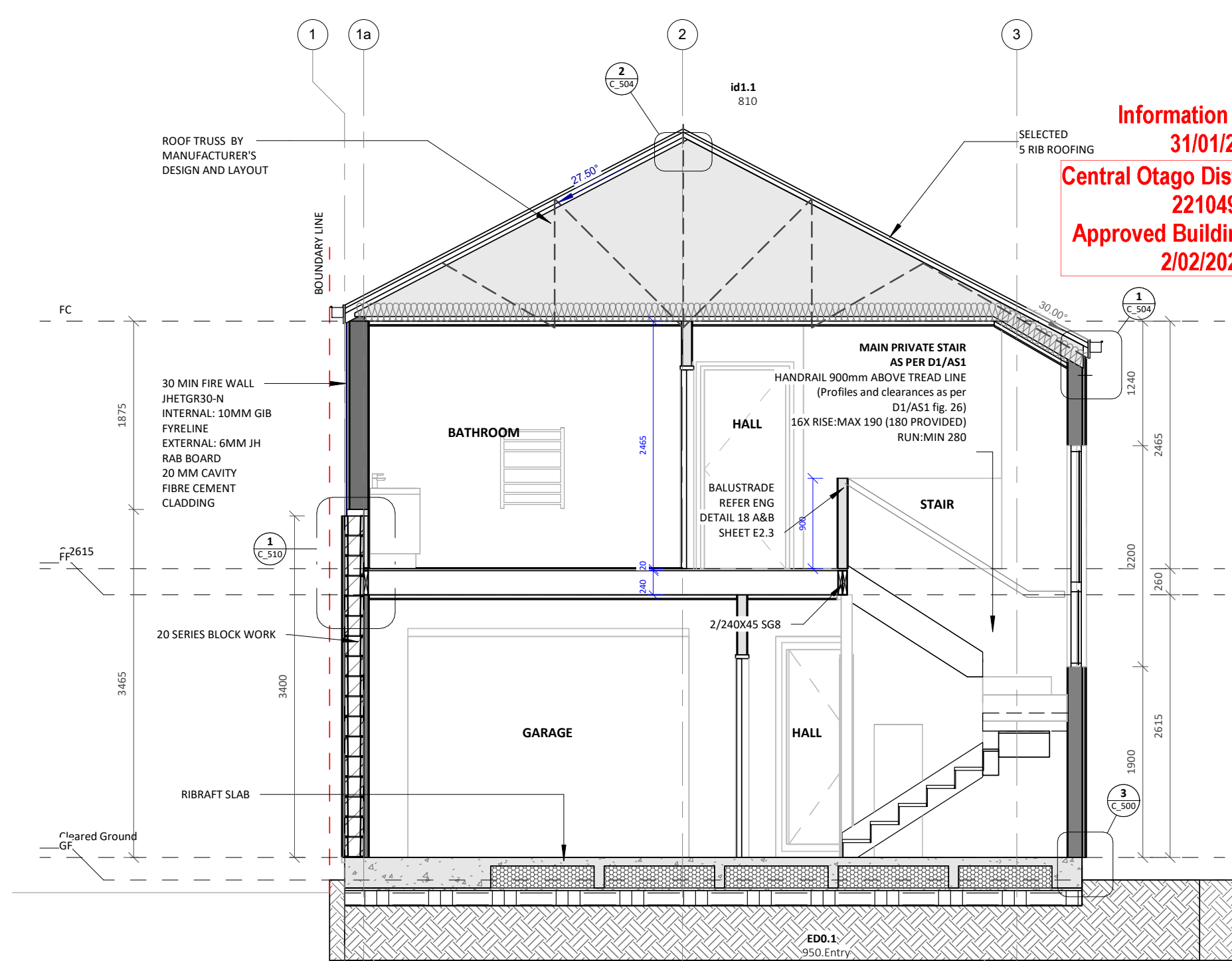
Elevation Risk Matrix: All Elevations  
Cladding Used: PERMITTED ON CAVITY = Permitted

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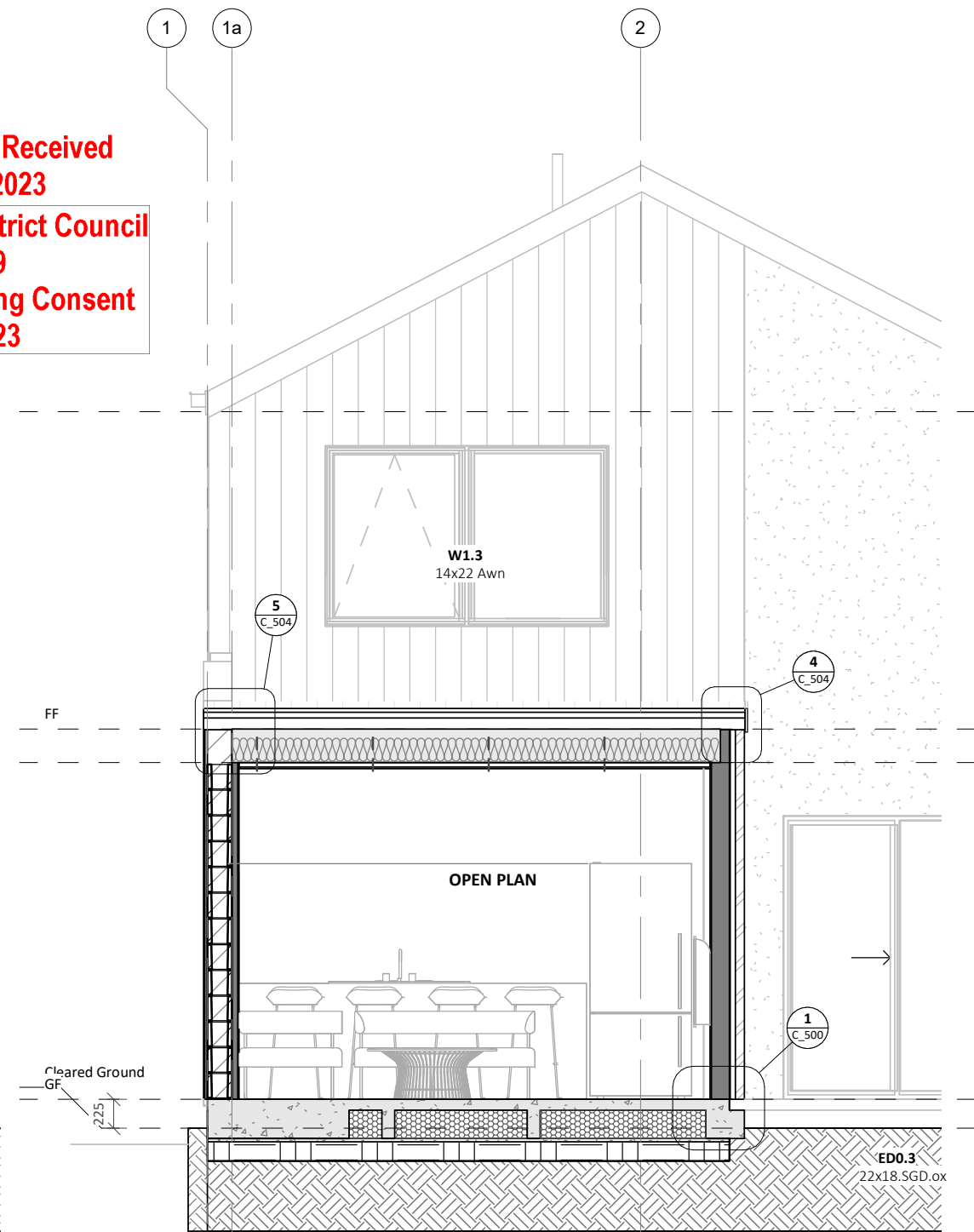
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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	ELEVATIONS		1 : 100
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_200	C





1 A  
1 : 50



2 A1  
1 : 50

**INTERNAL WALLS:**  
90X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
10MM STANDARD GIB LINING  
(10MM AQUALINE TO WET AREAS)  
LEVEL 4 PAINT FINISH

**INTERNAL CEILINGS:**  
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)  
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,  
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS  
@ 600 CRS.  
SQUARE STOP CORNICE. LEVEL 4 FINISH

**INTERNAL DOORS AND TRIMS**  
SKIRT: 85X10 FJ BEVEL, PAINT FINISH  
ARC: 60X10 FJ BEVEL, PAINT FINISH  
DOORS: 1980 LEAF, HOLLOW CORE FLUSH PANEL, MDF JAMB  
TYPICAL. PINE JAMB TO WETAREAS. PAINT FINISH TO ALL.

**FIRST FLOOR FRAMING NOTES:**  
REFER FRAMING PLAN, MIN 19MM FLOORING OVER  
CHH ECOPLY FLOOR F8  
19MM H3 ECOPLY FLOOR TO WET AREAS.  
WHERE PIPEWORK PENETRATES THE FLOOR JOISTS, INSTALL  
PRYDA PLATE STIFFENERS AS REQUIRED.

#### H1 INSULATION CALCULATIONS CLIMATE ZONE 6 NON HEAT EMBEDDED

Location	R-Values REQ.	Provided R-Value	Product
Roof	6.6	6.6	PINK BATTS ULTRA CEILING R4 195mm +CLASSIC R2.6 140MM
Walls	2.0	3.2	PINK BATTS WALL ULTRA 140mm
Slab	1.7	1.93 MIN	PINK BATTS MASONRY R1.2 50mm
Windows	0.5	0.5	RIB RAFT, 2.0 AREA TO PERIMETER RATIO Double Glazed, LOW E4/ARGON/CLEAR

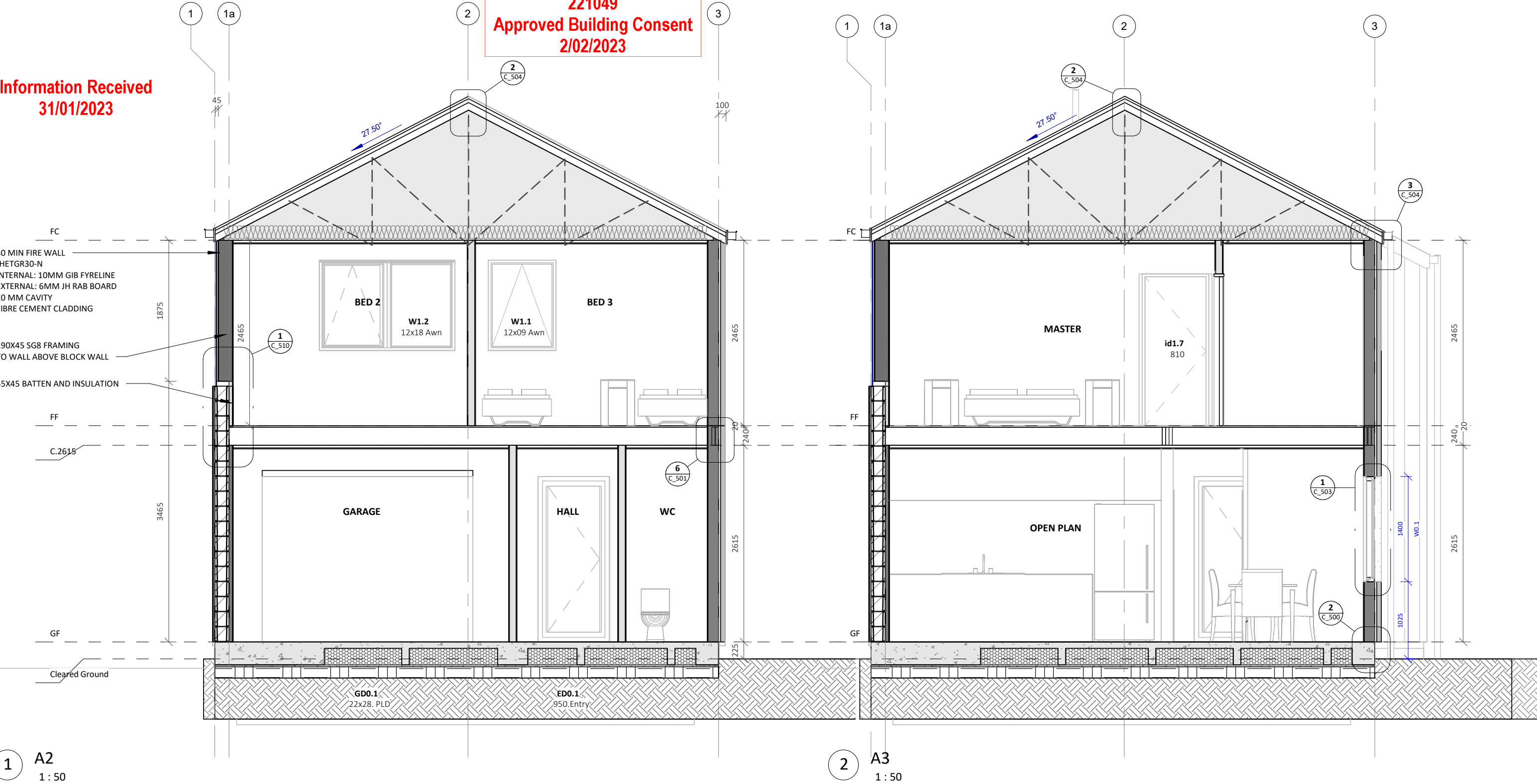
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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SECTIONS - TYPE C	1 : 50
B	FOR BC COORD	6.12.2022				
C	FOR BUIDLING CONSENT	12.12.2022				
			CLIENT	CHECK	FILE	SHEET
			CHP DEVELOPMENTS LTD	JS	2025	C_300
						REV
						C

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**INTERNAL WALLS:**  
90X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
10MM STANDARD GIB LINING  
(10MM AQUALINE TO WET AREAS)  
LEVEL 4 PAINT FINISH

**INTERNAL CEILINGS:**  
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)  
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,  
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS  
@ 600 CRS.  
SQUARE STOP CORNICE. LEVEL 4 FINISH

**INTERNAL DOORS AND TRIMS**  
SKIRT: 85X10 FJ BEVEL, PAINT FINISH  
ARC: 60X10 FJ BEVEL, PAINT FINISH  
DOORS: 1980 LEAF, HOLLOW CORE FLUSH PANEL, MDF JAMB  
TYPICAL. PINE JAMB TO WETAREAS. PAINT FINISH TO ALL.

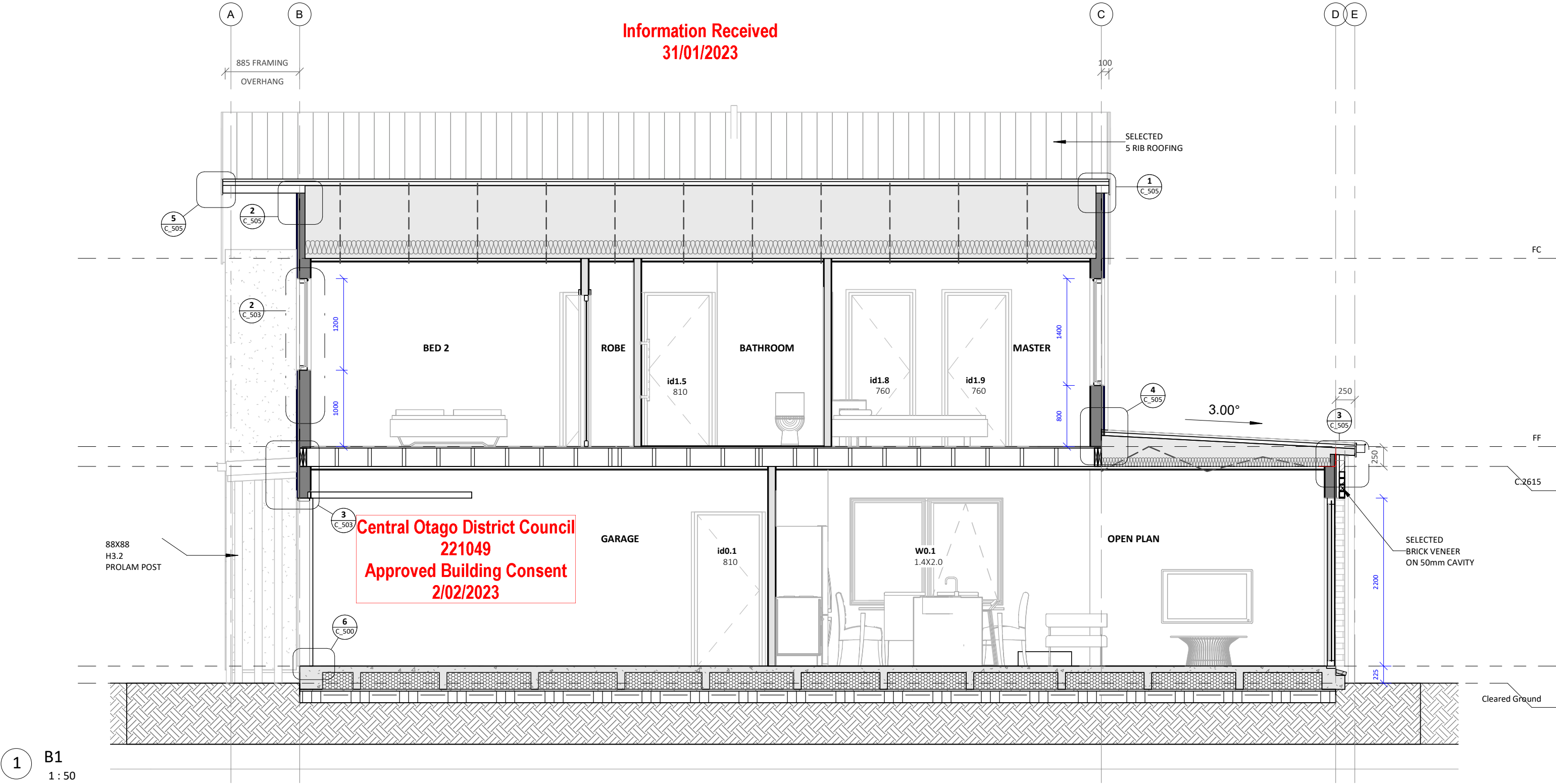
**FIRST FLOOR FRAMING NOTES:**  
REFER FRAMING PLAN, MIN 19MM FLOORING OVER  
CHH ECOPLY FLOOR F8  
19MM H3 ECOPLY FLOOR TO WET AREAS.  
WHERE PIPEWORK PENETRATES THE FLOOR JOISTS, INSTALL  
PRYDA PLATE STIFFENERS AS REQUIRED.

H1 INSULATION CALCULATIONS CLIMATE ZONE 6 NON HEAT EMBEDDED

Location	R-Values REQ.	Provided R-Value	Product
Roof	6.6	6.6	PINK BATTS ULTRA CEILING R4 195mm +CLASSIC R2.6 140MM
Walls	2.0	3.2	PINK BATTS WALL ULTRA 140mm
Slab	1.7	1.93 MIN	PINK BATTS MASONRY R1.2 50mm
Windows	0.5	0.5	RIB RAFT, 2.0 AREA TO PERIMETER RATIO Double Glazed, LOW E4/ARGON/CLEAR

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SECTIONS		1 : 50
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022					
			CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_301	C





**INTERNAL WALLS:**  
90X45 H1.2 J-FRAME  
STUDS @ 600 CRS, NOGS @ 800 CRS  
10MM STANDARD GIB LINING  
(10MM AQUALINE TO WET AREAS)  
LEVEL 4 PAINT FINISH

**INTERNAL CEILINGS:**  
13MM GIB CEILINGS (13MM AQUALINE TO WET AREAS)  
GLUE AND SCREW FIX 150 CRS TO SHEET EDGES,  
300 CRS INTERMEDIATE ON GIB RONDO 310 BATTENS  
@ 600 CRS.  
SQUARE STOP CORNICE. LEVEL 4 FINISH

**INTERNAL DOORS AND TRIMS**  
SKIRT: 85X10 FJ BEVEL, PAINT FINISH  
ARC: 60X10 FJ BEVEL, PAINT FINISH  
DOORS: 1980 LEAF, HOLLOW CORE FLUSH PANEL, MDF JAMB  
TYPICAL. PINE JAMB TO WETAREAS. PAINT FINISH TO ALL.

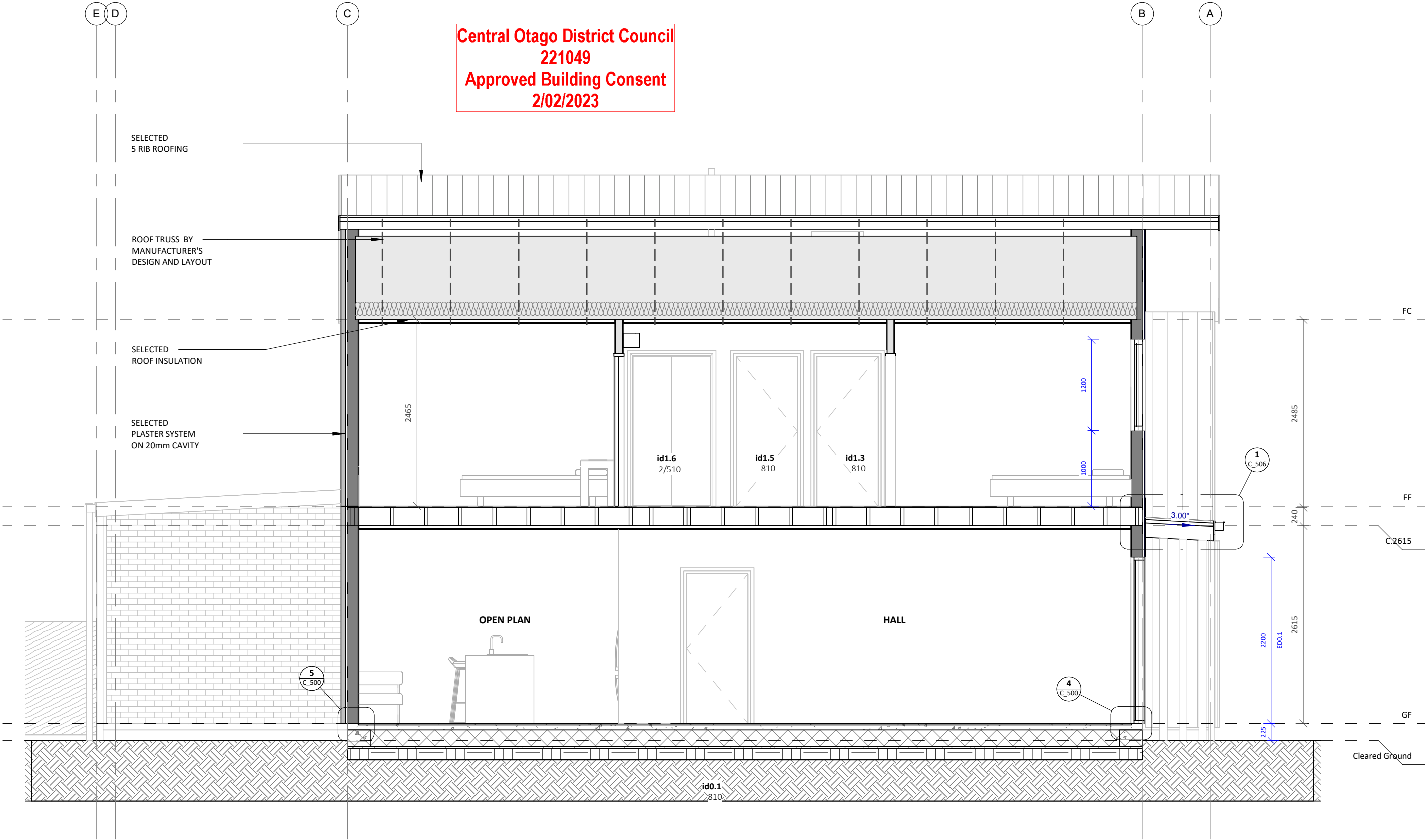
**FIRST FLOOR FRAMING NOTES:**  
REFER FRAMING PLAN, MIN 19MM FLOORING OVER  
CHH ECOPLY FLOOR F8  
19MM H3 ECOPLY FLOOR TO WET AREAS.  
WHERE PIPEWORK PENETRATES THE FLOOR JOISTS, INSTALL  
PRYDA PLATE STIFFENERS AS REQUIRED.

H1 INSULATION CALCULATIONS CLIMATE ZONE 6 NON HEAT EMBEDDED

Location	R-Values REQ.	Provided R-Value	Product
Roof	6.6	6.6	PINK BATTS ULTRA CEILING R4 195mm +CLASSIC R2.6 140MM
Walls	2.0	3.2	PINK BATTS WALL ULTRA 140mm PINK BATTS MASONRY R1.2 50mm
Slab	1.7	1.93 MIN	RIB RAFT, 2.0 AREA TO PERIMETER RATIO
Windows	0.5	0.5	Double Glazed, LOW E4/ARGON/CLEAR

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SECTION		1 : 50
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_302	C

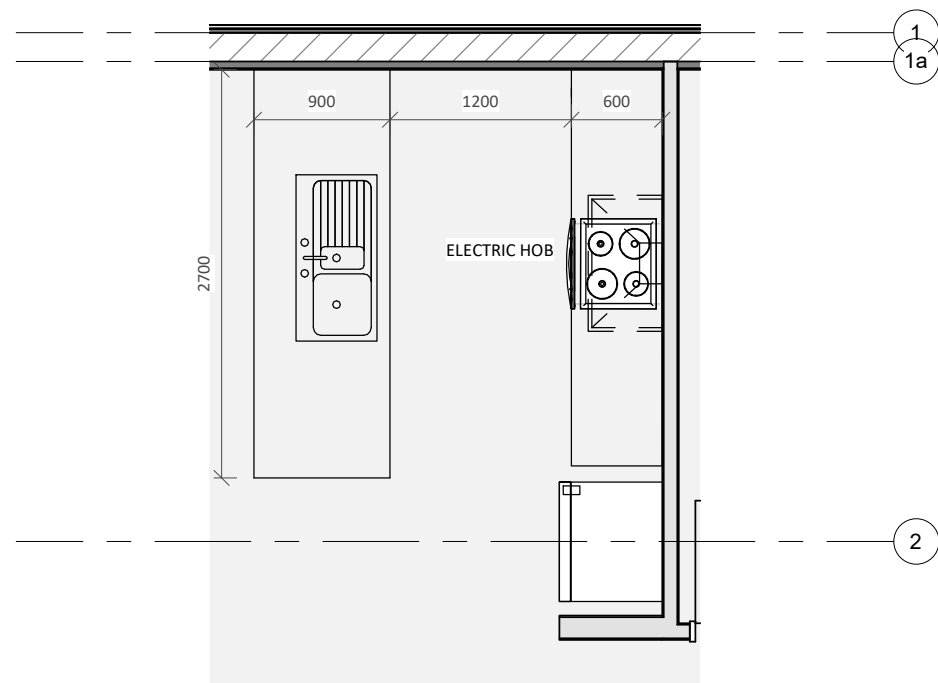
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31/01/2023

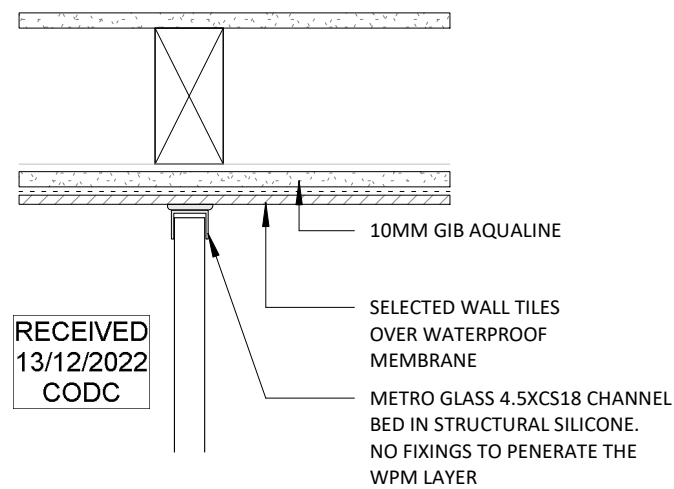
S A STUDIO	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764</p> <p>www.sastudio.co.nz</p>		REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	SECTION B		1 : 50
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_303	C



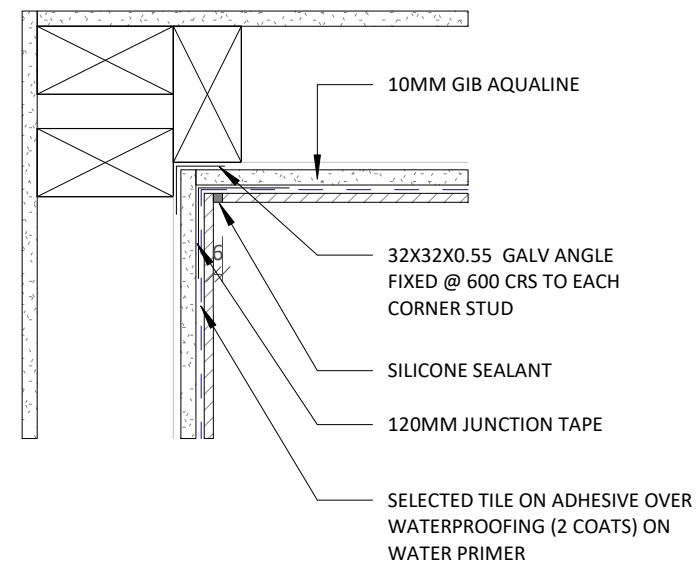


1 KITCHEN PLAN  
1 : 50

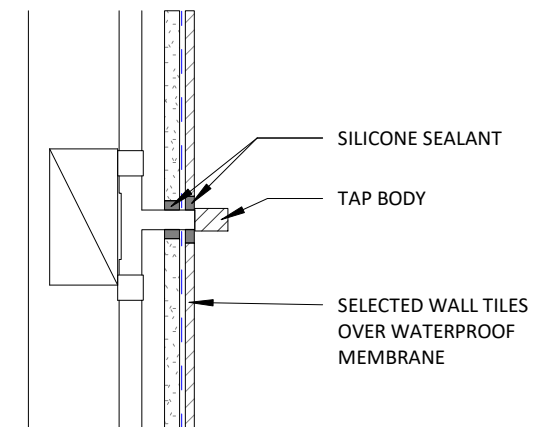
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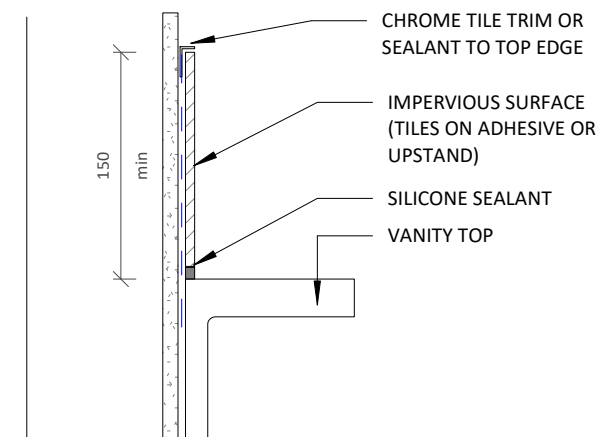
SHOWER SCREEN INSTALL



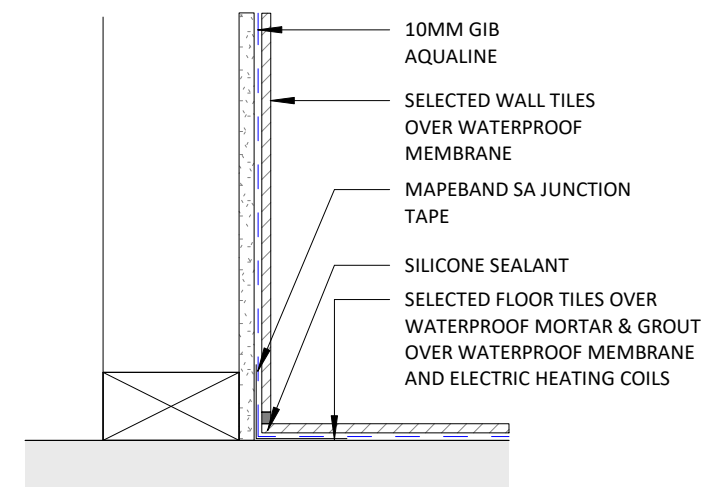
BATHROOM CORNER DETAIL



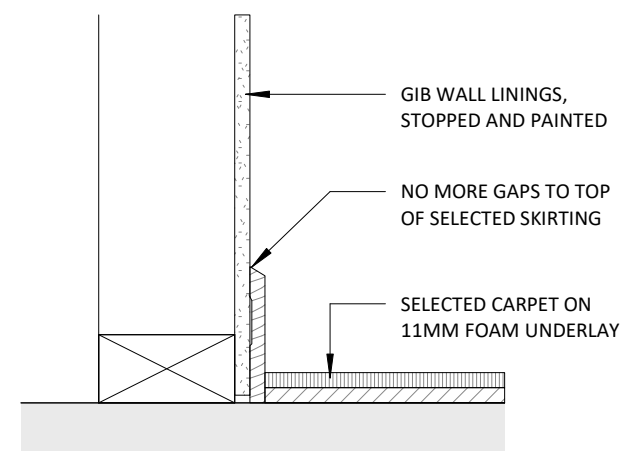
TYPICAL PIPE PENETRATION



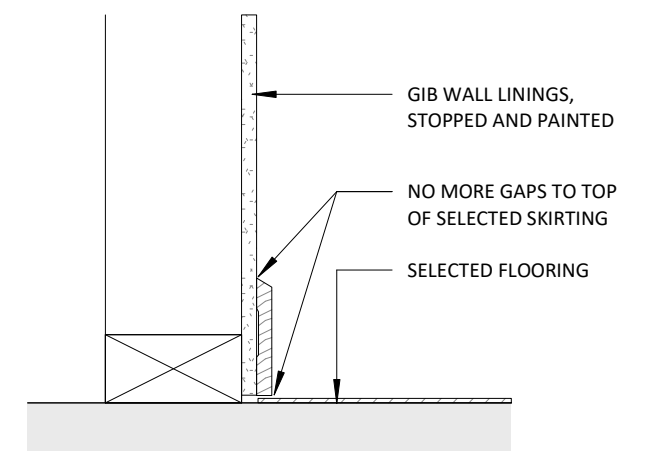
BATHROOM VANITY TOP



TILED WALL/FLOOR

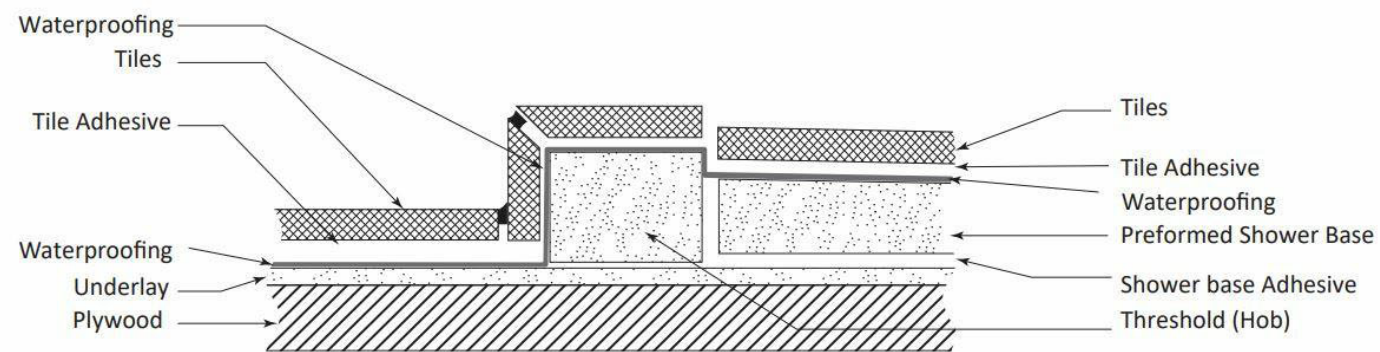
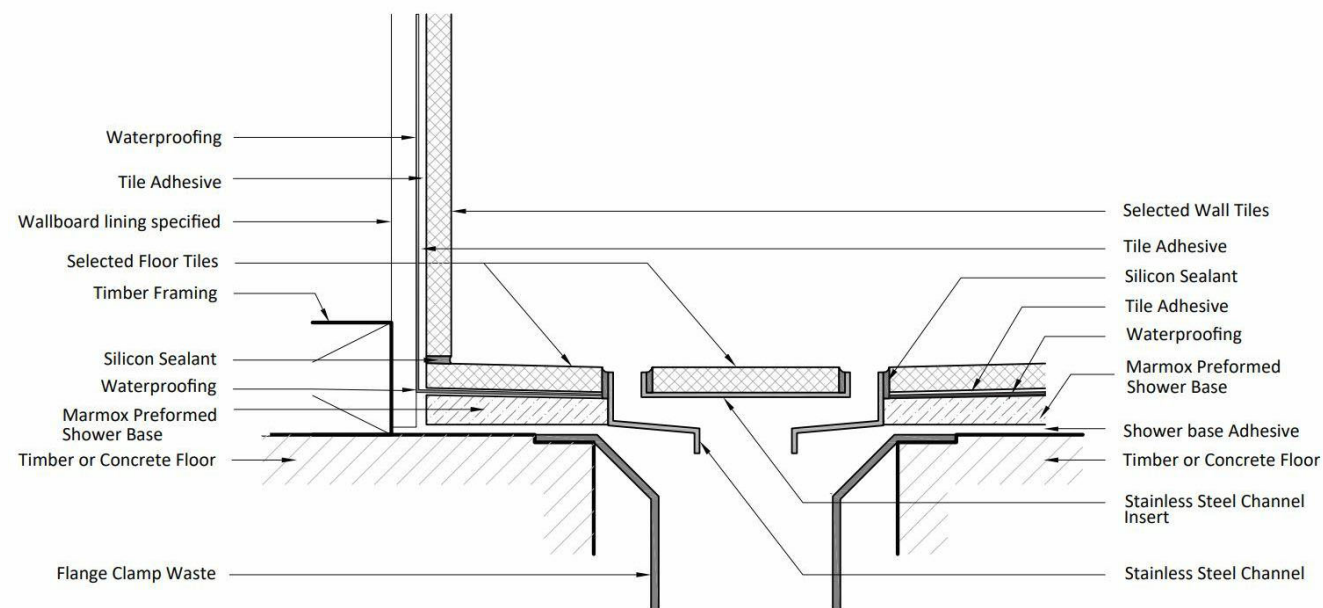


CARPET FLOOR/SKIRT



HARD FLOOR/SKIRT

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	KITCHEN		As indicated
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022					
			CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_400	C



### SHOWER CROSS SECTION.

MARMOX READY TO TILE BASE INSTALLED WITH MAPEI WPM OVER.  
REFER TO SPEC FOR PRODUCT INFORMATION  
NO SOLVENTS TO BE USED IN ANY MATERIALS

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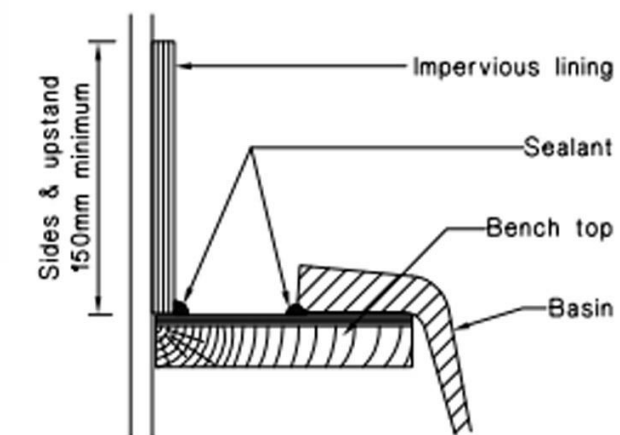
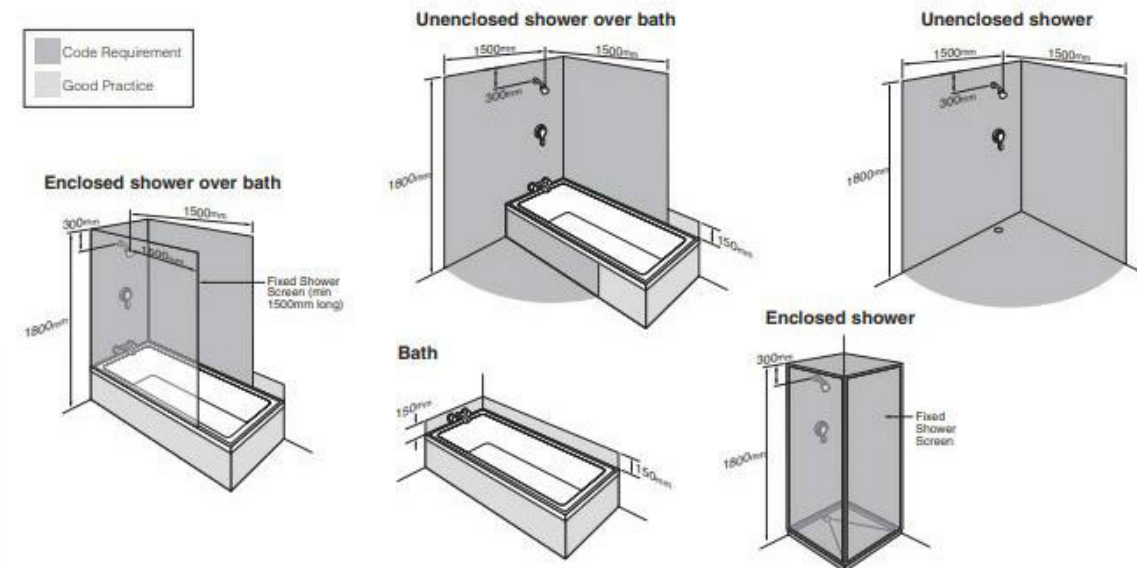
### SURFACES IN SHOWERS AND AROUND BATHS

Note that a waterproof membrane complying with AS/NZS 4858: 2004 **MUST** be applied to all lining materials used under ceramic tiles in these areas.

The waterproof membrane must extend to a 1500mm horizontal radius from a shower rose unless the shower is contained within a fixed enclosure. A shower curtain does not constitute a fixed enclosure.

Particleboard manufacturers recommend that in wet areas, panels should be protected with a suitable wet area membrane or an integrally waterproof sheet material. Some local authorities call for this treatment on all timber based floors. Local requirements should be checked before proceeding.

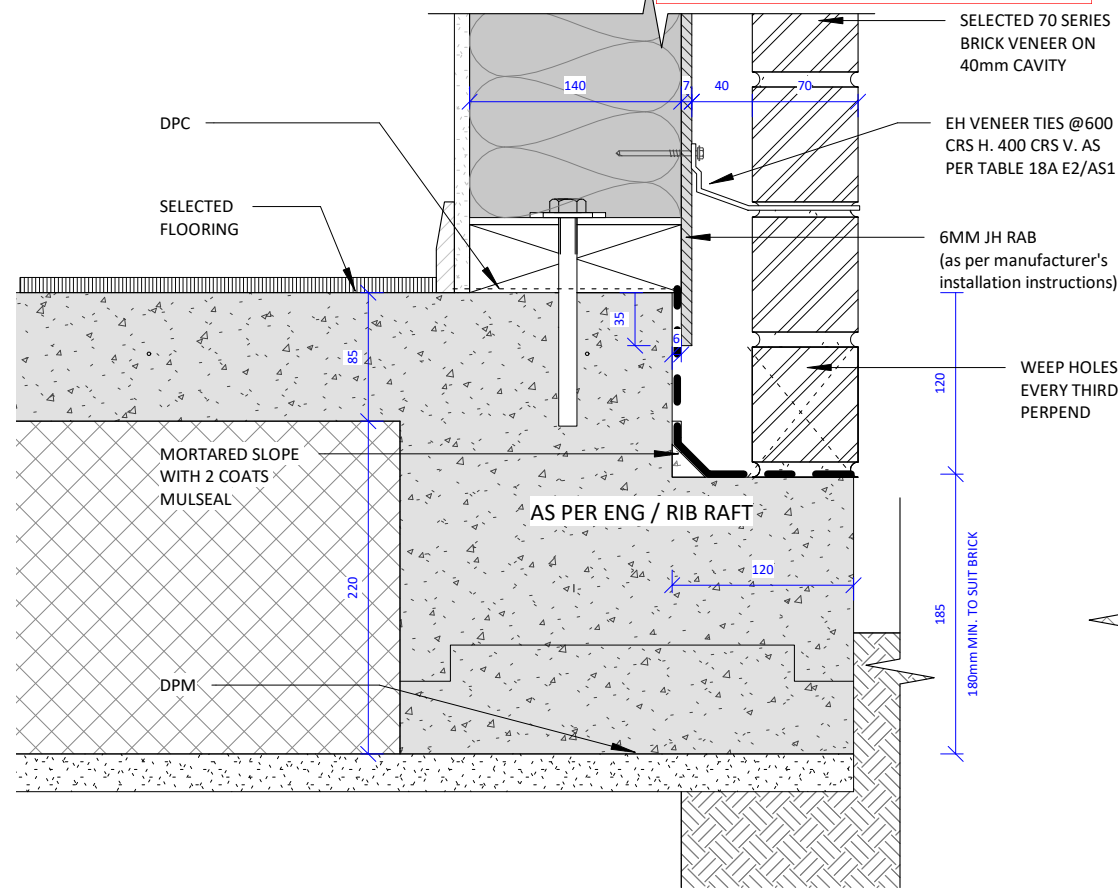
**Dark grey shaded areas in the diagrams below represent the minimum extent of wall surfaces requiring impervious sheet materials or waterproof membranes prior to tiling. Light grey shaded areas represent good practice.**



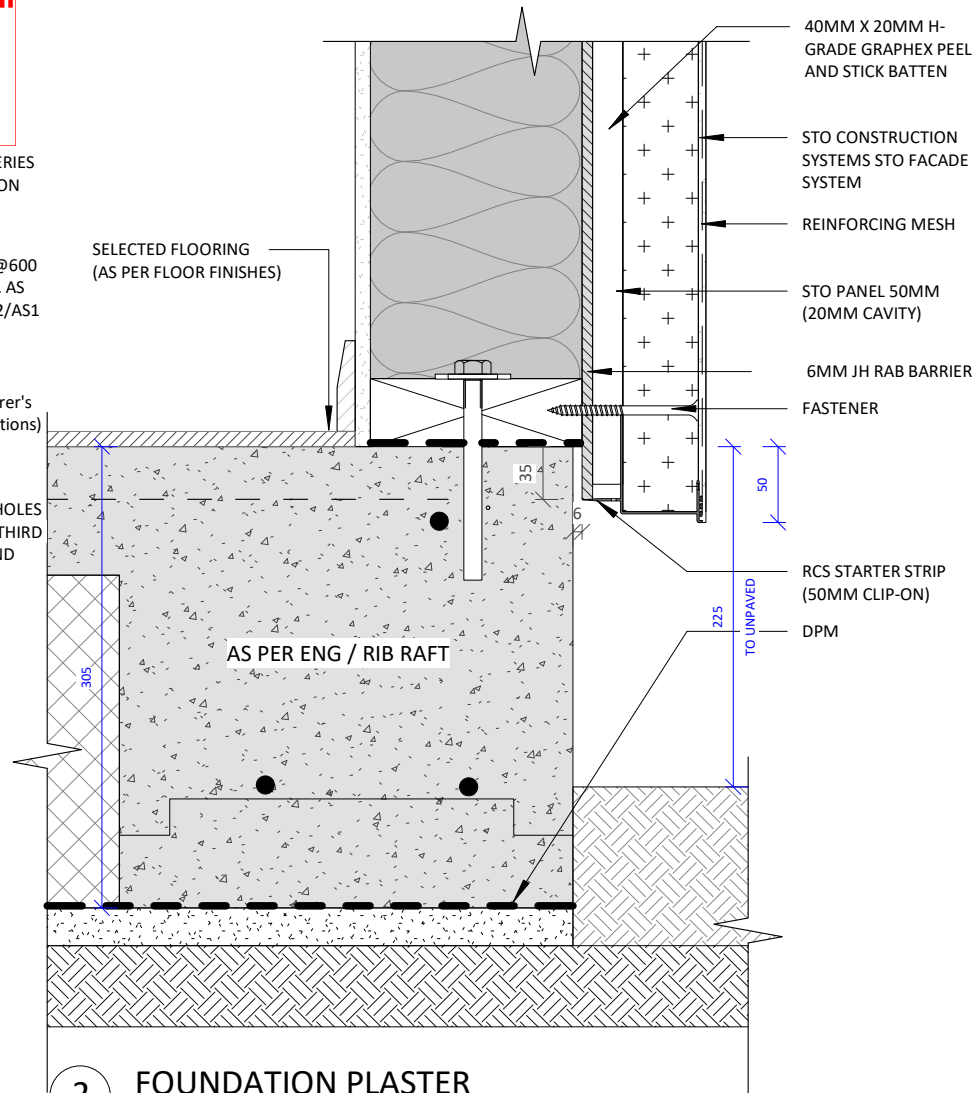
(b) Tub, sink and basin

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	WET AREA DETAILS	
B	FOR BC COORD	6.12.2022				
C	FOR BUIDLING CONSENT	12.12.2022				
			CLIENT	CHECK	FILE	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_401
						C

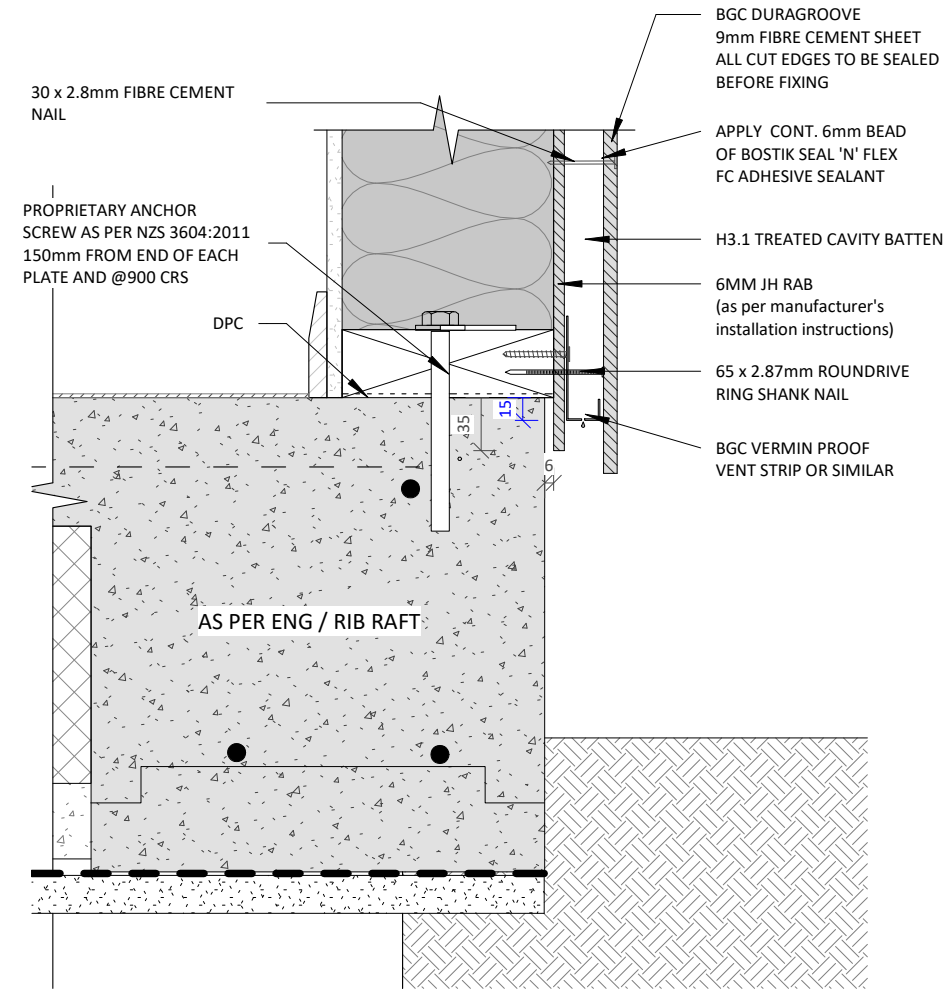




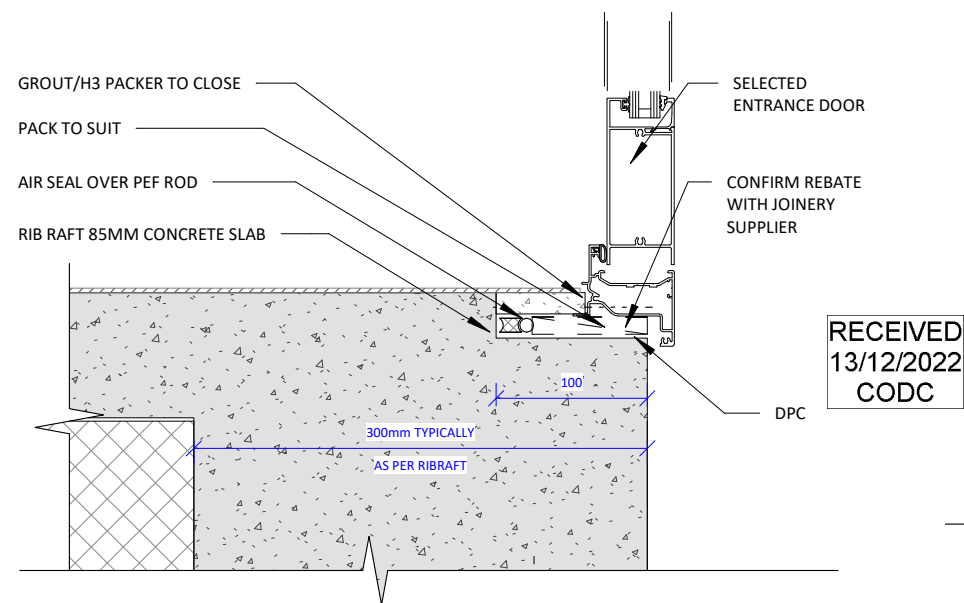
1 FOUNDATION BRICK VENEER  
1:5



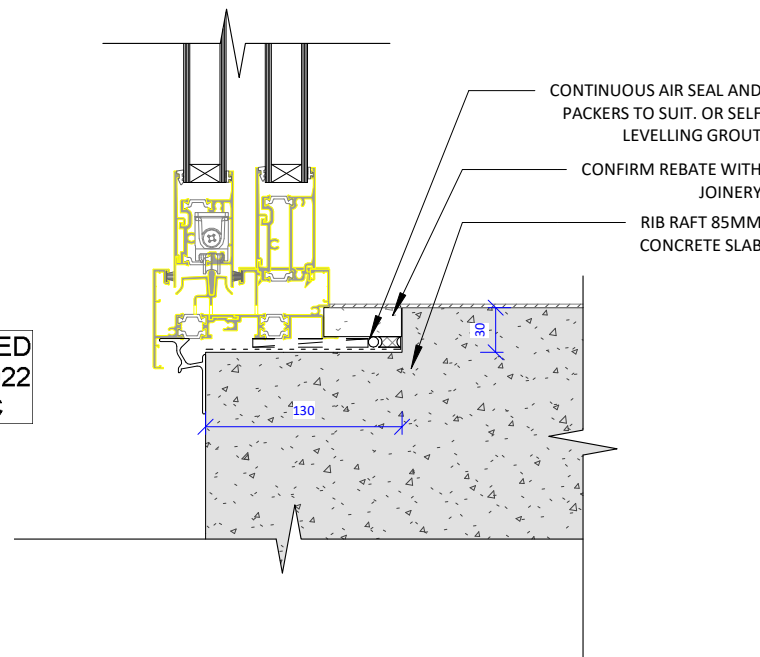
2 FOUNDATION PLASTER  
1:5



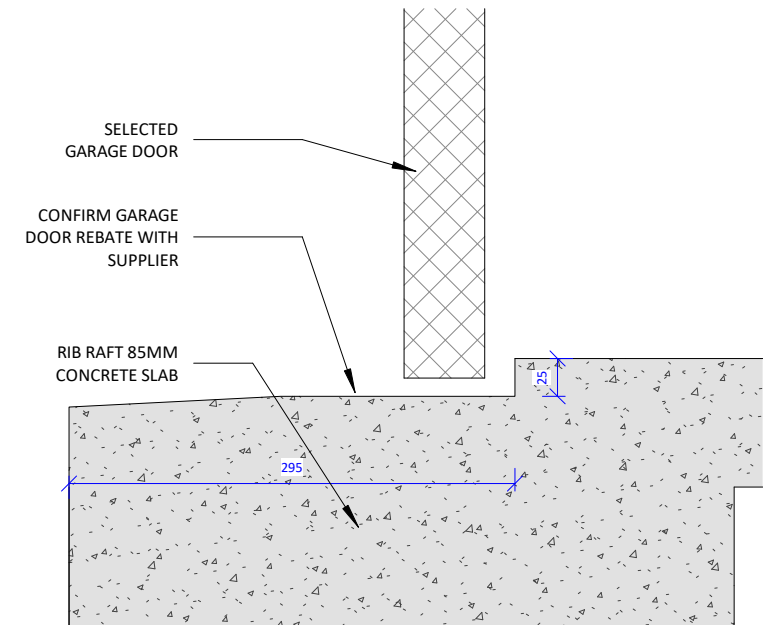
3 A - FOUNDATION STRIA  
1:5



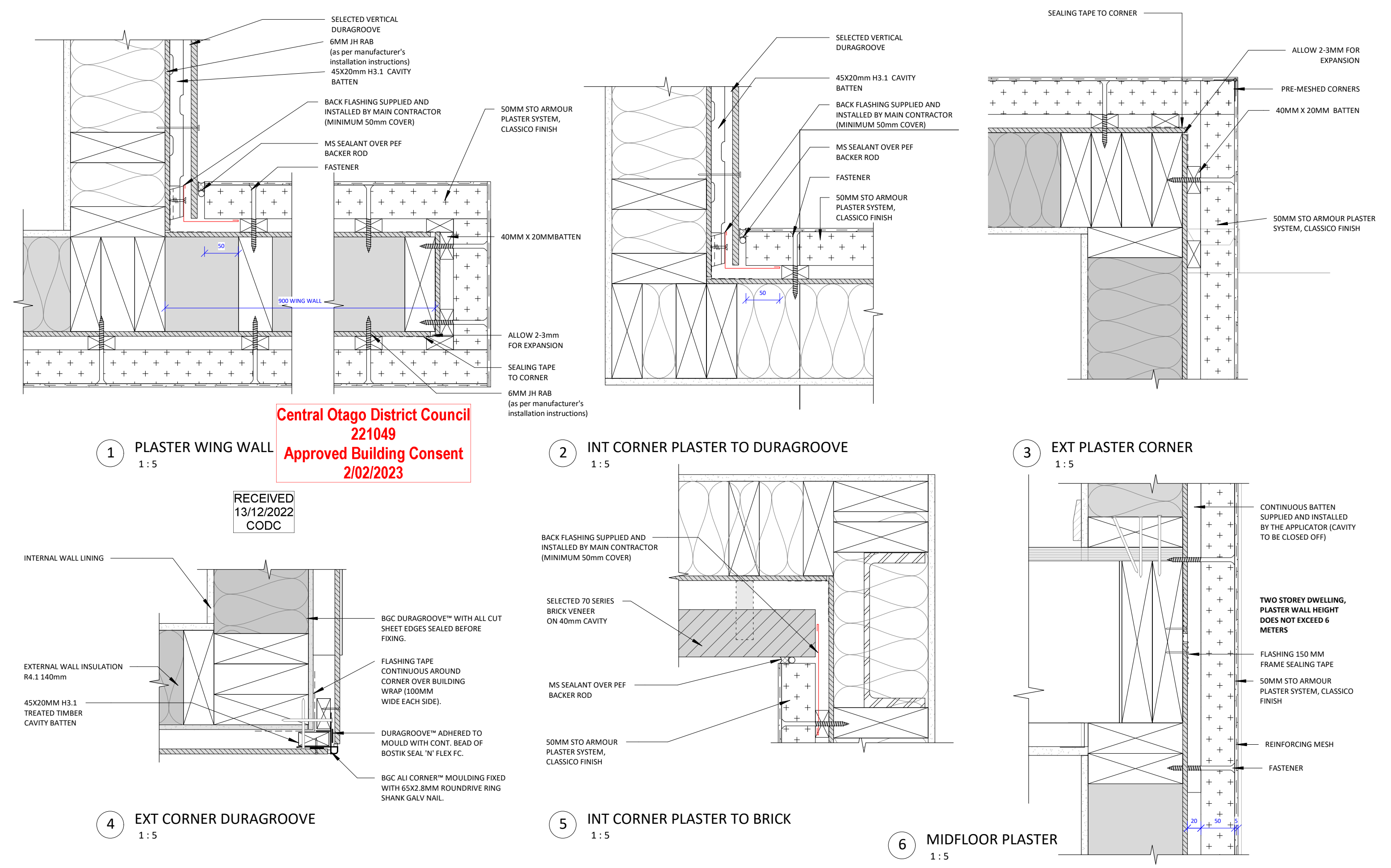
4 HINGED DOOR REBATE  
1:5



5 SLIDER DOOR REBATE  
1:5

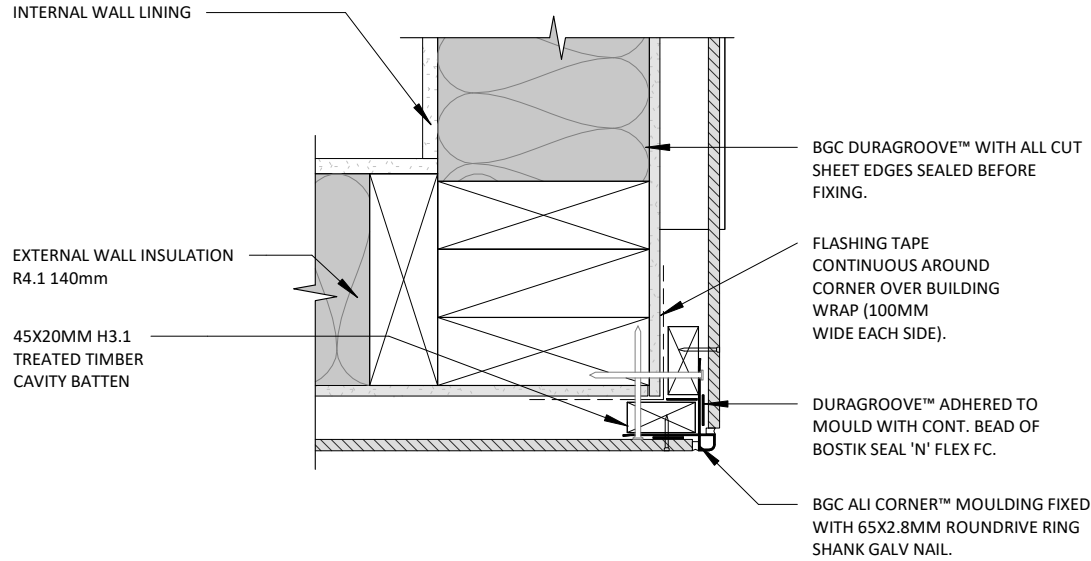


6 GARAGE SILL  
1:5



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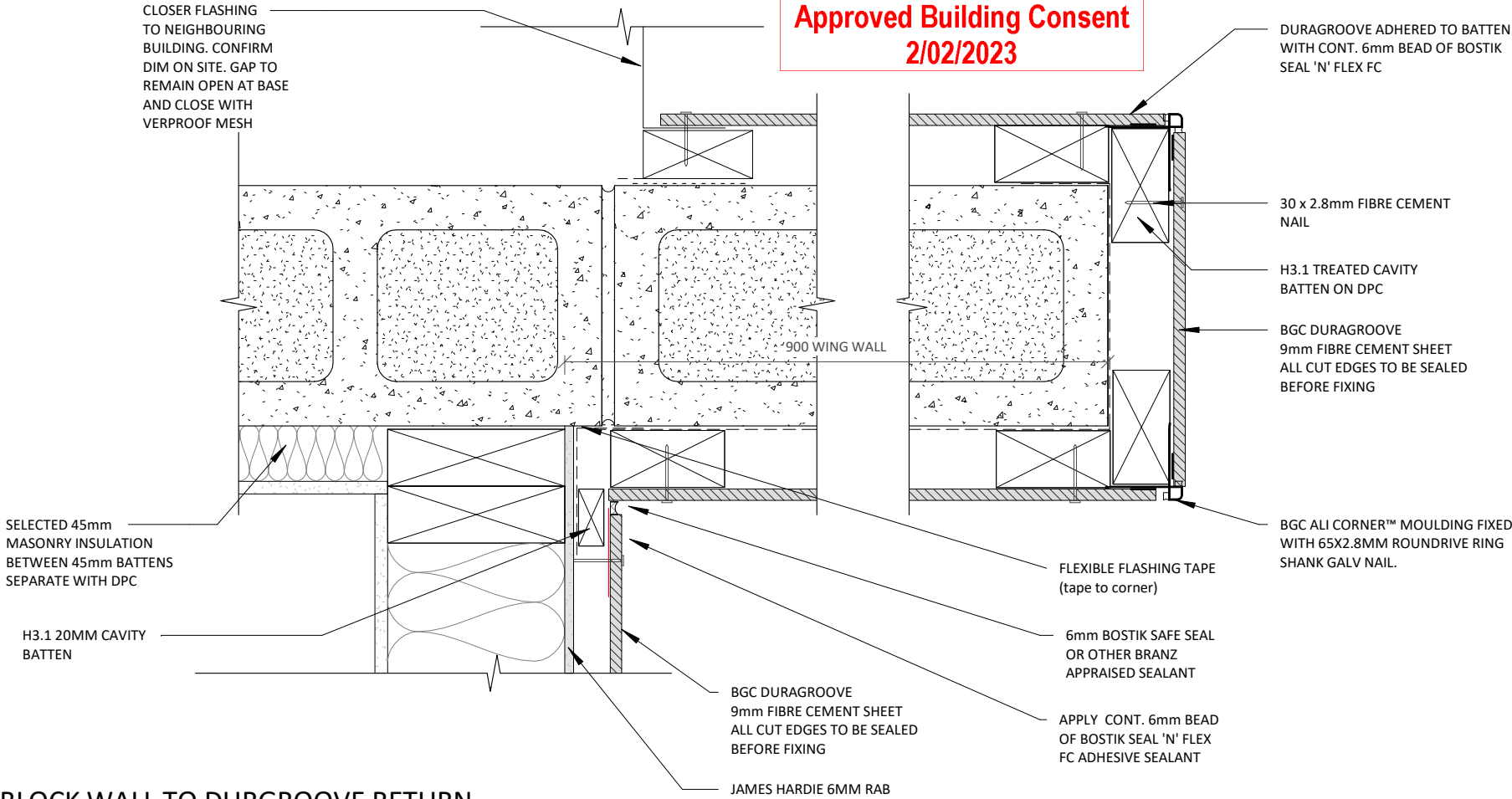
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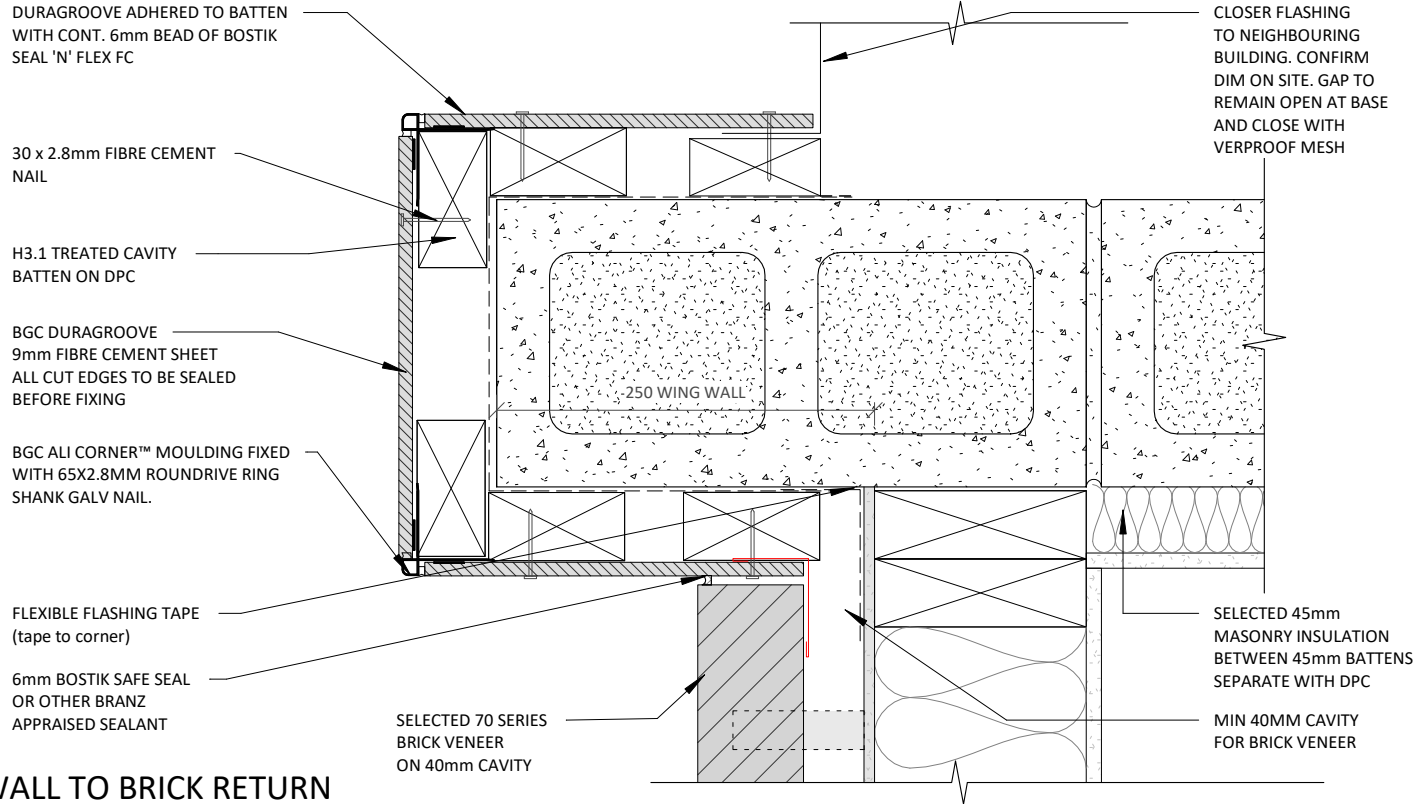
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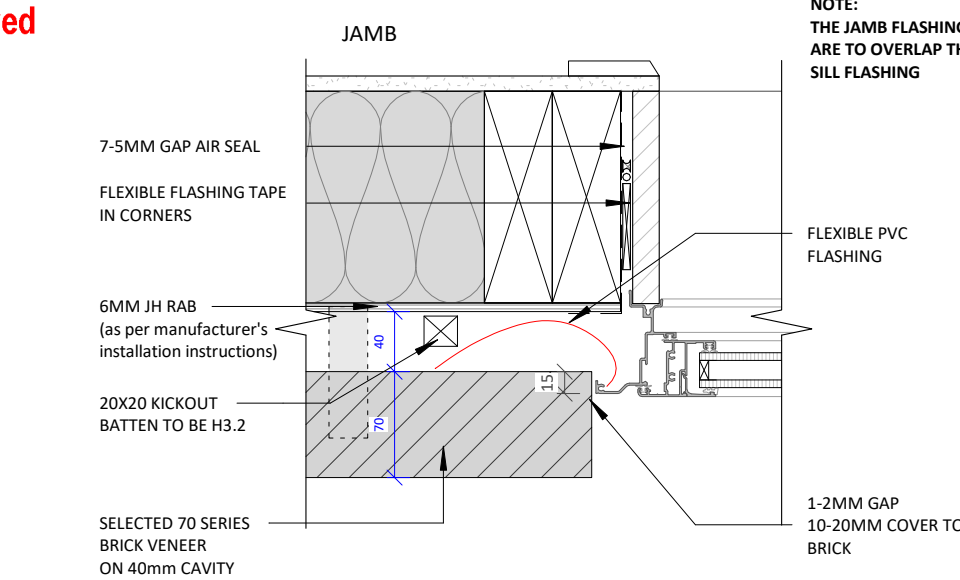
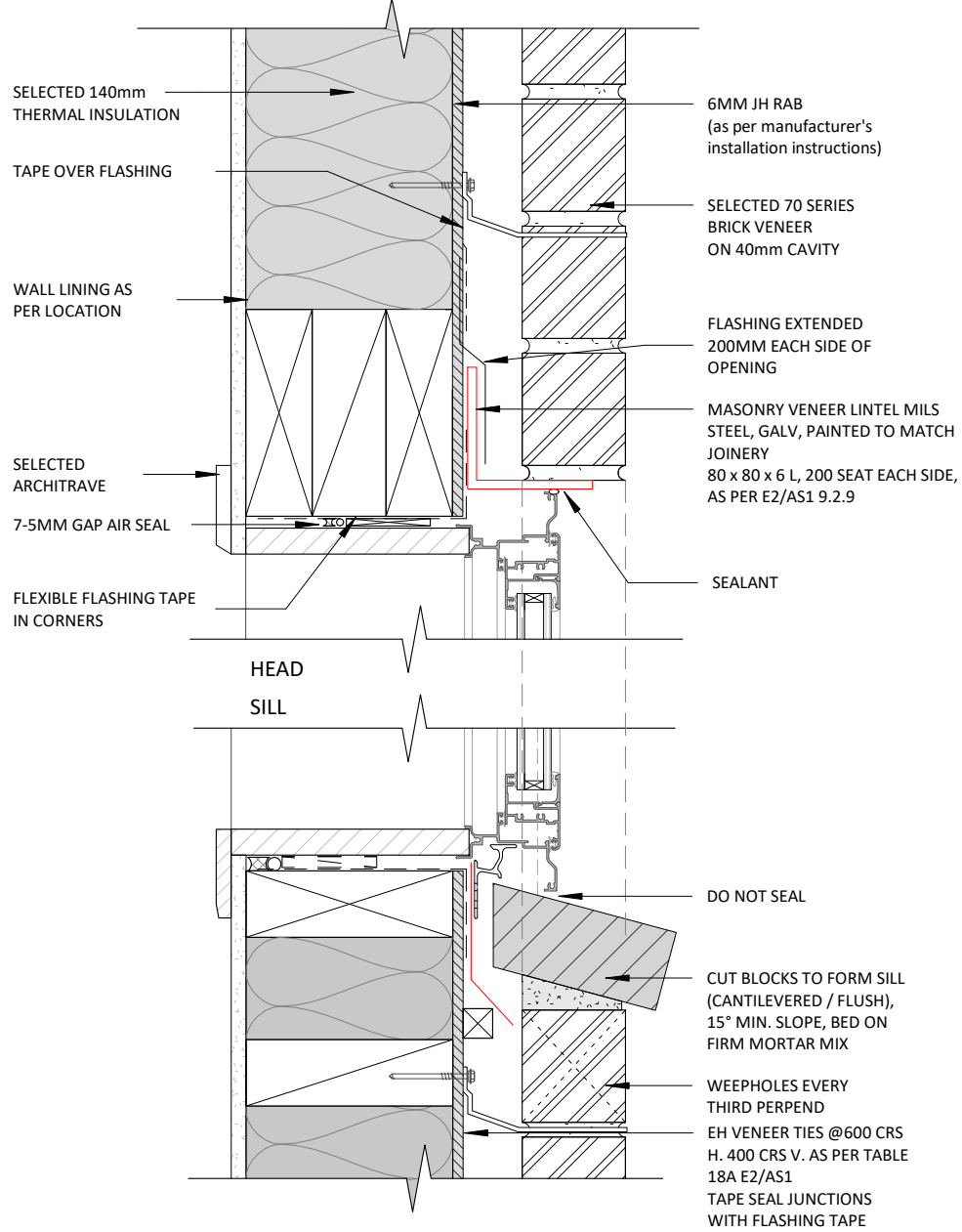
REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS WALL		1 : 5
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022					
			CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_501	C



1 BLOCK WALL TO DURGROOVE RETURN  
1 : 5



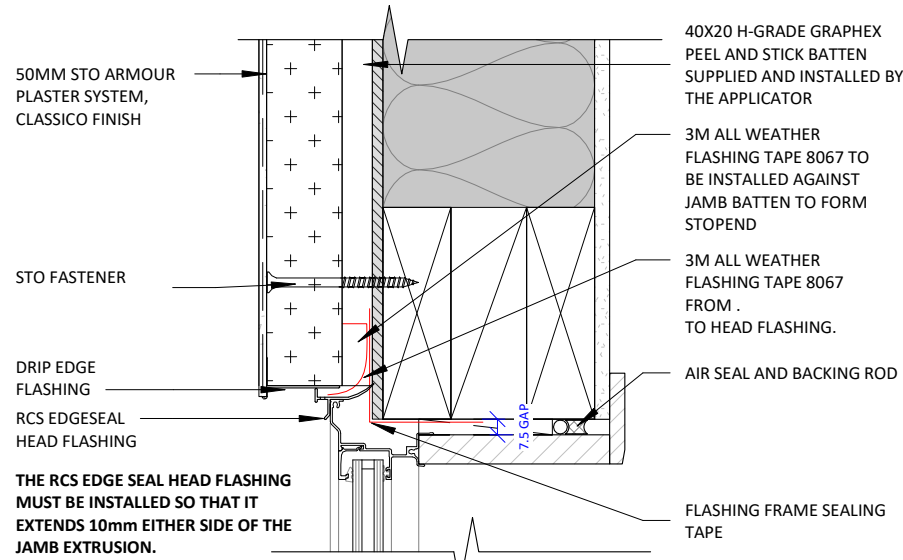
2 BLOCK WALL TO BRICK RETURN  
1 : 5



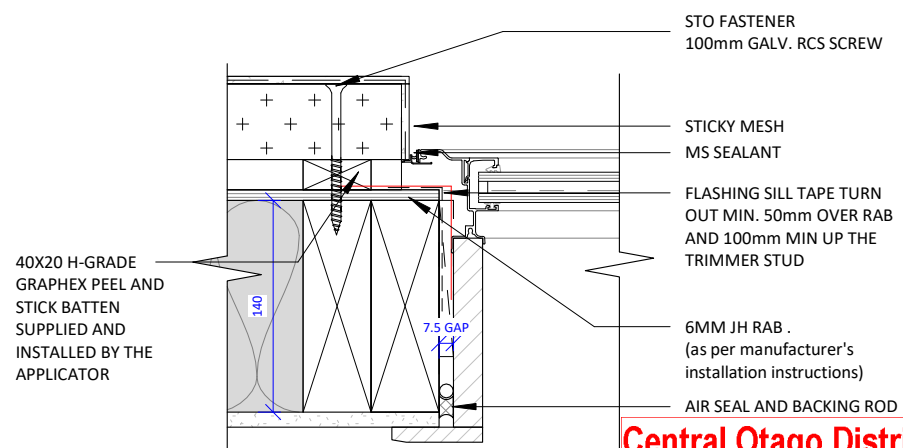
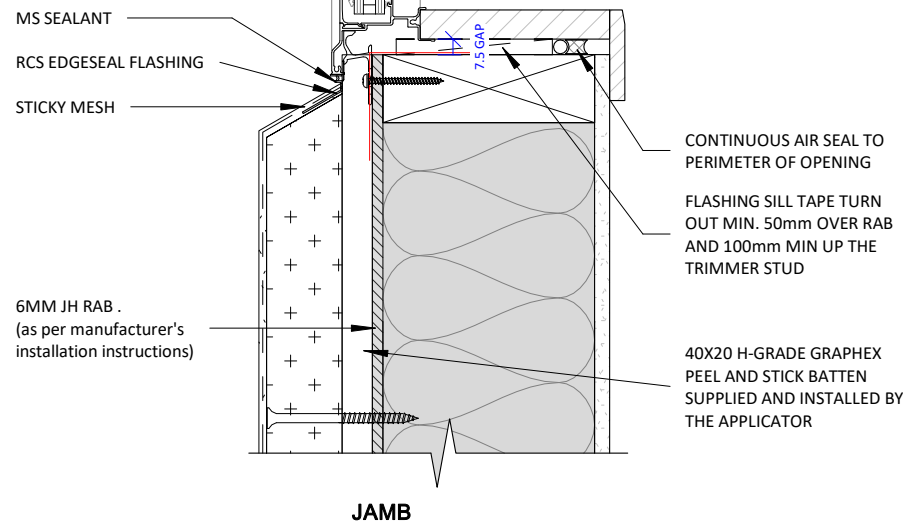
3 DOOR OPENING BRICK  
1 : 5

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS WALL WINDOWS	1 : 5
B	FOR BC COORD	6.12.2022				
C	FOR BUIDLING CONSENT	12.12.2022				
			CLIENT	CHECK	FILE	SHEET
			CHP DEVELOPMENTS LTD	JS	2025	C_502
						REV
						C



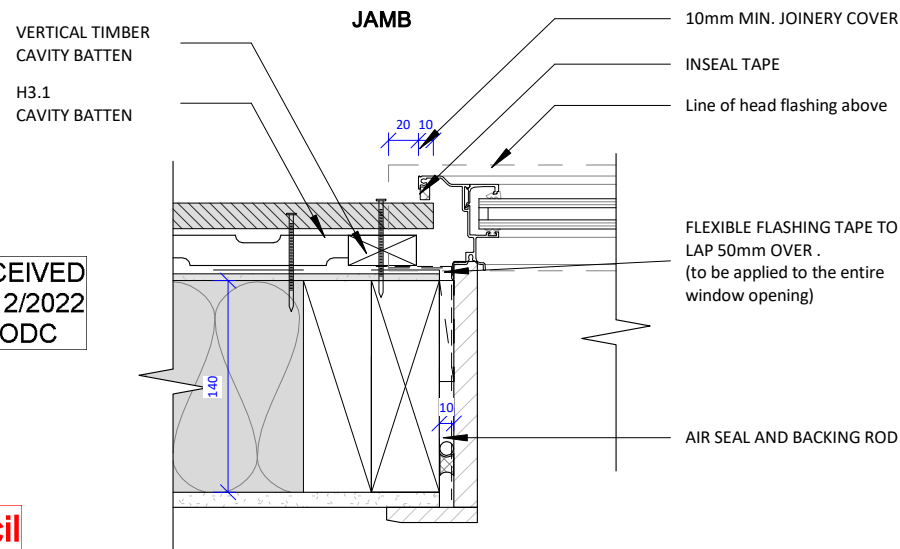
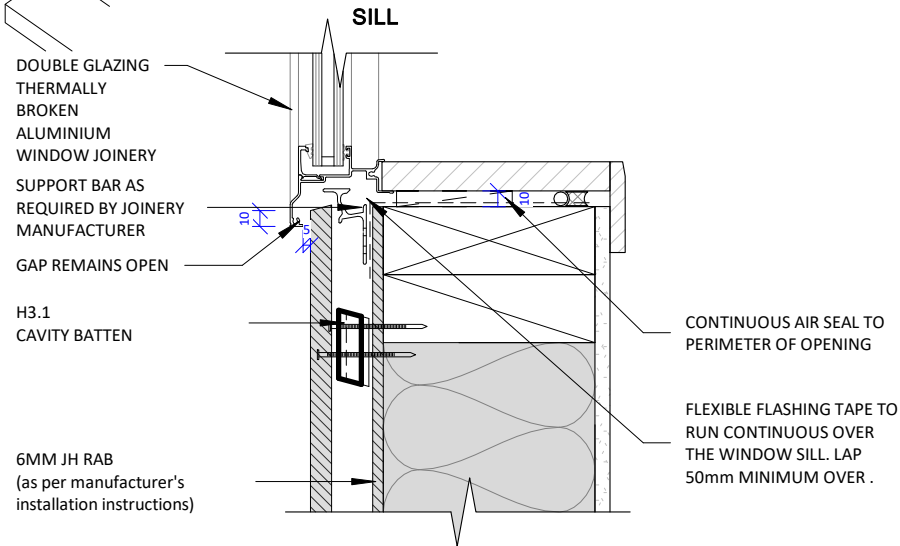
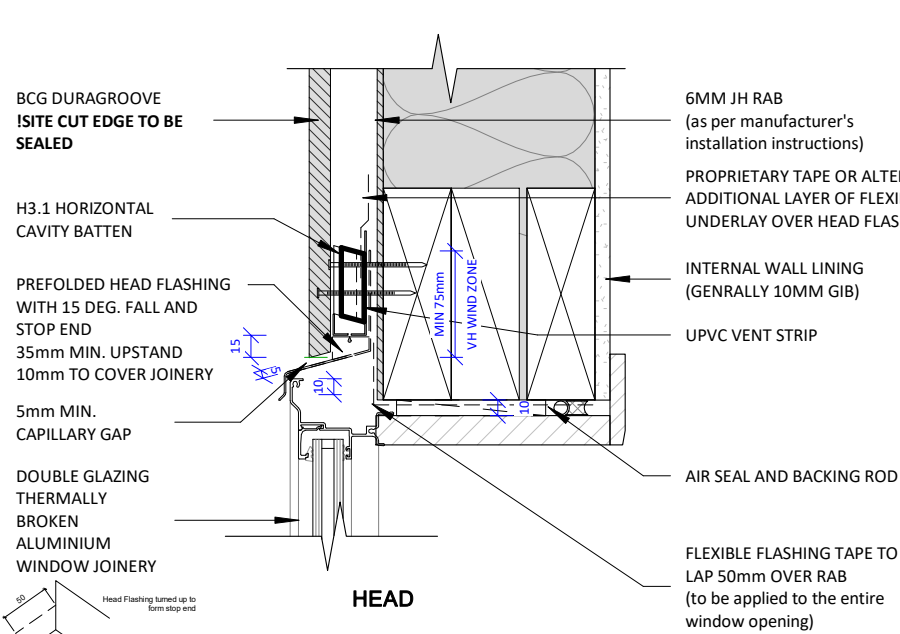


ALLOW A 25mm GAP BETWEEN THE BACK OF THE JOINERY AND EXTERNAL FACING TIMBER FRAMING TO ALLOW THE SILL FLASHING TO FIT.

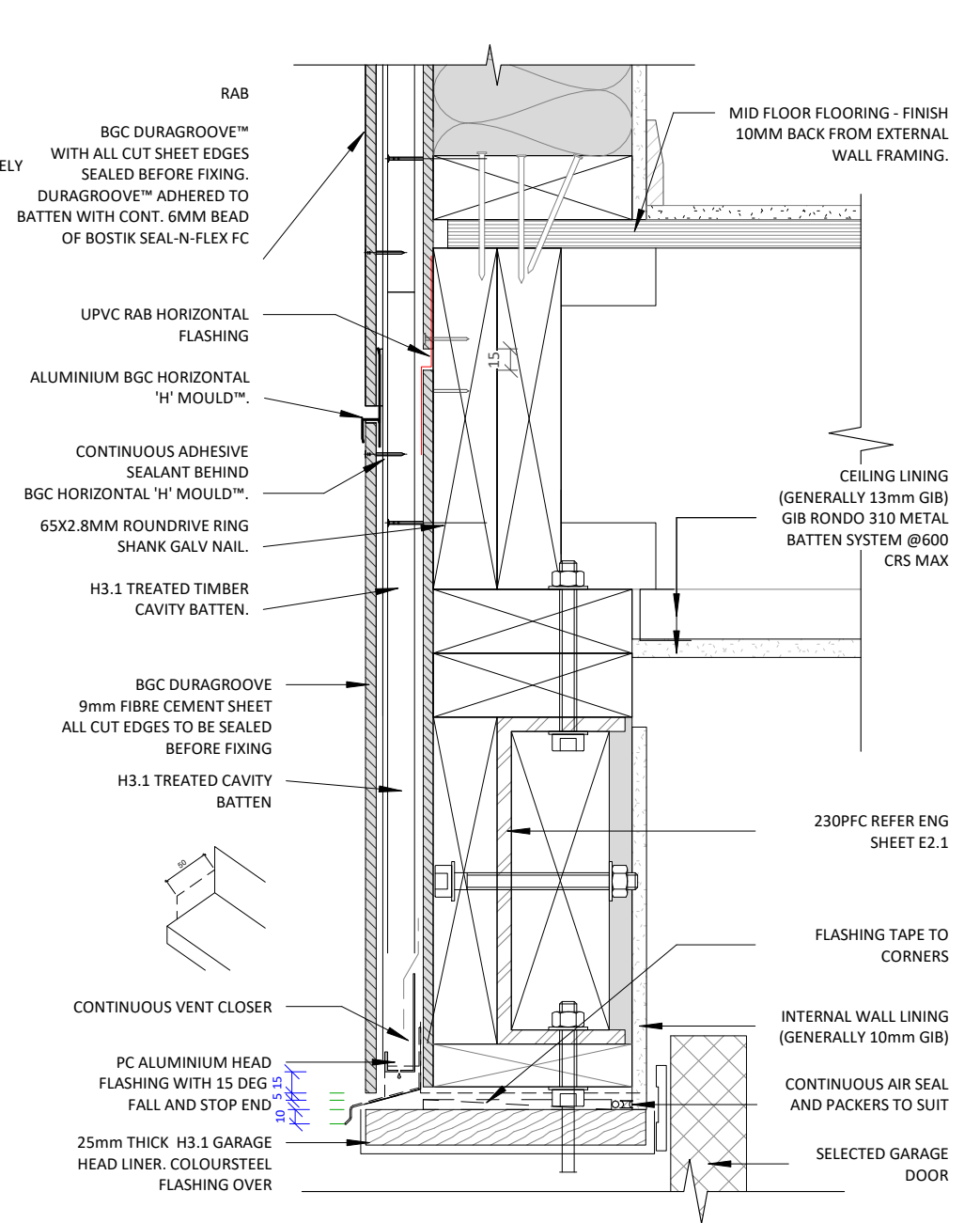


1 WINDOW PLASTER  
1 : 5

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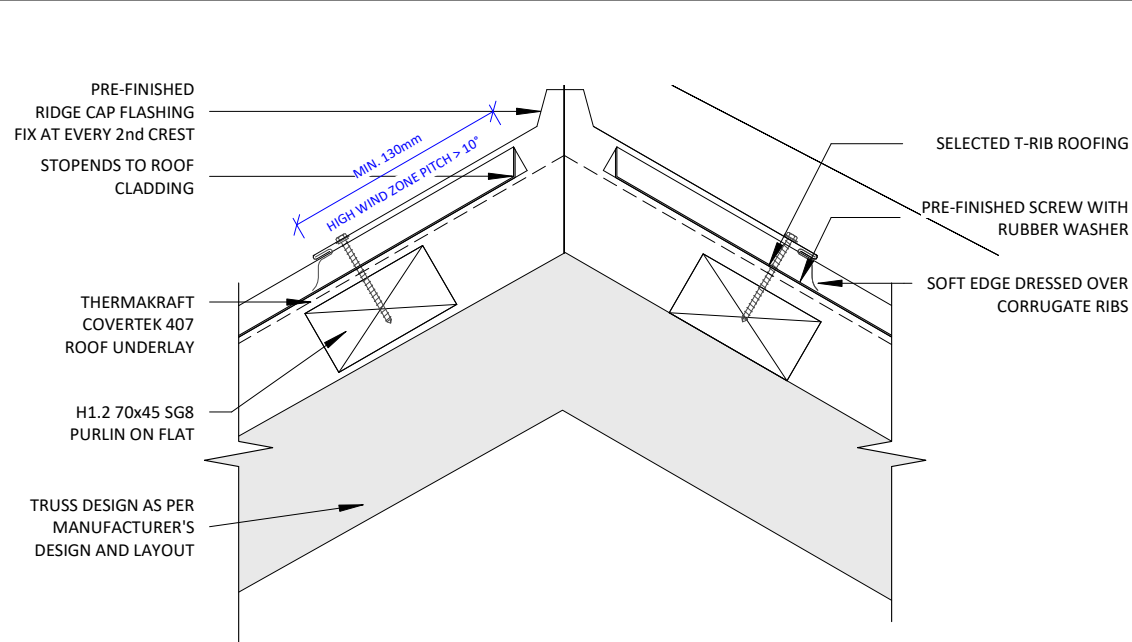
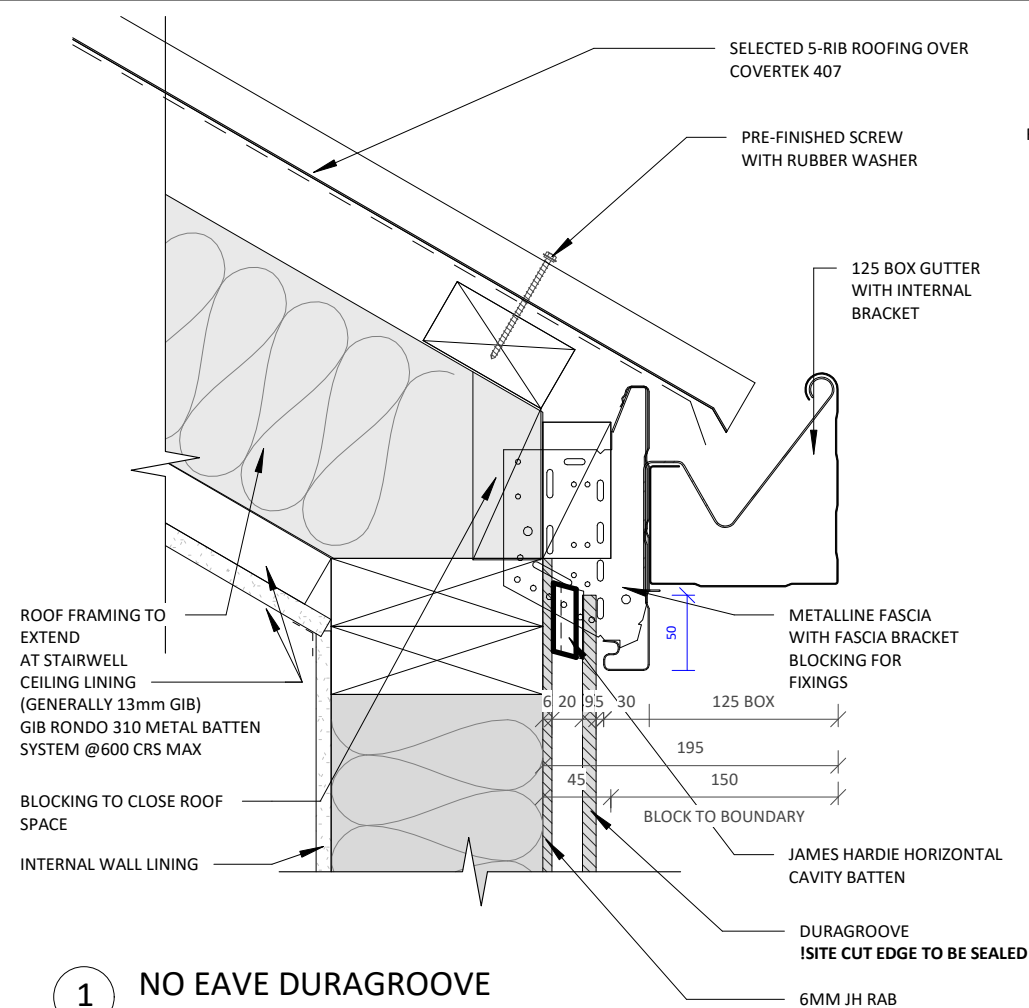


2 WINDOW DURAGROOVE  
1 : 5



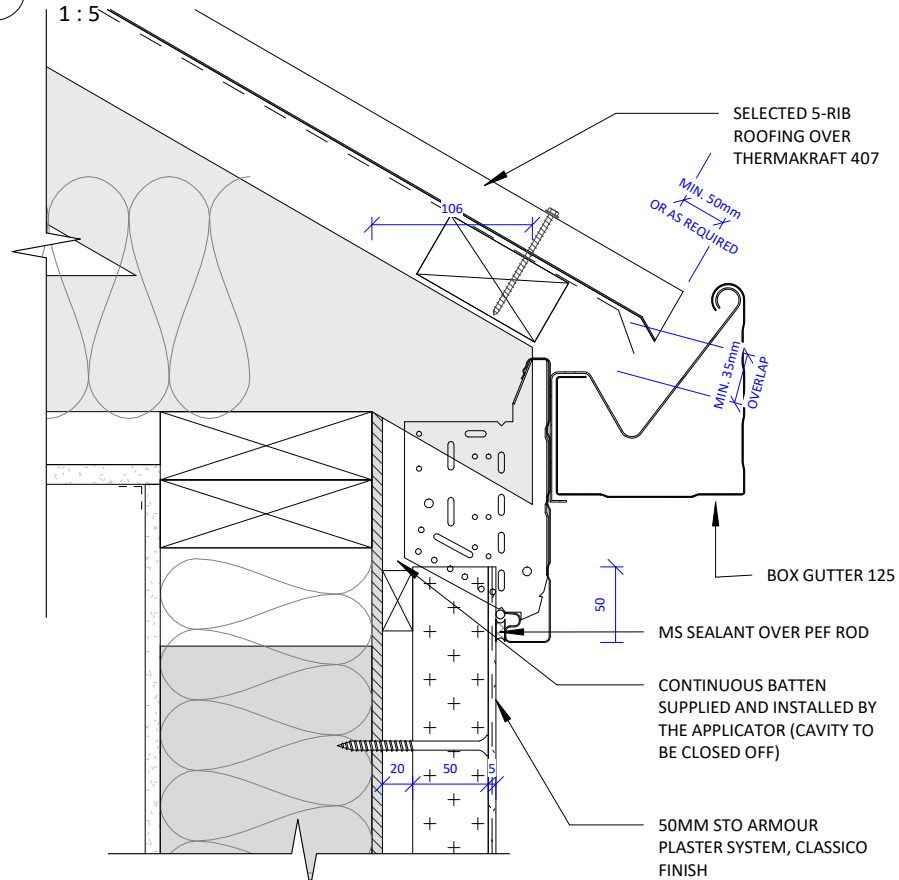
3 GARAGE HEAD TO MIDFLOOR  
1 : 5

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS WINDOWS	1 : 5
B	FOR BC COORD	6.12.2022				
C	FOR BUIDLING CONSENT	12.12.2022				
			CLIENT	CHECK	FILE	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_503
						C



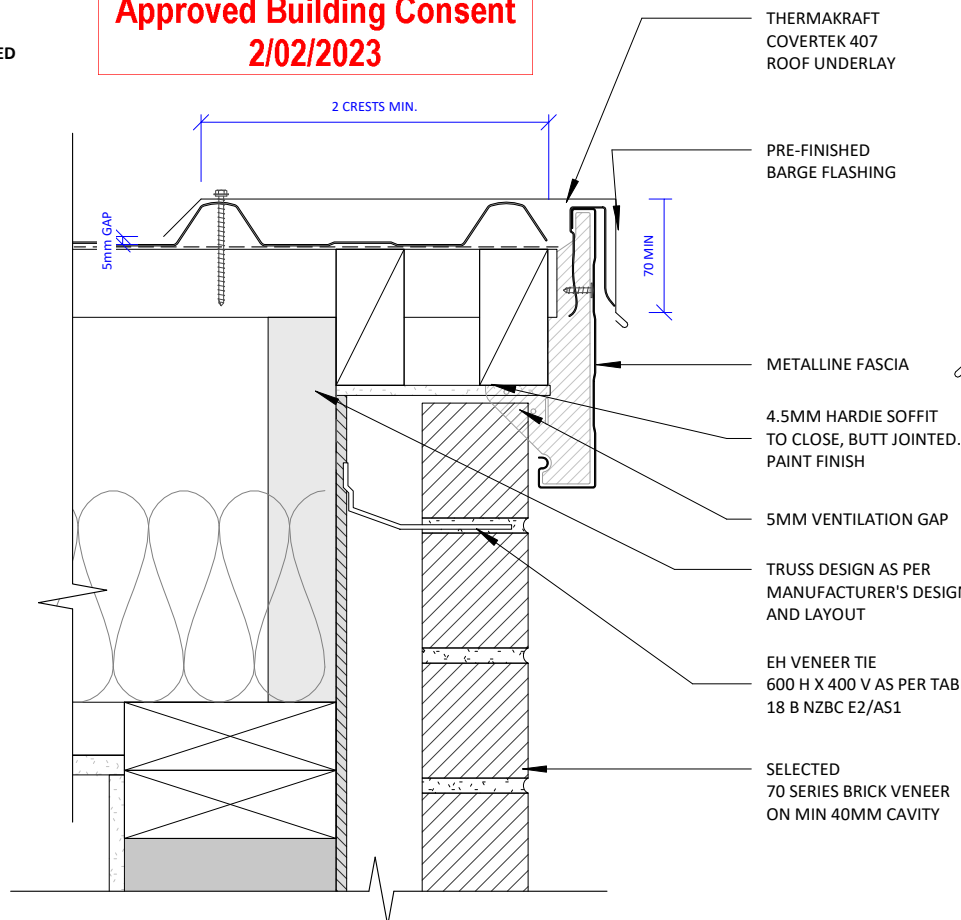
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31/01/2023

1 NO EAVE DURAGROOVE  
1:5



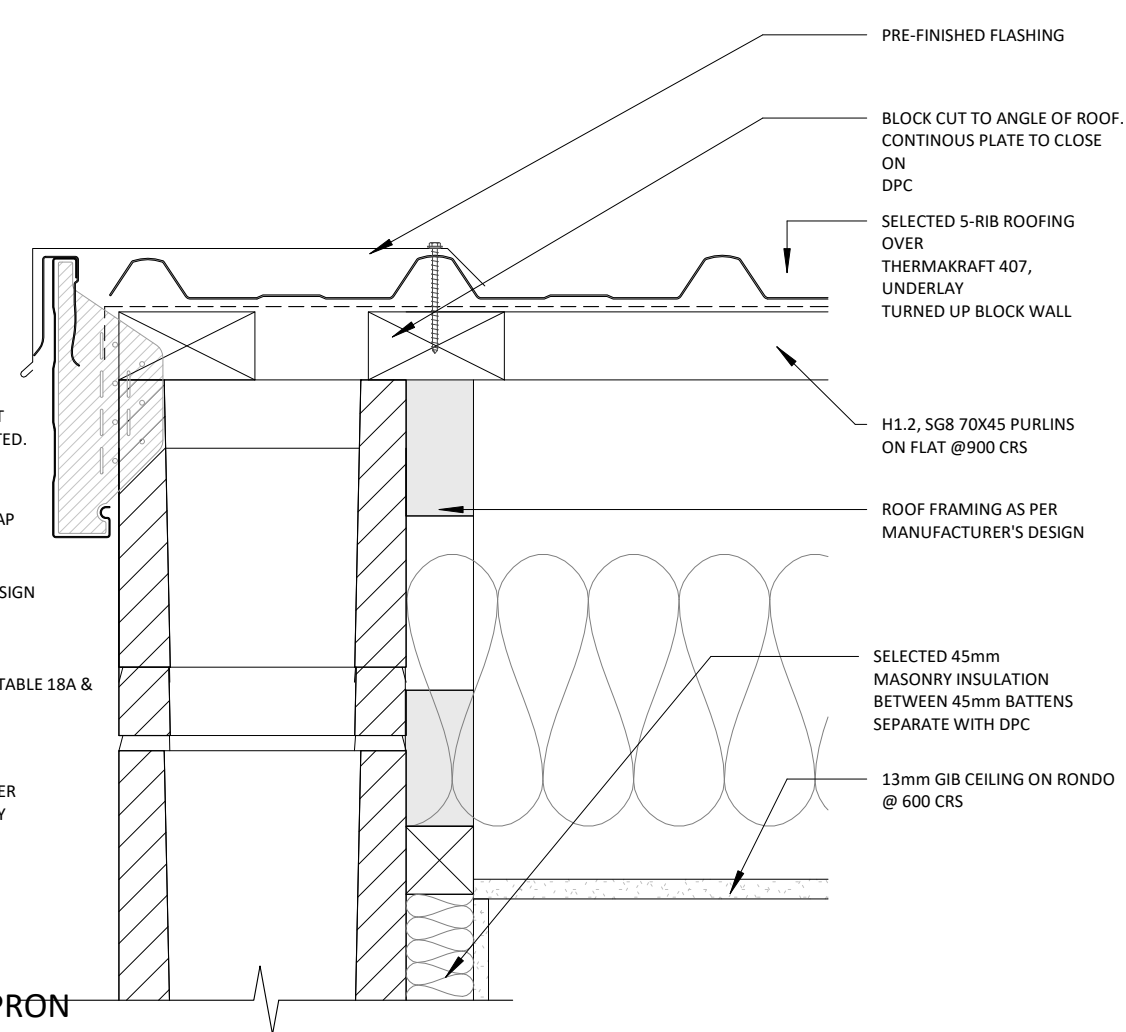
3 PLASTER EAVE  
1:5

2 RIDGE DETAIL  
1:5  
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4 BARGE BRICK VENEER  
1:5

5 BLOCK WALL APRON  
1:5



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NOTES

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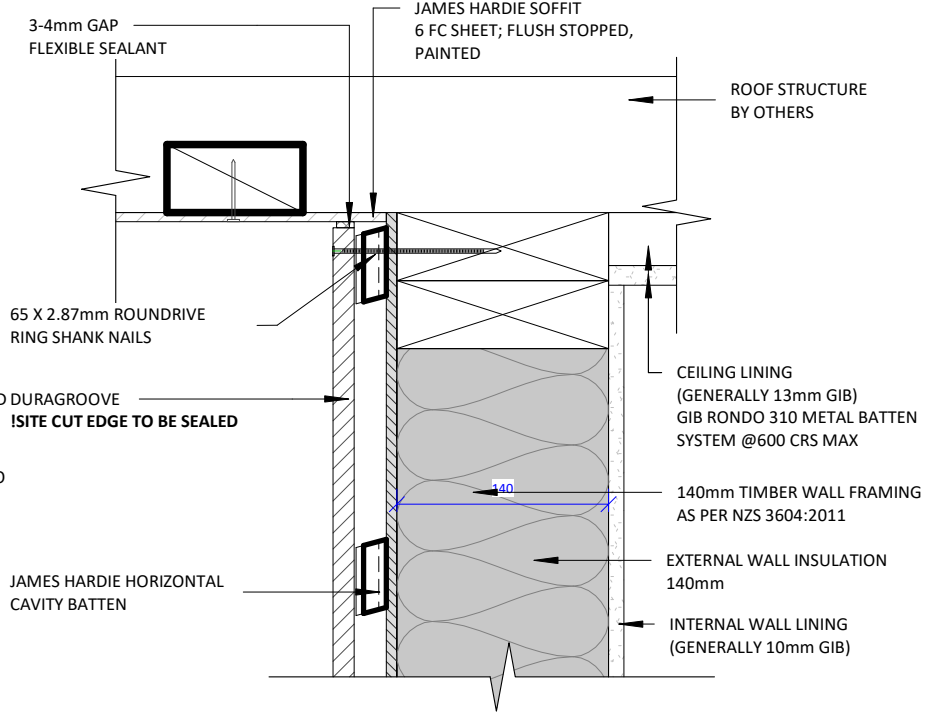
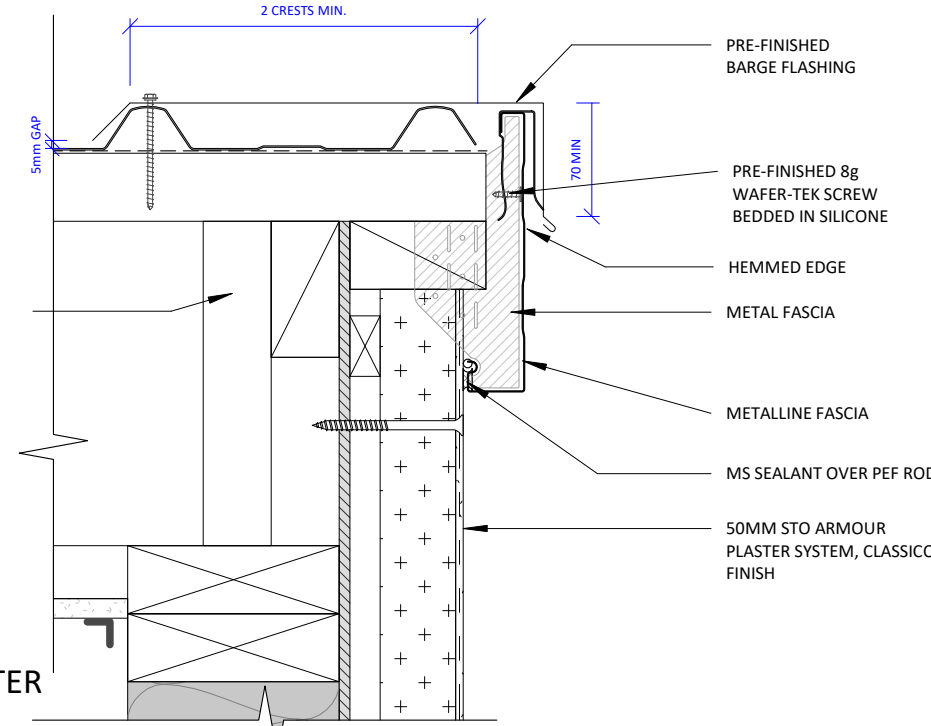
REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS ROOF		1 : 5
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022					
			CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_504	C

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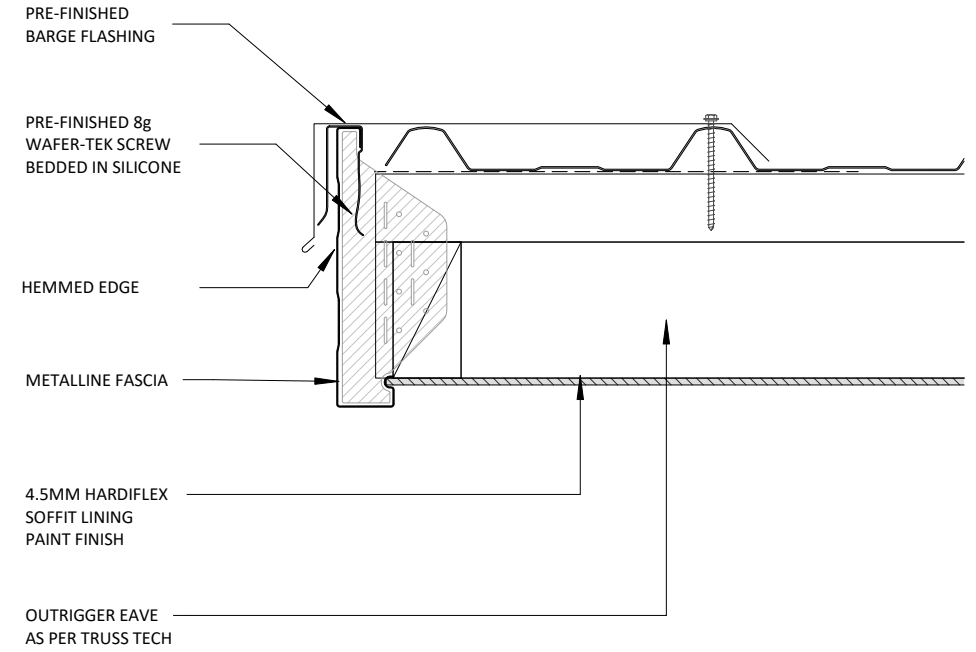
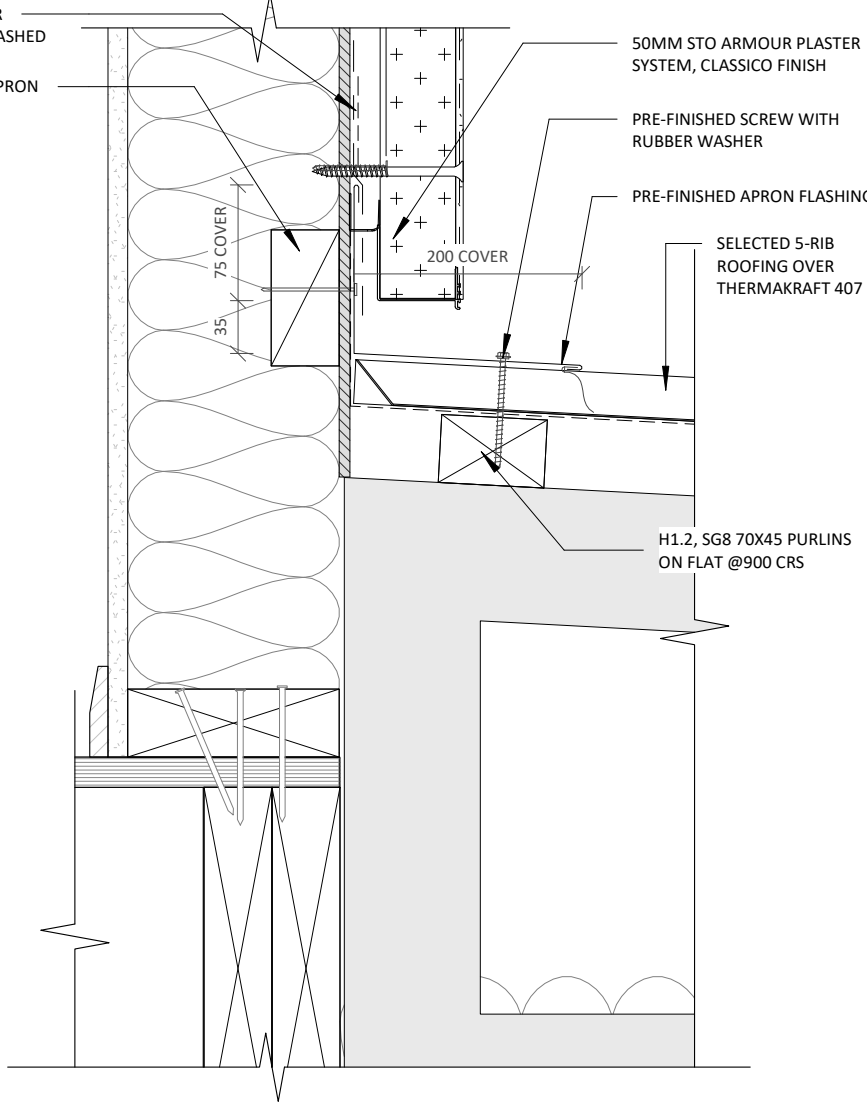
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TRUSS DESIGN AS PER  
MANUFACTURER'S DESIGN AND  
LAYOUT. SET BACK 45MM TO  
ALLOW FOR BATTENS FOR  
CLADDING

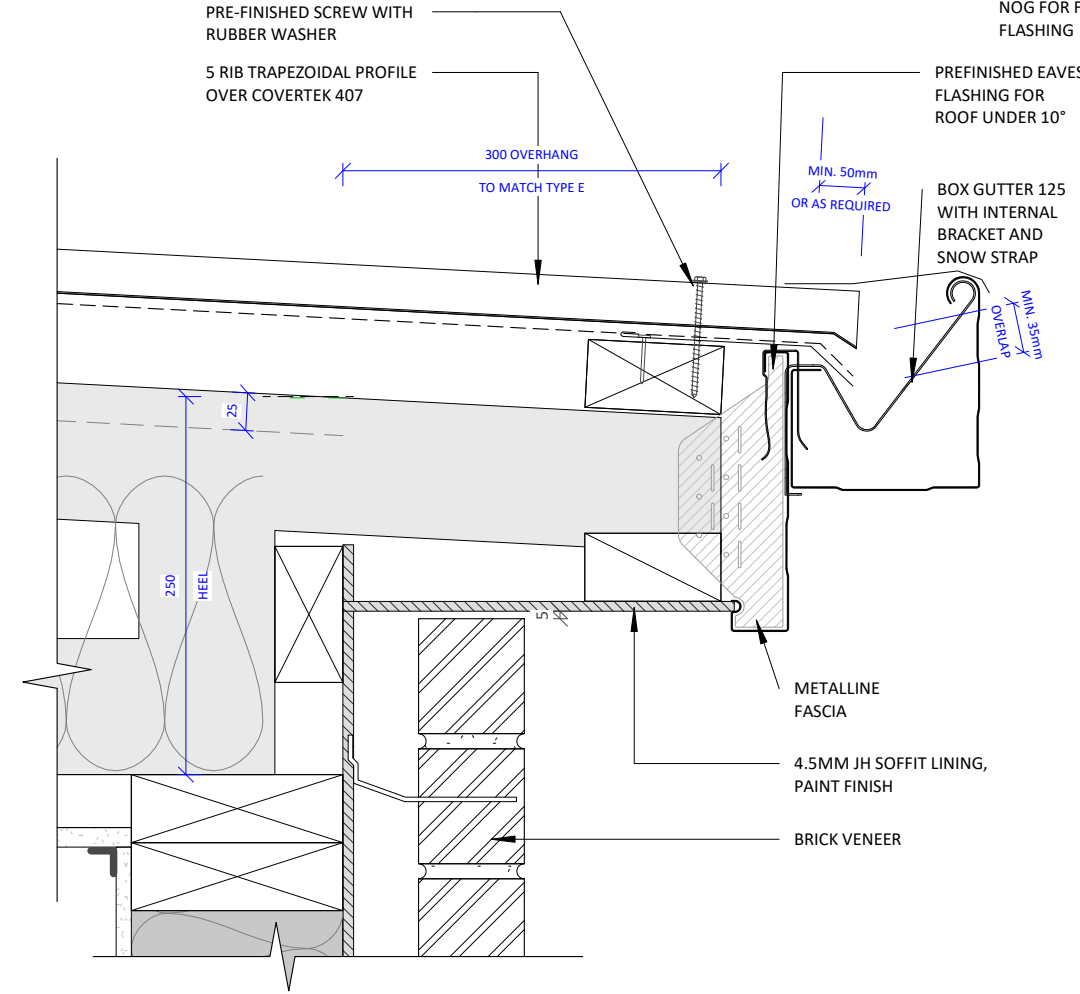
1 BARGE PLASTER  
1 : 5



2 SOFFIT TO STRIA  
1 : 5



5 EXTENDED BARGE  
1 : 5



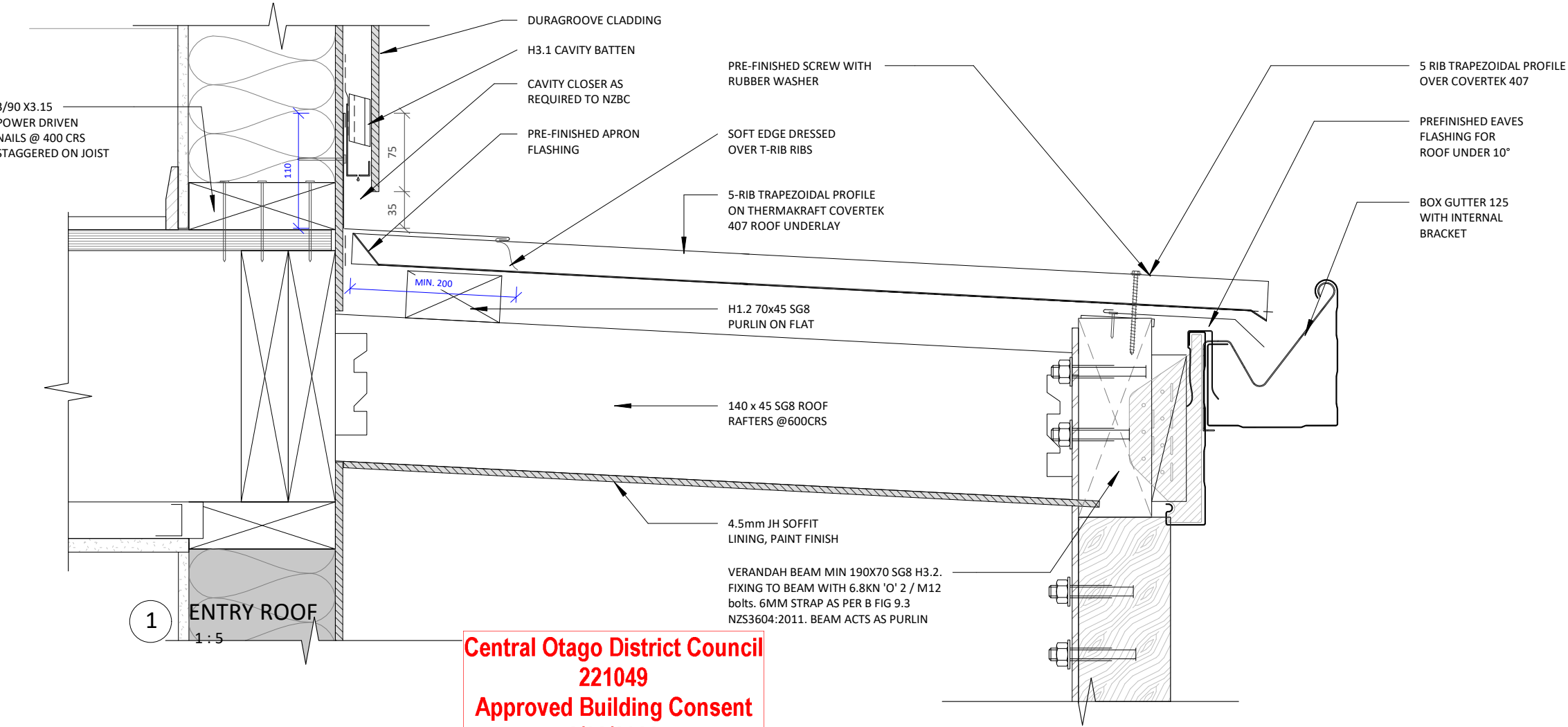
3 B1 - NO EAVE 5° BRICK  
1 : 5

4 TRANSVERSE APRON  
1 : 5

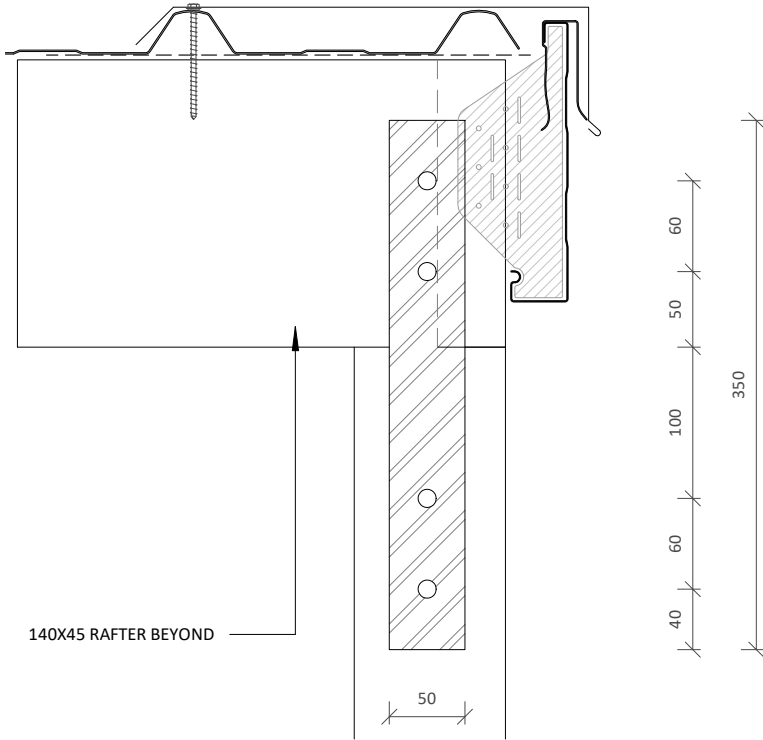
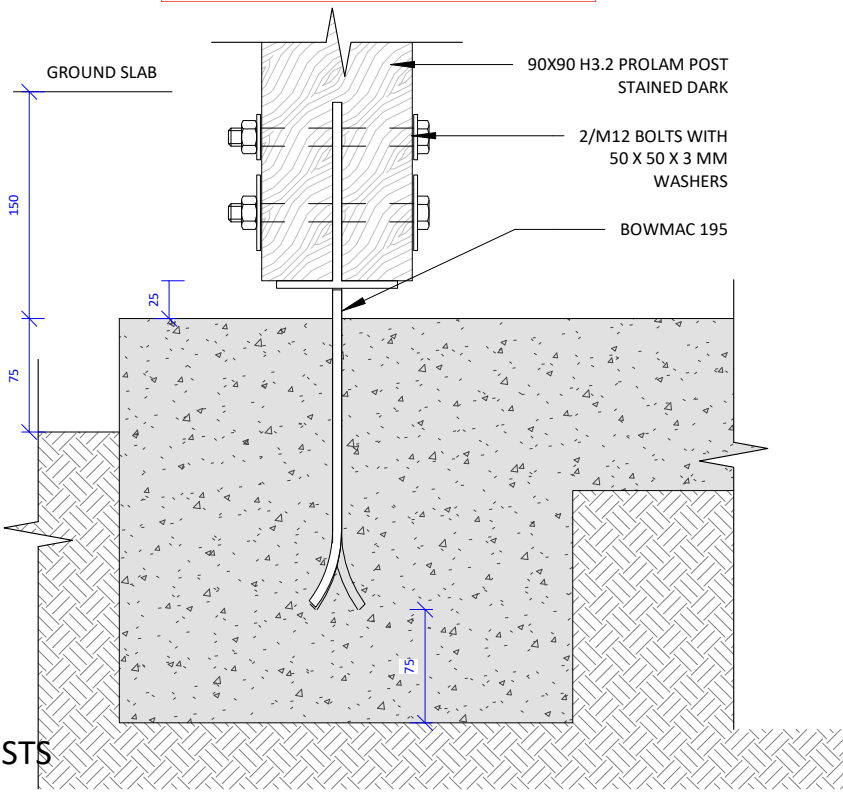
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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE	SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS ROOF	1 : 5
B	FOR BC COORD	6.12.2022				
C	FOR BUIDLING CONSENT	12.12.2022				
			CLIENT	CHECK	FILE	REV
			CHP DEVELOPMENTS LTD	JS	2025	C

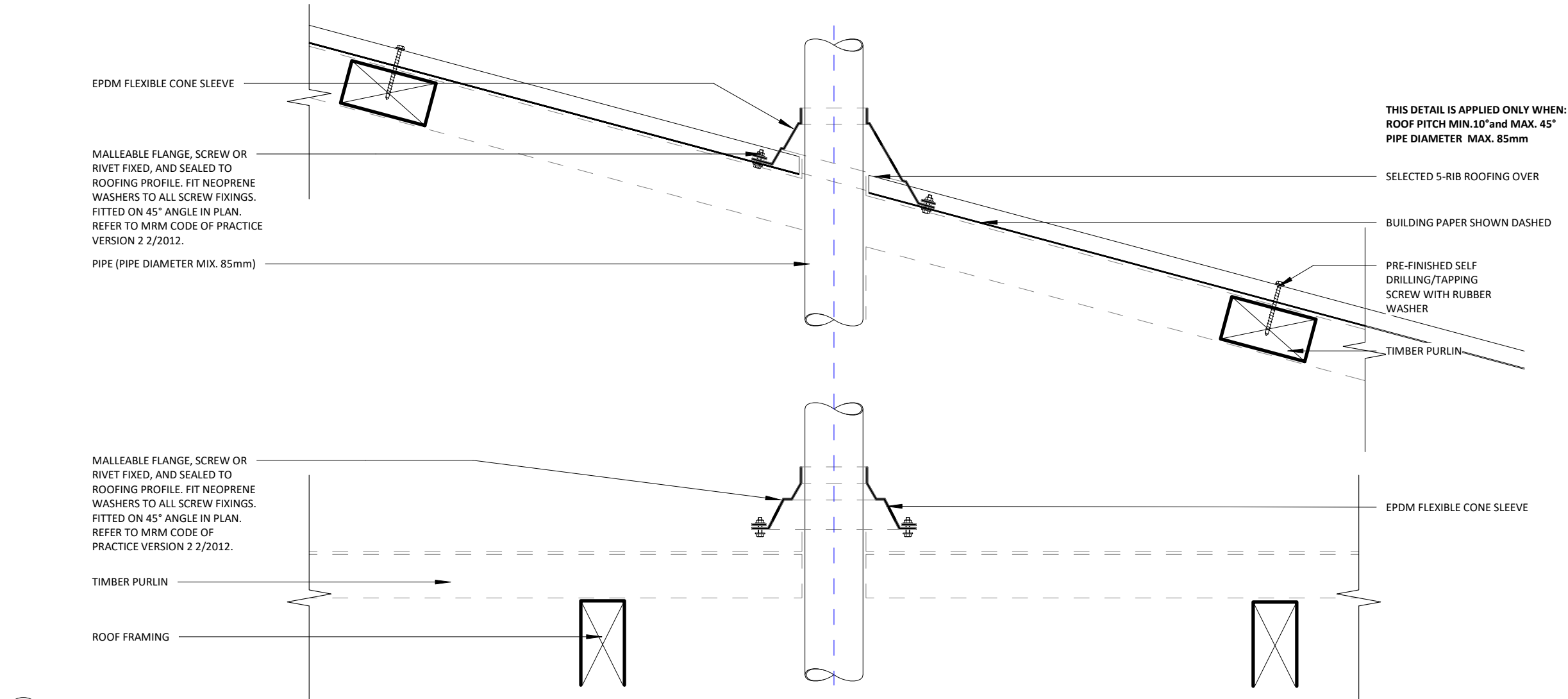




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REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS ROOF OVER ENTRY		1 : 5
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_506	C



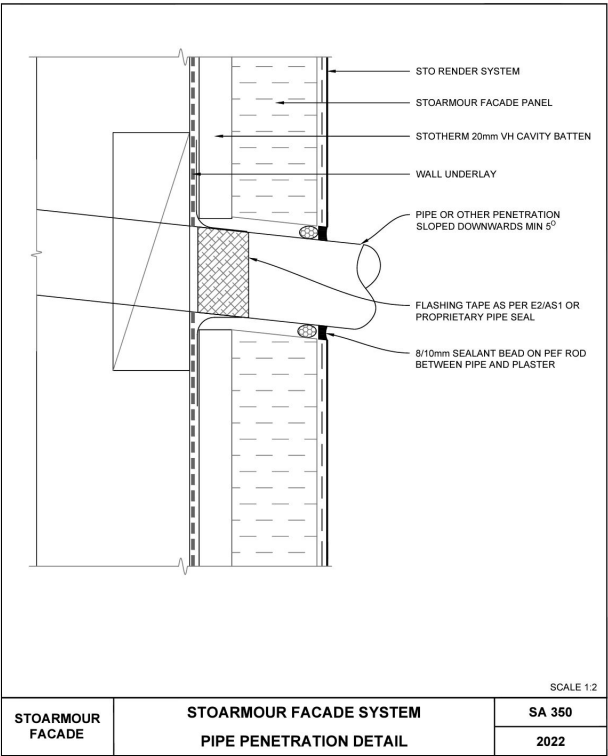
1 ROOF PENETRATIONS  
1 : 5

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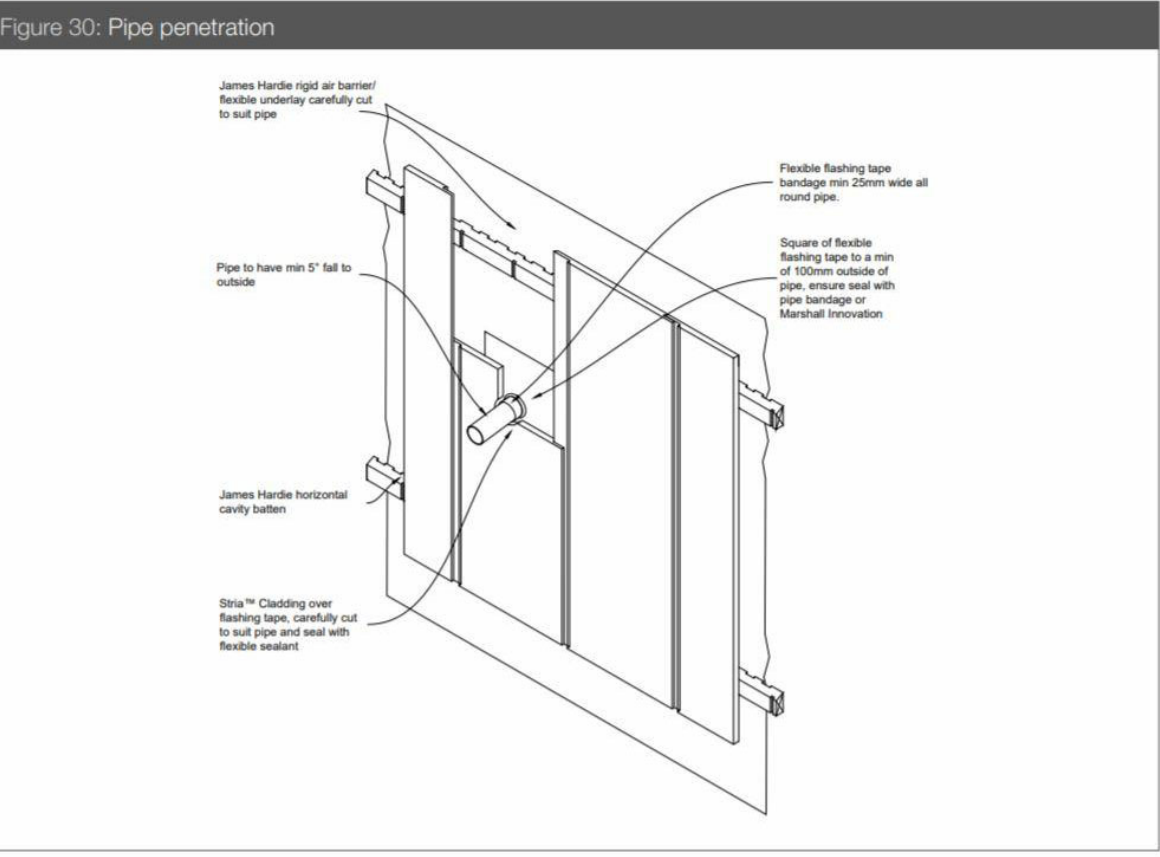
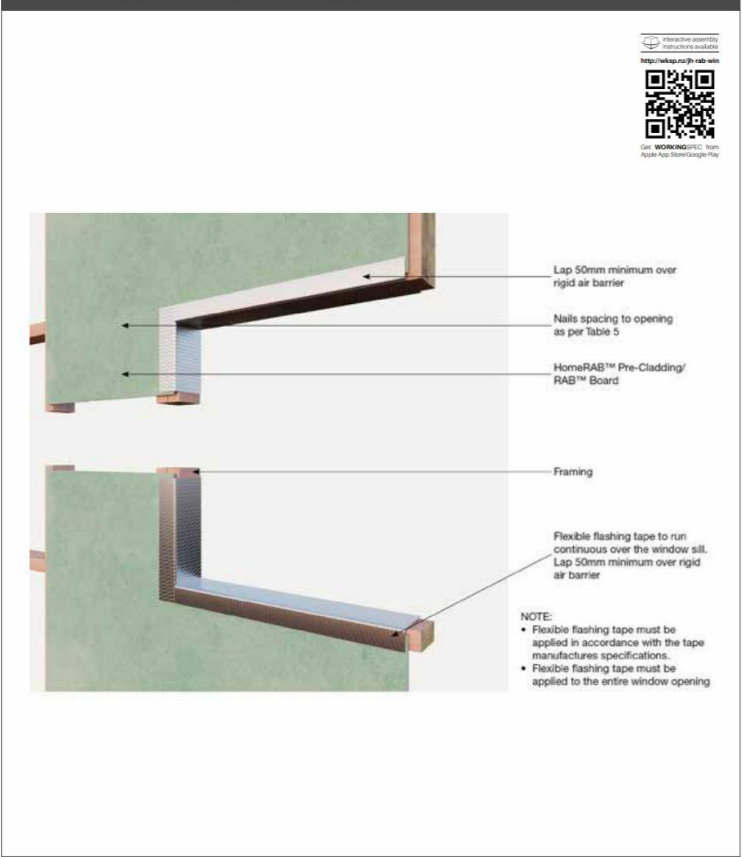
S A STUDIO	<div>NOTES</div> <div>All dimensions to be verified on site before making any shop drawings or commencing any work.</div> <div>All work to comply with current NZBC and relevant codes and standards.</div> <div>Do not measure off these printed drawings.</div> <div>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</div> <div>If in doubt - ASK</div> <div>LOWBURN, OTAGO021 108 2764www.sastudio.co.nz</div>		REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	DETAILS ROOF		1 : 5
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_507	C

Figure 23: Pipe penetration through HomeRAB Pre-Cladding and RAB Board



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221049  
Approved Building Consent  
2/02/2023

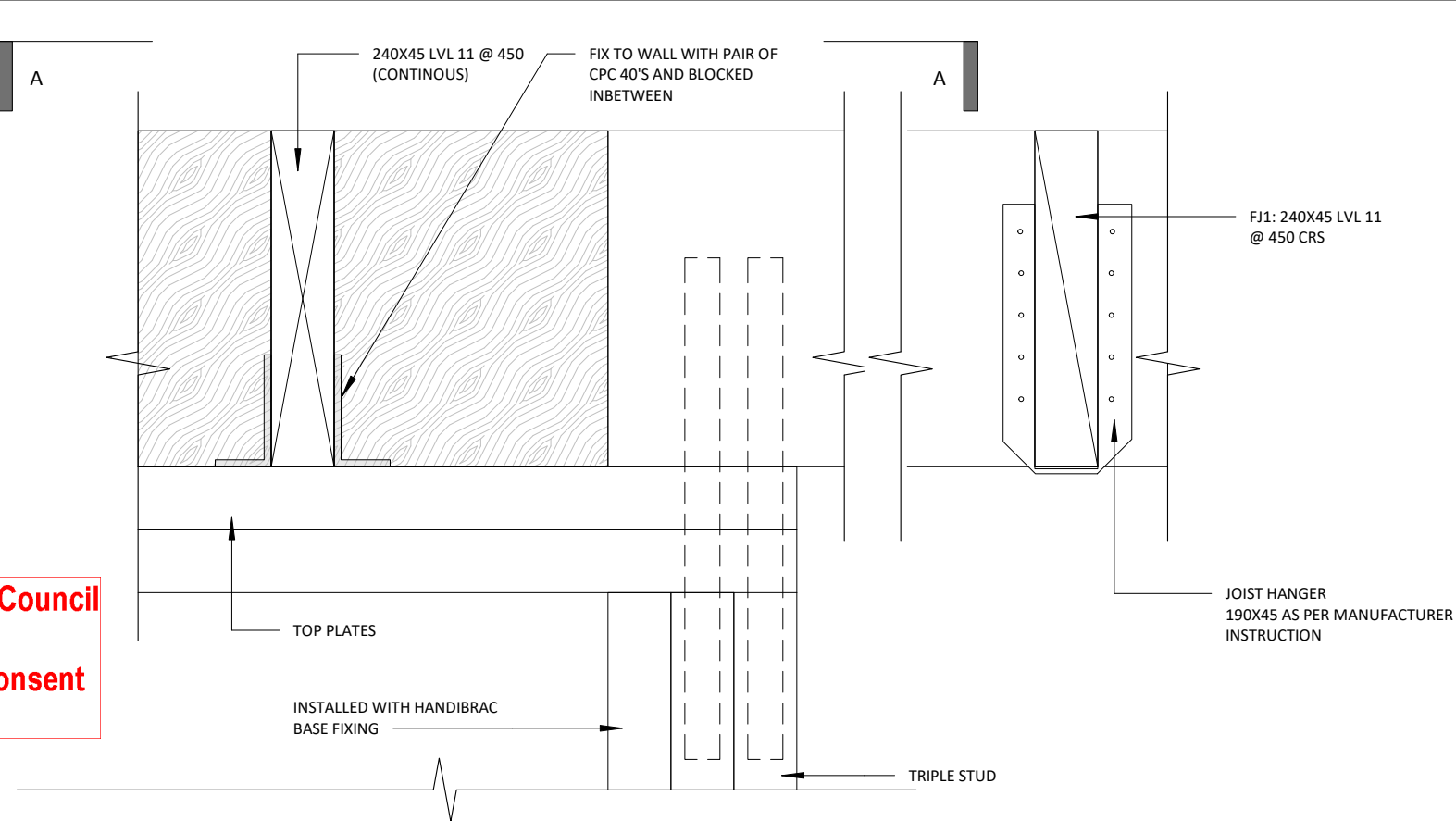
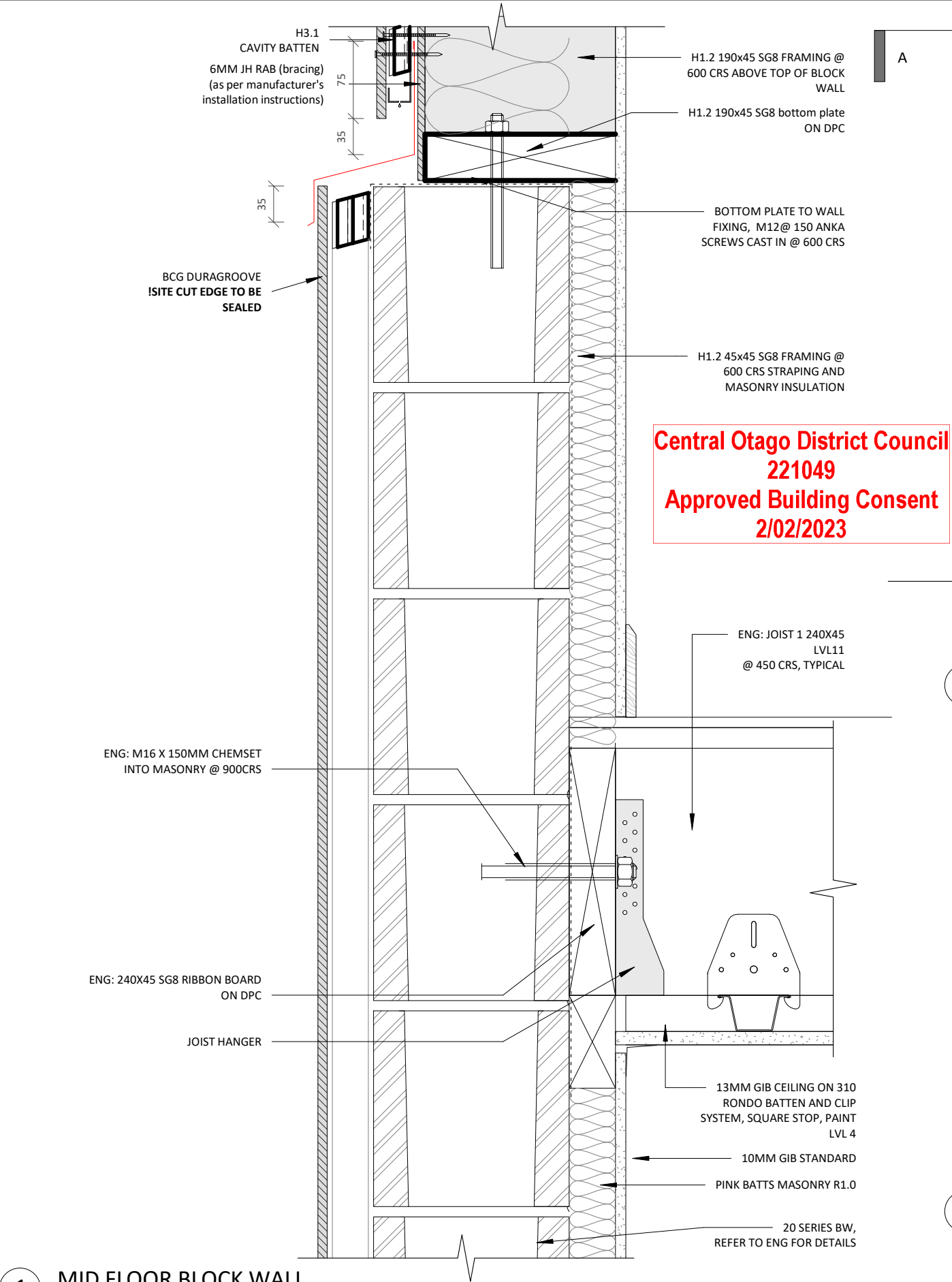
Figure 19: Window sealing with flashing tapes



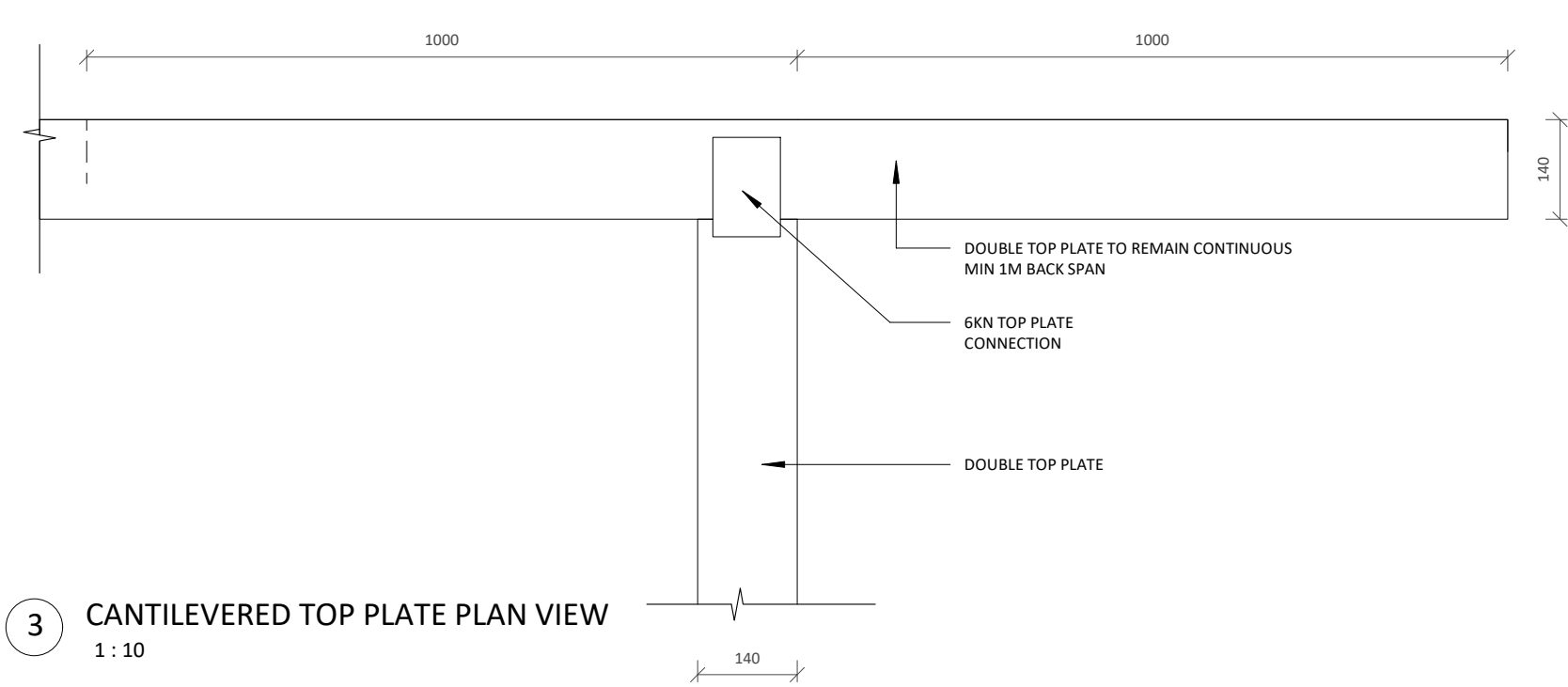
Information Received  
31/01/2023

REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	CLADDING PENETRATIONS		
B	FOR BC COORD	6.12.2022					
C	FOR BUIDLING CONSENT	12.12.2022					
			CLIENT	CHECK	FILE	SHEET	REV
			CHP DEVELOPMENTS LTD	JS	2025	C_508	C



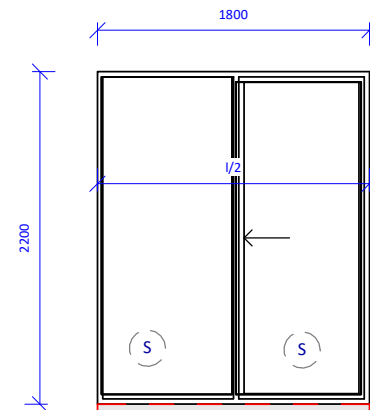
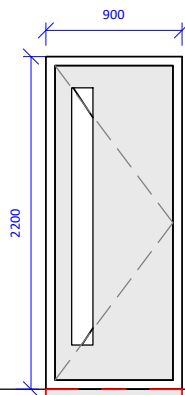


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1 : 5



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S A STUDIO	<p>NOTES</p> <p>All dimensions to be verified on site before making any shop drawings or commencing any work.</p> <p>All work to comply with current NZBC and relevant codes and standards.</p> <p>Do not measure off these printed drawings.</p> <p>The copyright of this drawing is jointly held between the owner and Sutherland Architecture Studio Limited.</p> <p>If in doubt - ASK</p> <p>LOWBURN, OTAGO 021 108 2764 www.sastudio.co.nz</p>		REV	ISSUE	DATE	PROJECT	DRAWN	DRAWING TITLE		SCALE @ A3
			A	FOR FIRE REPORT	25.10.2022	LOT 157, 34 WOODS CRES, PROSPECTOR'S PARK	JS	ENG DETAILS MID FLOOR		As indicated
			B	FOR BC COORD	6.12.2022					
			C	FOR BUIDLING CONSENT	12.12.2022	CLIENT	CHECK	FILE	SHEET	REV
						CHP DEVELOPMENTS LTD	JS	2025	C_510	C



<b>ED0.1</b>	<b>ENTRANCE</b>
<b>TYPE</b>	2200x900 ENTRY DOOR PLASMA
	LONG LIGHT
<b>SILL</b>	RECESS TO SUIT

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