

Environmental Services Unit

FINAL CODE COMPLIANCE CERTIFICATE

Issued by
BUILDING CONTROL INSPECTION SERVICES
CHRISTCHURCH CITY COUNCIL

BUILDING CONSENT No. 98009174

Project Location

Street Address: 2-24A LARCH PLACE, CASEBROOK, CHRISTCHURCH 80
Legal description: FLAT 2 DP 68012 ON LOT 2 DP 65449 HAVING

Project Particulars

THIS CERTIFICATION IS FOR :

Additions & Alteration

THE INTENDED USE(S) FOR THIS BUILDING WORK IS FOR:

Dwelling

PROPOSED WORK DETAILS:

DWELLING ALTERATIONS-OFFICE

~~The intended life of this building work is indefinite but not less than 50 years.~~

COPY

This certificate is issued under Section 43 clause (3) of the Building Act 1991 and is a Final Code Compliance issued in respect of all work under the above Building Consent.


Signed for and on behalf of the Christchurch City Council:

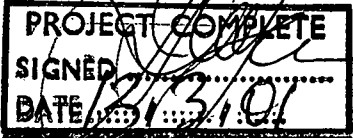
Date of Issue: 15/03/2001

Name:

Position:


Building Inspection Coordinator

 CHRISTCHURCH <small>CITY COUNCIL - ENVIRONMENT</small>	<h1 style="margin: 0;">CHRISTCHURCH CITY COUNCIL</h1> <h2 style="margin: 0;">BUILDING INSPECTION SERVICES</h2>	PROJECT NO: <div style="font-size: 2em; font-family: cursive;">8809174</div>
Site Address: <u>144 LAKE PLACE</u>		
Description of Consent: <u>DWELLING HTS / OFFICE</u>		

Prepour Foundation	M1	Preline Plumbing	M4B	Pre Stopping	M7	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		Brace Element Fixings		BA9 Received	
Ground Condition		Water Isolation Valve		Fire Lining Fixings		Car Parking Marked	
Reinforcing/Slab Ties		Lagging/Pressure Test		Final (Residential)	M8	Downpipe/Rainhead	
Eng./Soil Reports		Anti-scald, fitted		BA9 Received		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Soil Pipes/Vents		Wall Cladding/Cert.		Trade Waste	
A.S.3500/Drainage		Fire Resistant Lining	M5	Downpipes/Flashings		Glass/Safety/Visibility	
Overflow Relief		Penetration/Connection		Roof Tank/HWC Restrnt		Barriers/Stair/Rails	
Prepour Slab	M2	Concrete Construction	S1	Anti Scald Protection		Anti-scald, Provided	
Tailings/DPM		Reinforcing/Eng. Repts		Gully Dish /Waste Pipes		Ventilation (HVAC)	
Mesh		Blockwork Constn.	S2	Main Vent/AAV		Fire Resistant Rating	
Wastes		Reinforcing/cleanouts		Surface Water Sumps		Fire Alarm Type	
Sub Floor	M3	Steel Construction	S3	Submersed Outlets		Egress/Signage	
Pile Connections		Size/connections		HWC/Valves		Surface Water Sumps	
Bearers/Joists/Treatment		Solid Plaster System	S5	Barriers/Stair/Rails		Accessible Facilities	
Sub Ventilation		Substrate/Contrl/Flash		Stairs/Treads/Risers			
Sub Insulation		Brick / Shelf Angle	S6	Ventilation of Spaces	✓		
Preline Building	M4A	Connections		Ceiling Insulation	✓		
M/C - walls/ceilings %		½ High Brick Insp.	S8	Fire Resistant Rating		" Route	
Plate/Truss Fixings		Cavity/Expansion		Glazing/Safety		" Toilet	
Framing/Grade		Drainage	M6	Access Routes/Non-slip		" Grab Rails	
Bracing/Roof and Walls		Bedding/Cover		Retaining Wall/Drainage		" Hardware	
Floor Joist Layout		Inspection/M.V.		Swimming Pool/Fence		" Carpark/Signage	
Lintels		FW→Approved Outfall		Solid Fuel Heater		Producer Statements	
Insulation Walls		SW→Approved Outfall		Landscaping (Y/N)			
Insulation Ceilings		Main Vent Position		Hard Standing levels			
Roof Cladding		Grade/Water Test					
Eng. Verification		Pick-up Completed				Structural ()	
Comments <div style="font-size: 2em; font-family: cursive; text-align: center;">VENTILATION OK</div> <div style="font-size: 3em; font-family: cursive; text-align: center;">PROJECT COMPLETE</div> <div style="text-align: center;">  </div>						As Built Drainage Plan	
						HVAC	
						Fire Alarm Installer	
						F.P.I.S.	
						Fire Engineer	
						Emergency Lighting	
						Pressurisation/Extraction	
						Sprinklers	
						Back Flow	
						Lift	
						Electrical Certificate	
						Gas Certificate	
						Reconciliation of Inspection	
						Estimate	
						Actual	
						Refund/Debit	

Builder:	Plumber:	Drainlayer:	Gas Fitter:
All work inspected is in accordance with the Building Consent. VV			
Some work is not satisfactory as detailed above and rectification is required.			
Signed: <u>[Signature]</u>		Date: <u>12.12.10</u>	
SITE INSPECTION REPORT This is not a Code Compliance Certificate			Inspection Type <div style="font-size: 2em; font-family: cursive;">M8</div>
			Rectification time frame/...../.....
			Key R = Rectification Required ✓ = Approved



CHRISTCHURCH

THE GARDEN CITY

The city that shines

CHRISTCHURCH CITY COUNCIL

BUILDING CONTROL INSPECTION SERVICES

Site Address: 101-103, 105, 107, 109, 111, 113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 545, 547, 549, 551, 553, 555, 557, 559, 561, 563, 565, 567, 569, 571, 573, 575, 577, 579, 581, 583, 585, 587, 589, 591, 593, 595, 597, 599, 601, 603, 605, 607, 609, 611, 613, 615, 617, 619, 621, 623, 625, 627, 629, 631, 633, 635, 637, 639, 641, 643, 645, 647, 649, 651, 653, 655, 657, 659, 661, 663, 665, 667, 669, 671, 673, 675, 677, 679, 681, 683, 685, 687, 689, 691, 693, 695, 697, 699, 701, 703, 705, 707, 709, 711, 713, 715, 717, 719, 721, 723, 725, 727, 729, 731, 733, 735, 737, 739, 741, 743, 745, 747, 749, 751, 753, 755, 757, 759, 761, 763, 765, 767, 769, 771, 773, 775, 777, 779, 781, 783, 785, 787, 789, 791, 793, 795, 797, 799, 801, 803, 805, 807, 809, 811, 813, 815, 817, 819, 821, 823, 825, 827, 829, 831, 833, 835, 837, 839, 841, 843, 845, 847, 849, 851, 853, 855, 857, 859, 861, 863, 865, 867, 869, 871, 873, 875, 877, 879, 881, 883, 885, 887, 889, 891, 893, 895, 897, 899, 901, 903, 905, 907, 909, 911, 913, 915, 917, 919, 921, 923, 925, 927, 929, 931, 933, 935, 937, 939, 941, 943, 945, 947, 949, 951, 953, 955, 957, 959, 961, 963, 965, 967, 969, 971, 973, 975, 977, 979, 981, 983, 985, 987, 989, 991, 993, 995, 997, 999

Description of Consent: Building Consent

PROJECT NO: 110771

Prepour Foundation	M1	Preline Plumbing	M4B	Final	M8	Rec
Siting/Levels		Pipe Type/Sizing		BA9 Received		
Foundation Depth, Width		Water Isolation Valve		Wall Cladding		
Reinforcing/Slab Ties		Lagging		Downpipes/Flashings		
Bearing		Roof, Tank Restraint		Roof Tank/HWC Restraint		
Eng Verification		Anti Scald Fitted		Anti Scald Protection		
Prepour Slab	M2	Soil Pipes/Vents		Gully Dish (Heights)		
Tailings		Fire Resistant Lining	M5	Waste Pipes Sealed		
DPM		Penetrations		Backflow Prevention		
Mesh		Plate/Connections		Main Vent/AAV		
Wastes		Blockwork Construction	S2	Surface Water Sumps		
Sub Floor	M3	Reinforcing		Submersed Outlets		
Pile Footings		Solid Plaster System	S5	HWC/Valves		
Bearers		Substrate OK		Barriers		
Joists		Control Joints		Handrails-height-gripable		
Sub Ventilation		Brick Veneer/Shelf Angle	S7	Stairs/Treads/Risers		
Sub Insulation		Connections		Ventilation of Spaces		
Preline Building	M4A	Drainage	M6	Ceiling Insulation		
Moisture Content Walls		Bedding Under Pipes		Fire Resistant Rating		
Moisture Content Ceilings		Inspection Points		Glazing		
Plate/Truss Fixings		F/W to Approved Outfall		Access Routes		
Framing/Ceiling Battens		S/W to Approved Outfall		Non Slip Areas		
Bracing/Roof and Walls		Main Vent Position		Retaining Walls/Drainage		
Floor Joist Layout		Adequate Cover		Swimming Pool/Fence		
Garage Lintels etc		Grade		Solid Fuel Heater		
Insulation Walls		Water Test		Producer Statements		
Insulation Ceilings		Pick-up Completed		Structural		
Roof Cladding		Pre Stopping	M7	Fire Safety Systems		
Eng Verification		Brace Element Nailing		Wall Cladding Certificate		
Inspection Comments		Fire Lining Nailing		Consultants Drainage Plan		

Handwritten: All OK (checked)

Instruction to Owner/Owners Agent

All work inspected is in accordance with the Building Consent.

Some work is not satisfactory as detailed above and rectification is required.

A formal notice to rectify will be issued.

Signed: [Signature] Date: 22.2.99

Inspection Type

11061

Rectification time frame as agreed

.....

Sig:

015 34079

SITE INSPECTION REPORT

This is not a Code Compliance Certificate

Time on Site



CHRISTCHURCH CITY COUNCIL

13 January 1999

MURRAY & BARBARA LASSEN
24A LARCH PLACE
CHRISTCHURCH

Dear Sir/Madam

APPLICATION FOR BUILDING CONSENT PROJECT NO. 98009174

Your application for a Building Consent for the proposed DWELLING ALTERATIONS/OFFICE at 24A LARCH PLC PAPANUI refers.

The building consent application for the above works has been granted and the Consent together with the "Conditions of Building Consent" are attached.

Payment has been received for the following fees associated with the building consent:

To PIM:	Basic Fee	\$ 25.00
To Building Consent:	Issue	\$ 70.00
To Inspections:	Mandatory	\$ 73.00
TOTAL		\$ 168.00

Please phone 3711-904 or 3711-922 to request inspections. Ensure that you give the Council at least 24 hours notice prior to placing concrete, covering up of any drainage work, or fixing of linings.

Failure to notify may result in a notice to rectify by the Council and may jeopardise the issue of a Code Compliance Certificate on completion of the work.

On completion of the work please complete and return the enclosed BA9 form to activate a final inspection.

When making enquiries about the project please quote **Project No. 98009174**.

Signed


[Signature]
for
ENVIRONMENTAL SERVICES MANAGER

BUILDING CONSENT TEAM

2ND FLOOR, CIVIC OFFICES, 163 TUAM ST.

P O BOX 237 CHRISTCHURCH

TELEPHONE (03) 371-1675 FAX (03) 371-1920

 <p>CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i></p>	<p align="center">CHRISTCHURCH CITY COUNCIL</p> <p align="center">BUILDING ACT 1991</p> <p align="center">BUILDING CONSENT</p>	<p>FORM: BA4</p>
		<p>PROJECT NO. 98009174</p>

<p align="center">OWNER/APPLICANT</p> <p>Name:</p> <p>Mailing Address:</p> <p>Contact:</p> <p>Application Received: 18 NOV 1998</p>	<p align="center">PROJECT LOCATION</p> <p>Street address: 24A LARCH PLC PAPANUI</p> <p>Legal Description:</p> <p>Valuation Roll: DPF 68012 FLATS 1-2</p>						
<p align="center">COUNCIL CHARGES</p> <p>The Council's total charges payable on the uplifting of this building consent, in accordance with the letter of advice dated 13 Jan 1999 are:</p> <table> <tr> <td>Total</td> <td>\$168.00</td> </tr> <tr> <td>Building Research Levy:</td> <td>\$0.00</td> </tr> <tr> <td>Grand Total</td> <td>\$168.00</td> </tr> </table> <p>Receipt No.: 2759007</p>	Total	\$168.00	Building Research Levy:	\$0.00	Grand Total	\$168.00	<p align="center">PROJECT</p> <p><input type="checkbox"/> New or relocated building <input checked="" type="checkbox"/> Alteration</p> <p>Intended use(s): DWELLING ALTERATIONS/OFFICE</p> <p>Intended life:</p> <p><input checked="" type="checkbox"/> Indefinite but not less than 50 years <input type="checkbox"/> Specified as years <input type="checkbox"/> Demolition</p> <p>Being stage 1 of an intended 1 stages.</p> <p>Estimated value (inclusive of GST): \$2,400.00</p>
Total	\$168.00						
Building Research Levy:	\$0.00						
Grand Total	\$168.00						

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty (ie: this consent does not relieve the owner of his/her responsibilities under any other Act) or responsibility under any other Act nor permit any breach of any other Act.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

This Building Consent is issued subject to the conditions specified in the attached pages (if any) headed "Conditions of Project No.: 98009174"

Signed for and on behalf of the Council:

Name:

Position: Date: 13 January 1999

R Elliott
R ELLIOTT
Consent Officer



CHRISTCHURCH CITY COUNCIL

APPLICATION FOR BUILDING CONSENT

FORM: BA3

PROJECT NO:

9800 9174

PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued by the Council for this project?

☐ Yes ☐ No

If YES, add the Project Information Memorandum number to the box above marked PROJECT NO.

APPLICATION DETAILS	PROJECT
<ul style="list-style-type: none"> OWNER (as defined by the Building Act 1991) Name: <u>MURRAY & BARBARA LASSEN</u> Mailing Address: <u>24 LARCH PLACE</u> Street Address: <u>24 LARCH PLACE</u> Phone: <u>03 3594 484</u> Fax: <u>03 3594 453</u> 	<ul style="list-style-type: none"> LOCATION Street Address: <u>24 LARCH PLACE</u> <u>CASEBROOK</u> Lot: _____ DP: <u>68012</u> Other: _____
<ul style="list-style-type: none"> APPLICANT (Must be authorised by the owner to make this application) Name: <u>MURRAY & BARBARA LASSEN</u> Company: _____ Mailing Address: <u>As Above</u> Street Address: _____ Phone: _____ Fax: _____ 	<ul style="list-style-type: none"> DESCRIPTION OF WORK: <u>ALTER DORMER WINDOW TO WEST SIDE. ALTER ROOF SPACE OVER MASTER BED TO ALLOW FOR OFFICE</u> INTENDED USE: <u>OFFICE SPACE</u>
Estimated Value of proposed work (inclusive of GST) \$ <u>2400</u>	<ul style="list-style-type: none"> Will the building undergo a change of use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Building Consent to be uplifted from: <input type="checkbox"/> <u>FEROALTON</u> Service Centre <input type="checkbox"/> If prepaid post to Owner / Applicant (delete one)	<ul style="list-style-type: none"> Intended Life if less than 50 years: _____ years Being stage <u>1</u> of an intended <u>1</u> stages
<ul style="list-style-type: none"> Water Supply Is a new supply required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance from LH/RH boundary (looking from street) _____ metres Nominate street if a corner site: _____ 	<ul style="list-style-type: none"> FLOOR AREA Ground Floor: Existing _____ m² Add _____ m² Other Floor: Existing _____ m² Add _____ m² Accessory Building Area: Existing _____ m² Add _____ m²
<ul style="list-style-type: none"> Road Opening / Footpath Opening Is an opening required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Type of service: <u>Sewer / Stormwater</u> (DELETE AS NECESSARY) 	<ul style="list-style-type: none"> Vehicle Crossing (in connection with this Building Consent) Is a vehicle crossing required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <u>New / Extension / Residential / Commercial</u> (DELETE AS NECESSARY)
FOR COUNCIL USE ONLY	
Invalid Owner Recorded: <input checked="" type="checkbox"/> Date Received: <u>18/11/98</u> Prepaid Fee: \$ <u>168.00</u> Receipt No: <u>2759007</u> Receiving Officer's Name: <u>ROSEWORTH</u>	DRAINAGE INFORMATION Not Required <input checked="" type="checkbox"/> Block Plan Only <input type="checkbox"/> Full PIM <input type="checkbox"/> Date Requested ____/____/____ Hazard <input type="checkbox"/> Yes <input type="checkbox"/> No

SECTION 1

ESTIMATE OF CONSTRUCTION INSPECTIONS:

PROJECT NO. 98009174

DATE: 13/1/98

DESCRIPTION OF CONSENT: HOUSE ALTERATIONS

SITE ADDRESS: 24A LARCH PLACE

MANDATORY NOTICE INSPECTIONS	No	Cost	1	2	3	4	5	TOTAL
M1 Excavation/Foundation/Reinforcing								
M2 Slab on Grade/DPC								
M3 Frame Construction Sub Floor								
M4A Pre-lining/Including Plumbing								
M4B Plumbing								
M5 Fire Resistant Linings								
M6 Drains								
M7 Pre Stopping/Bracing Inspection								
M8 Final								
SUPPLEMENTARY INSPECTIONS								
S1 Concrete Construction								
S2 Blockwork Construction								
S3 Steel Construction								
S4 Timber Construction								
S5 Solid Plaster Inspection								
S6 Brick Shelf Angle Inspection								
S7 Fire Safety Systems Inspection								
AUDIT INSPECTIONS								
A1 Concrete Construction								
A2 Blockwork Construction								
A3 Steel Construction								
A4 Timber Construction								
A5								
A6								
A7								
SUB TOTALS								
RECTIFICATION INSPECTIONS								
R1								
R2								
R3								
R4								
COMPLETED BY SBI'S TOTALS								

Special matters noted by Consent Team to assist Compliance Team -

INSPECTION COSTS:

- Mandatory Notice \$ _____
- Supplementary \$ _____
- Rectification Inspections \$ _____
- Total Cost of Inspections \$ _____
- Less Prepaid Inspections \$ _____
- Interim CCC \$ _____

AMOUNT OWING \$ _____

Have you provided the following information?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Certificate of Title: Recent search copy of (less than 6 months old)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Plans & specification of an acceptable standard	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Recession planes (including to internal boundaries) indicated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Site levels relating to top of roadside kerb, and finished floor level indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Hill sites: indicate contours, drive gradients and building heights	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Site boundaries nominated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Shared access ways/other areas	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Foulwater drains	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Stormwater drains	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Stormwater discharge for hardstanding areas detailed to an approved outfall	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Water Service Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Vehicle crossing position indicated on site plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Vehicle access manoeuvre and parking area indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Site area per unit indicated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Site coverage: % details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Living and service courts indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Landscaped area indicated and planting plan produced	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Demolition Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Swimming pool: design, fence and discharge	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Backflow prevention	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Waterway setbacks indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Notable and protected site trees indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Heritage site or building affected?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Resource Consent Application	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Development Application	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Subdivision details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

SECTION 3	Yes	No	N/A
• Structural drawings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Foundation design and report on ground conditions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Blockwork: design including foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Retaining walls: design heights, position, sub soil drainage and safety barriers	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Fire partitions: dividing walls, common walls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Window positions & opening windows indicated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Safety glass provisions specified	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Thermal insulation and R value indicated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Sound insulation indicated	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Solid fuel heater: make, model and location	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Accurate layout & details of plumbing systems	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Alternative Solutions details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Access and facilities for people with disabilities	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Access Route Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Dangerous goods: storage and sign details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Gas bottle: storage location and capacity if over 10kg	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Soakpit, septic tank and pumping station design details.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Specifications in duplicate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Pegging certificate for two or more units on site	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Bracing calculations and layout	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Roof truss design statement and layout	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• BA20 form (Producer Statement information)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Fire Safety Summary or Fire Design Statement	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Compliance Schedule details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

RESIDENTIAL/LIVING

Veitches

MIM APPLICATION CHECK SHEET

Project Number: 98009174

Location: 24A LARCH PL

Proposal: DWELL ALTS/OFFICE

Checked	Comment	Officer	Date	Time
<input checked="" type="checkbox"/> Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ROC	20-11-98	
<input checked="" type="checkbox"/> Planning	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Row Emsort	13/1/99	
<input type="checkbox"/> Traffic	<input type="checkbox"/> Yes <input type="checkbox"/> No			
<input type="checkbox"/> Envir. Health	<input type="checkbox"/> Yes <input type="checkbox"/> No			

Transitional District Plan			Proposed City Plan		
Zoning		Res G	Zoning		L1
Designations		None	Designations		None
Road widening			Footprint/Sam		
Protected Item		No	Protected Item		No
Airport Noise			Airport Noise		
Site area		N/A	Site area		
Shape factor	-		Net site area		
Res. Site Density/Plot Ratio	-		Res. Site Density/Plot Ratio		
Site coverage	✓	No change	Site coverage		
Height			Height		
Recession Planes			Recession Planes		
Street scene			Street scene		
Garage setback			Garage setback		
Internal boundary setback			Internal boundary setback		
Waterway setback			Waterway setback		
Separation distance/windows/balcony			Window/balcony setback		
Outdoor living/service area			Outdoor living/service area		
Landscaping			Landscaping		
Storage space		No	Storage space		
Accessory building length			Accessory building length		
Accessory building area			Cont. building length		
Design and appearance			External appearance		
Other			Other		

Traffic					
Car parking/garageable spaces			Car parking/garageable space		
Visitor Park			Visitor Park		
Access/gradients			Access/gradients		
Manoeuvring			Manoeuvring		
Crossing separation			Crossing separation		
Crossing distance			Crossing distance		
Crossing width			Crossing width		
Other			Other		

Other			Activity		
Relocated buildings			Permitted		
Family Flat			Controlled		
Reserve Contrib/Dev Levy(Central)			Discretionary		
(Suburbs)			Non-complying		
Subdivision/Title issued					
Cross-lease Owners consent					
Resource Consents recorded					
Other					

24 Larch Place

- Soft Ground

- Filled ground (certified, uncontrolled or rubbish).

Resource consent X/78/8 granted 16/10/78

Consent to extend dwelling setback

1.5 m from side boundary in lieu
of 1.8 m

418/93/DA Consent to erect a dwelling &
garage not complying with the 30° recession
planes on south boundary

1(a)

2(q)

- ☐ the recession plane on the.....
- ☐ the maximum permitted height of.....m.
- ☐ the boundary setback distance of.....m on the.....boundary.

2(r)

- ☐ boundary setback distance of.....m on the.....boundary.
- ☐ maximum height of.....m.
- ☐ recession planes(s) on theboundary.

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☒ No

If yes briefly describe your proposed programme: _____

- Estimated start date: As soon as possible. (please note building work must be started within 6 months of Consent issue date)
- Estimated finish date: 14 Days after start.
- Is a registered engineer involved?
 - For design ☐ Yes ☒ No
 - For Inspection ☐ Yes ☒ No
- Is a Producer Statement to be offered?
 - Producer Statement: Design ☐ Yes ☒ No
 - Producer Statement: Inspection ☐ Yes ☒ No
- Is a registered master builder involved in the project? ☐ Yes ☒ No

Name (optional)

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	<input type="checkbox"/>	<input type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	<input type="checkbox"/>	<input type="checkbox"/>
(c) Emergency warning systems for fire or other dangers	<input type="checkbox"/>	<input type="checkbox"/>
(d) Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>
(e) Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	<input type="checkbox"/>	<input type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code	<input type="checkbox"/>	<input type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems	<input type="checkbox"/>	<input type="checkbox"/>
NONE OF THE ABOVE		<input checked="" type="checkbox"/>

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	<input type="checkbox"/>	<input type="checkbox"/>
(n) Safety barriers	<input type="checkbox"/>	<input type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975	<input type="checkbox"/>	<input type="checkbox"/>
(p) Handheld hoses for fire fighting	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975	<input type="checkbox"/>	<input type="checkbox"/>

PLEASE TURN OVER

SECTION 4

SECTION 5

SECTION 5A

SECTION 6

☐ **Builder's Name:** Gerard MAHON & MURRAY LASSON Phone: 3594-484
Address: 24 R LARCH PLACE Fax: 3594 453

☐ **Building Certifier's Name:** NIL Phone: _____
Address: _____ Fax: _____

☐ **Plumber's Name:** NIL Phone: _____
Address: _____ Fax: _____

☐ **Drainlayer's Name:** NIL Phone: _____
Address: _____ Fax: _____

☐ **Engineer's Name:** NIL Phone: _____
Address: _____ Fax: _____

☐ **Designer's Name:** NIL Phone: _____
Address: _____ Fax: _____

SECTION 7

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed:	Section 1 <input checked="" type="checkbox"/>	Section 4 <input checked="" type="checkbox"/>	Section 6 <input checked="" type="checkbox"/>
	Section 2 <input checked="" type="checkbox"/>	Section 5 <input checked="" type="checkbox"/>	Section 7 <input type="checkbox"/>
	Section 3 <input checked="" type="checkbox"/>	Section 5A <input checked="" type="checkbox"/>	

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
 The charges incurred by the Council in processing this application are payable whether or not the project proceeds.
 Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- **I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION**

Print Name: MURRAY & BARBARA LASSON Date: 17-11-98

Signature: [Signature]
SIGNED BY or FOR AND ON BEHALF OF THE OWNER


Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 379 1660 Fax 371 1792	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO Box 29 183 Telephone 351 7109 Fax 372 2747	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372-2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372-2539
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Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Papanui Service Centre Cnr Langdons Road & Restell Street PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
---	--	---

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

	<h1>CHRISTCHURCH CITY COUNCIL</h1> <h2>REQUEST FOR FURTHER INFORMATION CHECK SHEET</h2>	<p>PROJECT NO: <u>9230 9174</u></p> <p>Please use this number on all correspondence</p>
--	---	--

Applicant: MURRAY LASSEN

Location: 20 A LARCH PLACE

To enable further processing of your application please forward details of any required items to the _____ Service Centre. Processing of your application will be delayed until the items indicated are submitted.

	Supplied / Required			Supplied / Required	
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	✓		• Structural drawings	✓	
• Certificate of Title: Recent search copy of (less than 6 months old)			• Foundation design and report on ground conditions	-	
• Plans & specification of an acceptable standard	✓		• Blockwork: design including foundations	-	
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	✓		• Retaining walls: design heights, position, sub soil drainage and safety barriers	-	
• Recession planes (including to internal boundaries) indicated	-		• Fire partitions: dividing walls, common walls	-	
• Site levels relating to top of roadside kerb, and finished floor level indicated	-		• Window positions & opening windows indicated	-	
• Hill sites: indicate contours, drive gradients and building heights	-		• Safety glass provisions specified	-	
• Site boundaries nominated	✓		• Thermal insulation and R value indicated	✓	
• Shared access ways/other areas	-		• Sound insulation indicated	-	
• Foulwater drains	-		• Stairs/steps/landings/balconies: dimensions, handrail and barrier details	-	
• Stormwater drains	-		• Solid fuel heater: make, model and location	-	
• Stormwater discharge for hardstanding areas detailed to an approved outfall	-		• Accurate layout & details of plumbing systems	-	
• Water Service Details	-		• Alternative Solutions details	-	
• Vehicle crossing position indicated on site plan	-		• Access and facilities for people with disabilities	-	
• Vehicle access manoeuvre and parking area indicated	-		• Access Route Details	-	
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access	-		• Dangerous goods: storage and sign details	-	
• Site area per unit indicated	-		• Gas bottle: storage location and capacity if over 10kg	-	
• Site coverage: % details	-		• Soakpit, septic tank and pumping station design details.	-	
• Living and service courts indicated	-		• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved	-	
• Landscaped area indicated and planting plan produced	-		• Specifications in duplicate	-	
• Demolition Details	-		• Pegging certificate for two or more units on site	-	
• Swimming pool: design, fence and discharge	-		• Bracing calculations and layout	-	
• Backflow prevention	-		• Roof truss design statement and layout	✓	
• Waterway setbacks indicated	-		• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229	✓	
• Notable and protected site trees indicated	-		• BA20 form (Producer Statement information)	-	
• Heritage site or building affected?	-		• Fire Safety Summary or Fire Design Statement	-	
• Resource Consent Application	-		• Compliance Schedule details	-	
• Development Application	-				
• Subdivision details	-				

Date: 1 July 2015


Signed: [Signature]

Print Name: J R T. [Signature]

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

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Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224

 <p>CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991</p>	<p align="center">Project Information Memorandum</p>	<p align="center">FORM BA2 PROJECT NO: 98009174</p>
---	---	--

Site Address: 24A Larch Place

Legal Desc: Lot No:1-2

DP No: 68012

Applicant: M & B Lassen
24A Larch Place
Christchurch

Owner: Murray and Barbara Lassen

Proposal: Dwelling alterations

The following matters have been identified in respect of the above Building Project.

HAZARDS / SPECIAL LAND CHARACTERISTICS

- Council's records indicate the site has suspect bearing capacity due to the presence of soft, filled ground (certified uncontrolled or rubbish). A report, and if the conditions require, a foundation design by a Structural Engineer may be required prior to the approval of a Building Consent.

Total Project Information Memorandum fees \$ 25.00

Paid \$ 25.00

Receipt No.: 2759007

Balance to pay \$ 0.00 *Fee is payable upon uplifting building consent*

Signed for and on behalf of the Council:  Date: 13-Jan-99

NAME: Marilyn Galbraith

POSITION: SENIOR TECHNICAL CLERK

This project may proceed subject to the issue of a Building Consent and any other necessary authorizations being obtained.

NB: This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.

EFFECT OF THE SUBMISSIONS TO THE PROPOSED CITY PLAN ON THE STATUS OF A PROJECT INFORMATION MEMORANDUM AND A BUILDING CONSENT

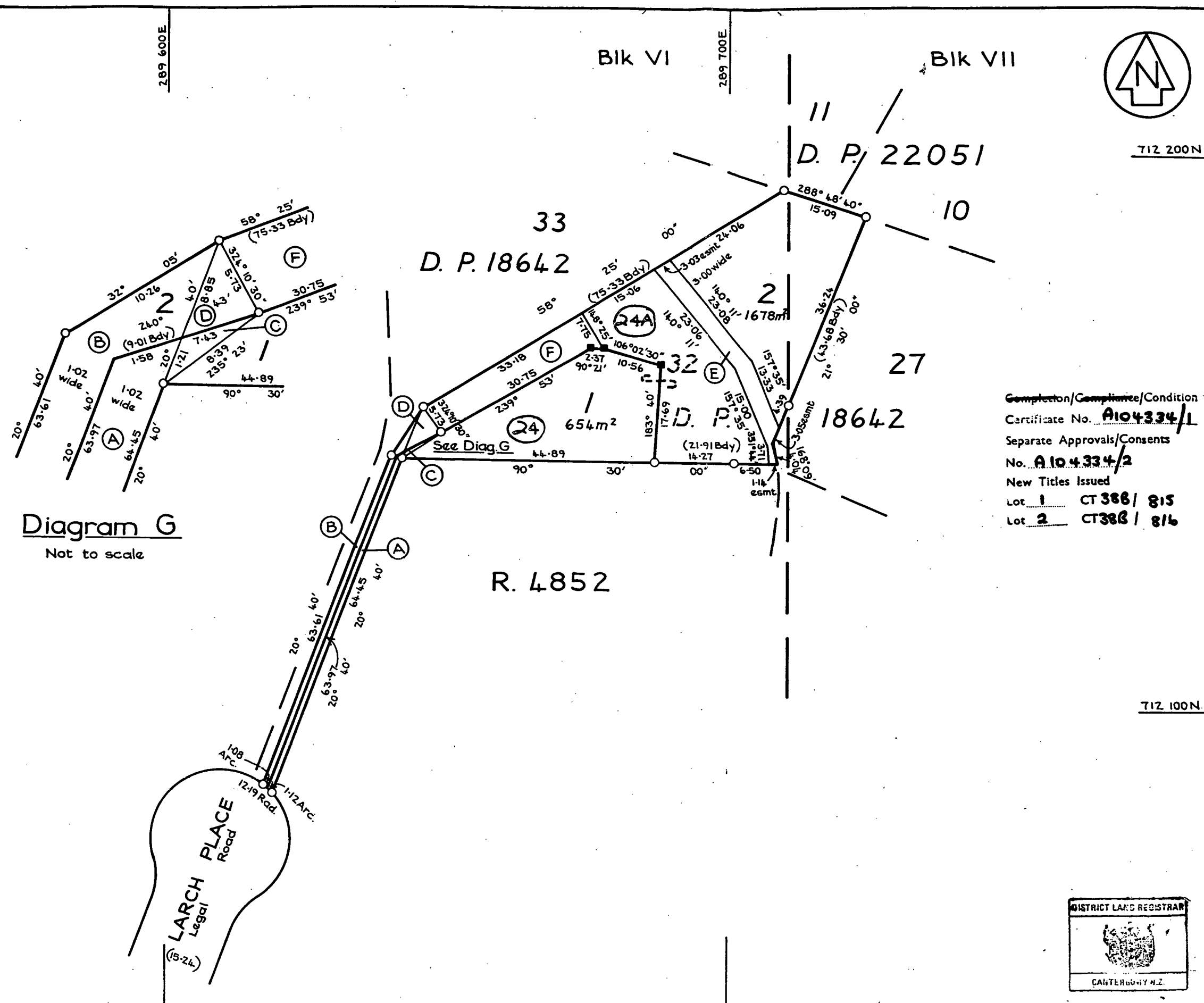
It is expected that the Council will issue decisions relating to the hearing of submissions to the Proposed City Plan early in 1999.



Any amendments to the Proposed Plan will apply to all building development work from that time unless particular provisions are changed by the Environment Court.

You should be aware that the issue of a Project Information Memorandum does not give protection against any changes to the Proposed Plan. It is possible that as a consequence of the notification of changes to the Plan that some aspects of your building proposal will no longer comply.

Before the Council formally adopts any changes to the Proposed Plan you should ensure that the Building Consent has been paid for and uplifted to avoid the effect of any potential rule change. (Note that a Building Consent requires work to be started within 6 months of issue).

Alternatively a Certificate of Compliance may be obtained from the Council if the activity is permitted and complies fully with the rules of the current Transitional and Proposed Plans. This certificate is valid for 2 years and exempts a building proposal from changes to the City Plan for that period.



Approvals 
 Registered Owners

Pursuant to Section 223 Resource Management Act 1991
dated 30th day of November
1993. The Christchurch City Council has approved this
plan of subdivision conditional upon the granting or reserving
of the easements shown in the memorandum endorsed hereon
SUBJECT to the following conditions as set out in Document
Z51928/1 deposited in the office of the District Land Registrar at Christchurch.
Condition NOS. 1, 2, 3, 4, 5b - 11

and certifies that the plan is in accordance with the requirements and provisions of the Operative District Scheme
IN WITNESS WHEREOF the COMMON SEAL of the CHRISTCHURCH CITY COUNCIL was affixed hereto in the presence of:

[Signature] Mayor / Councillor
[Signature] Administration Manager.

Existing Easements			
Nature	Servient Tenement		Document
	Lot No.	Shown	
Right of Way	1	A	T.470206.T.484533
	2	B	T.470206.T.484533


Memorandum of Easements			
Nature	Servient Tenement		Dominant Tenement
	Lot No	Shown	
R.O.W. & Rights to drain water & sewage & to convey water, electric power & telephonic communications.	1	A, C	2
	2	B, D	1
Rights to drain water & sewage & to convey water, electric power & telephonic communications	2	F	1
			Grantee
Right to drain water in gross	2	E	Christchurch City Council

Total Area 2332 m²

Comprised in C.T. 763/6

1, Edwin Balfour Taylor
Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 26 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at Christchurch this 25th day of November 1993
Signature [Signature]

Field Book..... p. Traverse Book..... p.
Reference Plans D.P.'s 18642, 22051, 33396, 44461, 49399
F.B. 228 p. 114

Approved as to Survey 
3/2/94 Deputy Chief Surveyor

Deposited this 30th day of March 1994
Attest
Assistant District Land Registrar

File Received 17. 12. 93 Instructions	DP65449
---	---------

LAND DISTRICT Canterbury
SURVEY BLK. & DIST. VI. & VII. Christchurch
NZMS 261 SHT M35 RECORD MAP No1000/56/3

Lots 1 & 2 being Subdivision of
Lot 32 D.P. 18642.

TERRITORIAL AUTHORITY Christchurch City
 Surveyed by Balfour Taylor & Associates
 Scale 1:500 Date November 1993

.../win32app/ustation/dgn/plot.dgn Nov. 19, 1998 09:11:16 17423476.plt

GANG-NAIL**GROUP LTD****PRODUCER STATEMENT - DESIGN**
GANG-NAIL GROUP LIMITED**CH5319**
GANG-NAIL DESIGN

The building design CH5319 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000
I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

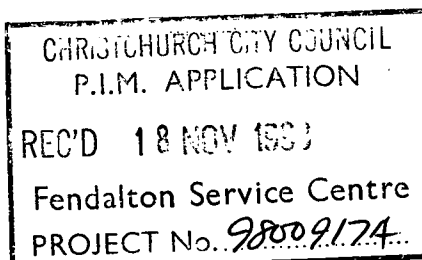
the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.


Stephen Anthony COLL


T.M. IPENZ, MNZIOB

for GANG-NAIL GROUP LIMITED
20 KOTZIKAS PLACE
CHRISTCHURCH
NEW ZEALAND

Date: 29 July, 1997



Correspondence from Christchurch Office

Auckland Office: 5 Zelanian Drive, East Tamaki, P.O. Box 58-014
Greenmount, New Zealand. Phone 0-9-274 7109, Fax 0-9-274 7100

Christchurch Office: 20 Kotzikas Place, Sockburn, P.O. Box 8387
Riccarton, New Zealand. Phone 0-3-348 8691, Fax 0-3-348 0314



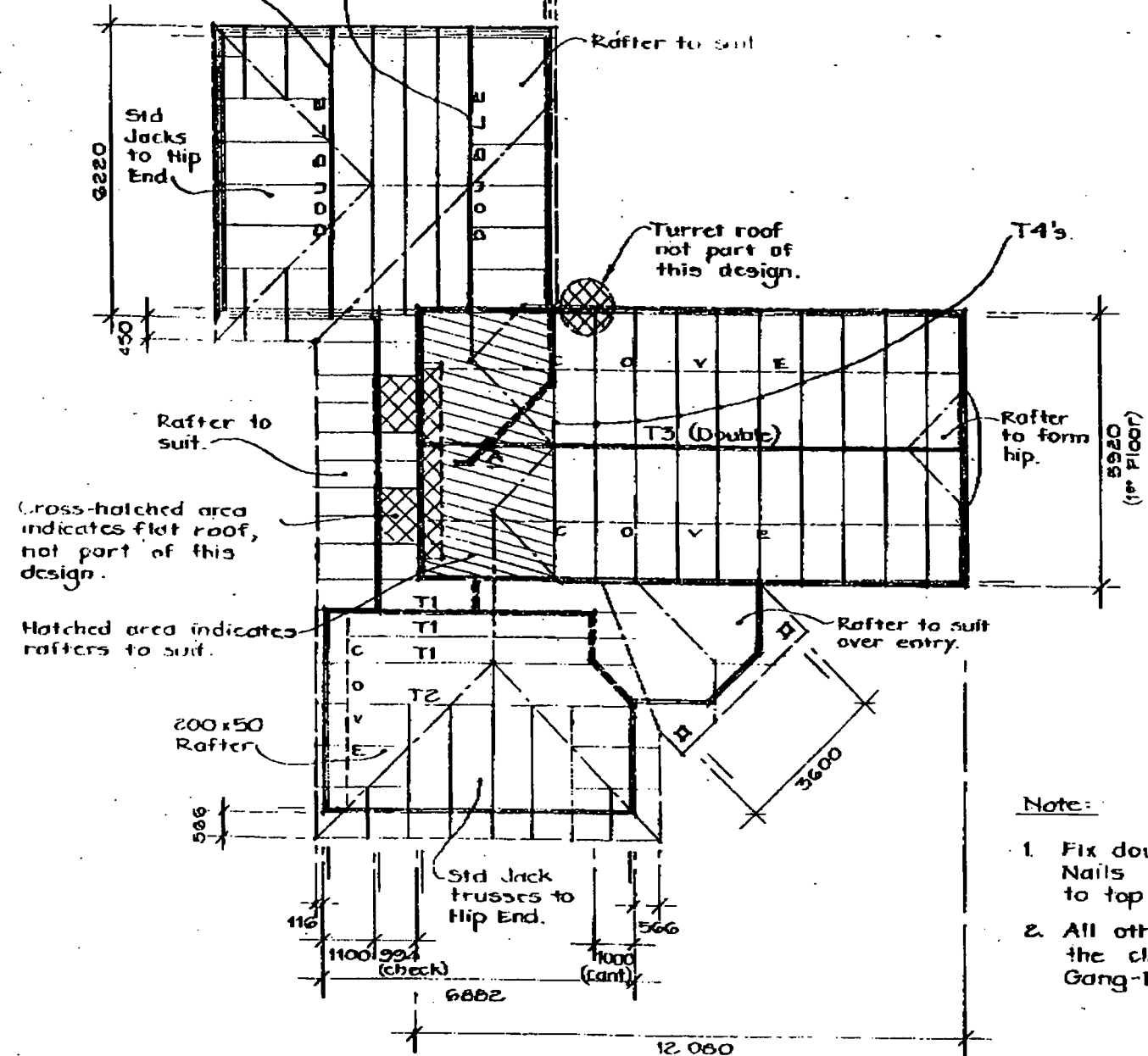
P.1

JUN 28 '94 12:02 GANG NAIL (CH-CH)00 400314

To : Placemakers
Riccarton
Attn: Larry Santy

Std 2AT 20/20,
top halloed to suit
detail on Attic drwgs
Sht 15.

Std 2AT 20/20
Collar Tie Height = 2700
Floor width = 3600



GENERAL NOTES

- 1. DIMENSIONS** — the dimensions given have been taken from information supplied by the client. Due to the possibility of variations, errors, inaccuracy in the drawings or omissions, Timber Engineering Consultants cannot accept responsibility for dimensions.
The contractor must confirm all dimensions with the Component Fabricator at the time of placing this order. All dimensions must be checked.
Dimensions marked with *** have been estimated and should be checked with extra care.
- 2. TEC DRAWING**
Client's Reference Drawings:

The contractor must confirm that the reference drawings are correct at the time of placing this order. Revisions will be made by Timber Engineering Consultants design on request.
- 3. Timber Engineering Consultants Reference Drawings:**
- 4. CONTRACT** generally as shown in the standard contract. TEC accepts no responsibility for the supervision or construction of items shown on this drawing.
- 5. Recommended member sizes** \square in mm.
- 6. ERECTION** — proper erection bracing must be installed to hold the components from wind and ground and the safe condition until the permanent bracing is fixed. All permanent bracing and brags must be installed before applying any loads.
- 7. COPYRIGHT** — These drawings are the property of Timber Engineering Consultants and are to be used only in connection with the performance of work by registered Component Fabricators.
These drawings must not be copied or reproduced without the written permission of Timber Engineering Consultants.

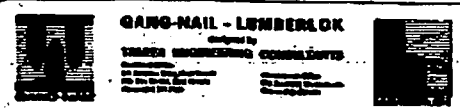
The loads and data below have been used by Timber Engineering Consultants to prepare these drawings. The loads are in general accordance with NZS 3604. It is the responsibility of the user to check that the design loads and data are still correct at the time of construction.

DESIGN LOADS:				Wind Load s = 0.54 kPa
Dead Load L_d	0.25	0.25	0.25	Cl = 0.3
Over Load L_o	0.25	0.2	0.2	Cl = 0.8
REPROD DATA:				Basic Wind s = 0.5 kPa
Roof	As Shown	As Shown	As Shown	Roof Material = Iron...
Roof Pitch	45°	45°	45°	Cladding Material = Gib-bd
Roof Covering	300	300	300	Roof Size = 10 suit
NOTES:				Roof Spacing = 10 suit

The specifications for timber shall be as follows unless stated otherwise:
Grading: The timber shall be machine graded No.1 Forest Grade Radiata Pine, or Standard Building Grade Douglas Fir.
Moisture Content: Green.
Treatment: TPA Specification H1.

Note:

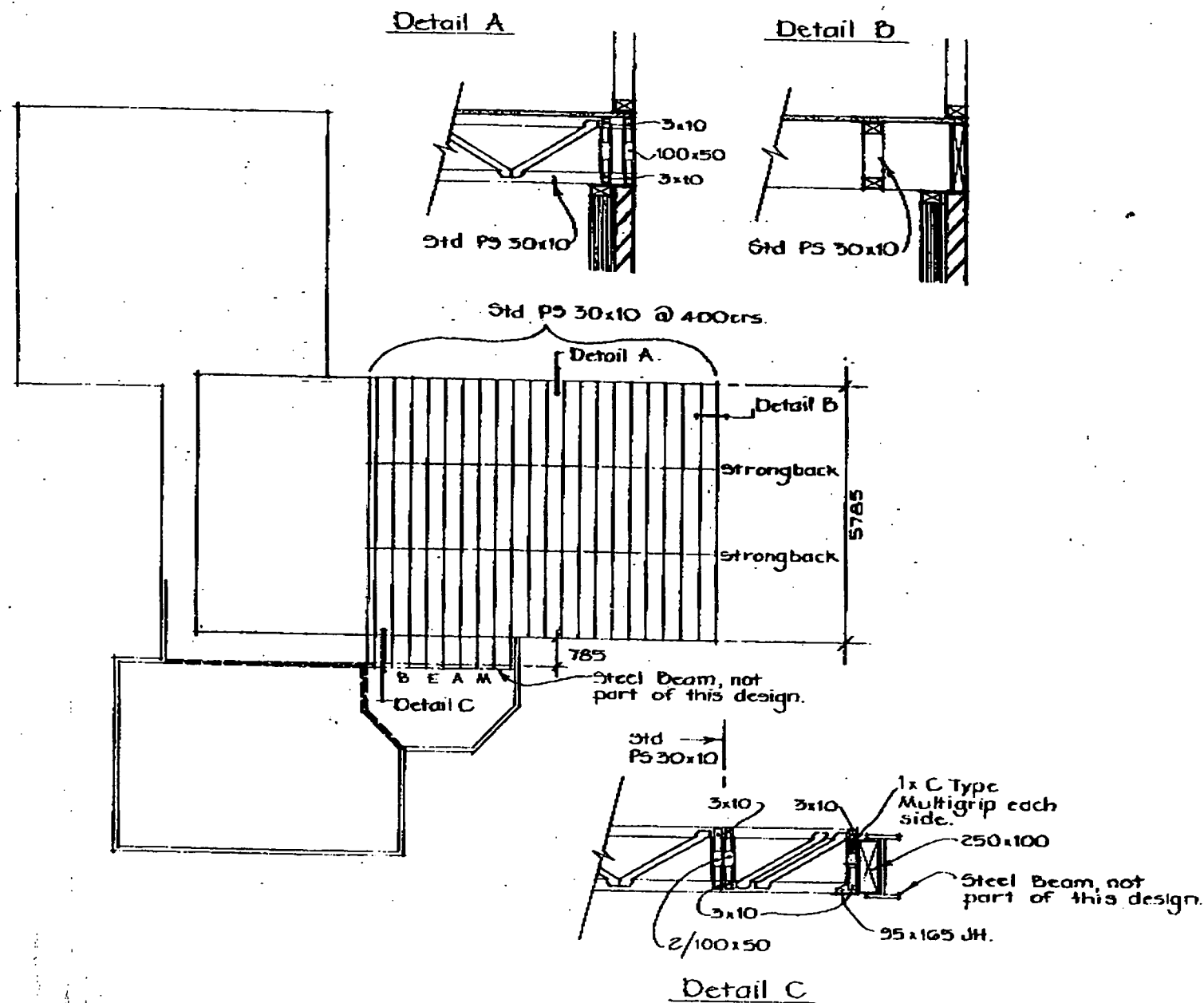
1. Fix double component together with 30mm Nails @ 200crs, staggered one side only to top & bottom chords.
2. All other details as per NZS 3604:1990, the client reference drawings & the Gang-Nail Manuals.



LASSEN RESIDENCE
24 Larch Place, Christchurch.

REV	DATE	DESCRIPTION	BY	CHECKED
1	28 JUN 94	Truss Layout.	SAC	SAC
2	28 JUN 94	Truss Layout.	TEA	TEA
3	28 JUN 94	Truss Layout.	TEA	TEA
4	28 JUN 94	Truss Layout.	TEA	TEA
5	28 JUN 94	Truss Layout.	TEA	TEA
6	28 JUN 94	Truss Layout.	TEA	TEA
7	28 JUN 94	Truss Layout.	TEA	TEA
8	28 JUN 94	Truss Layout.	TEA	TEA
9	28 JUN 94	Truss Layout.	TEA	TEA
10	28 JUN 94	Truss Layout.	TEA	TEA

CH 5319



GANG-NAIL - LUMBERLOK
Specialty
Timber Engineering Consultants



FOR SALE

LASSEN RESIDENCE
24 Larch Place, Christchurch.

REV. DATE DETAILS OF REVISION

DATE

Posi-strut Layout.

REV. DATE

CH 5319

June 94

Scale 1:100, 1:20

SAC

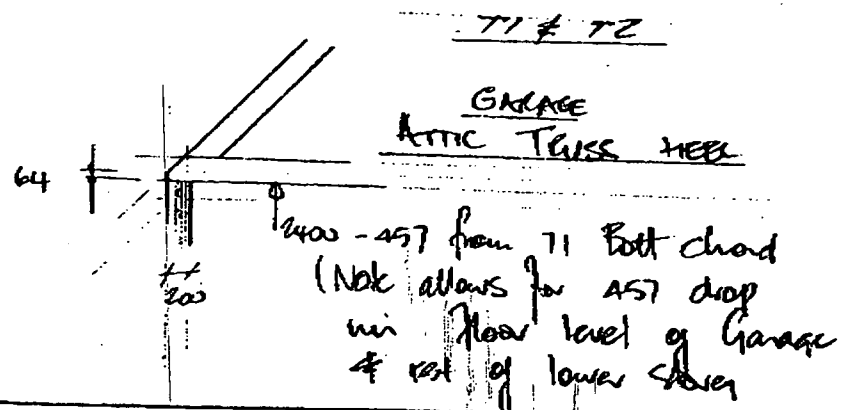
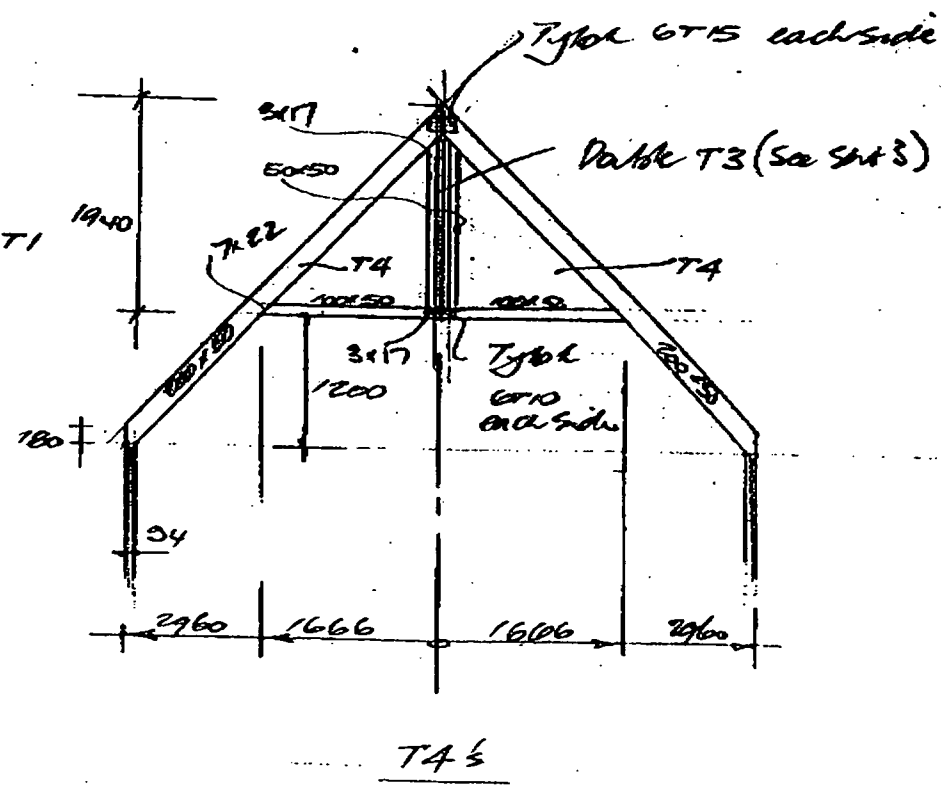
TEA

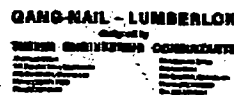
SAC

TEA

2 of 4

F10





LASSEN RESIDENCE
24 Larch Place, Christchurch.

Truss Details.

CH5319

June 94

SAC

SAC

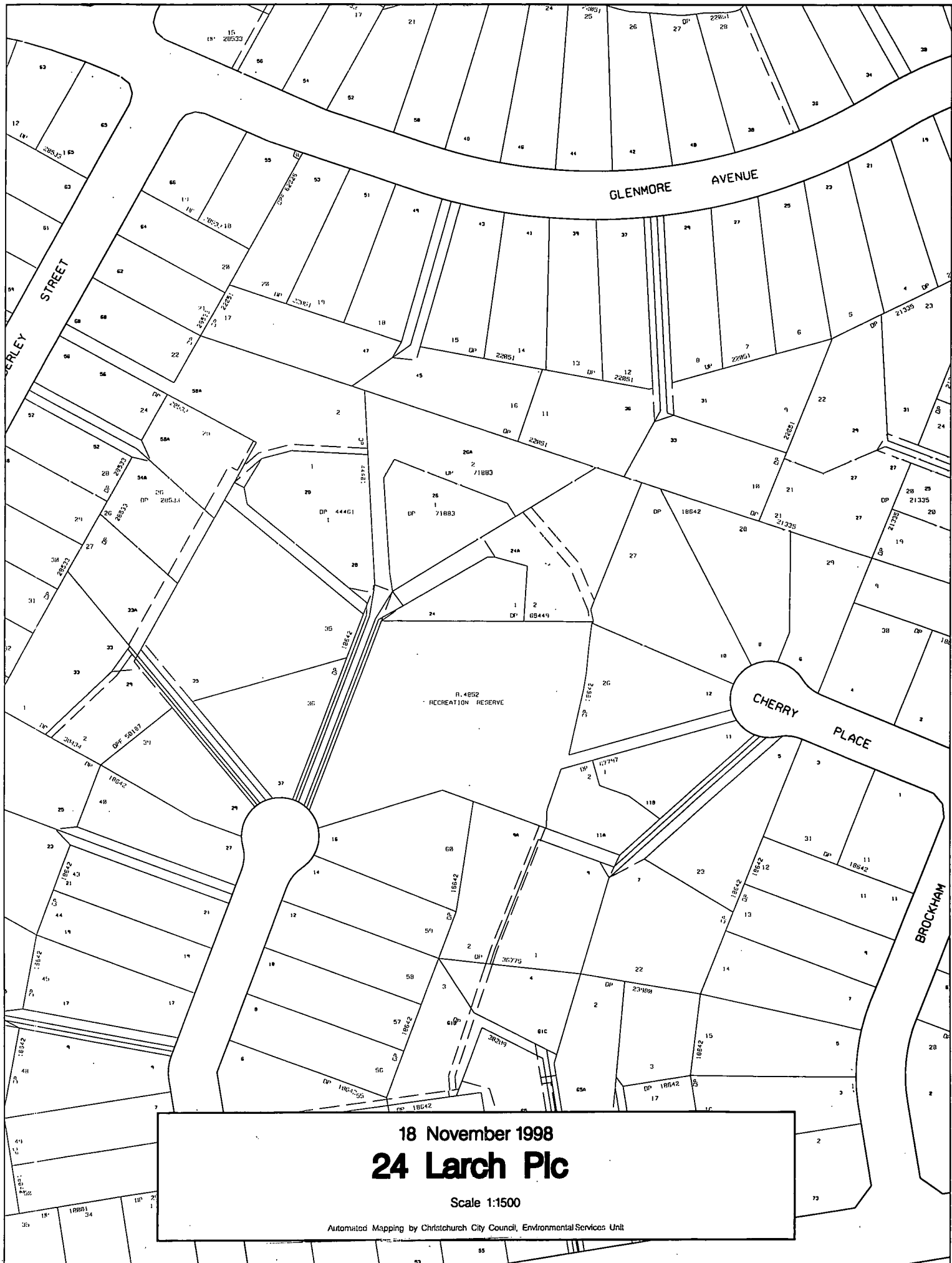
404

1-50

5AC

100

FORM F10



18 November 1998

24 Larch Plc

Scale 1:1500

Automated Mapping by Christchurch City Council, Environmental Services Unit



CHRISTCHURCH CITY COUNCIL

20 November 1998

MURRAY & BARBARA LASSEN
24A LARCH PLACE
CHRISTCHURCH

Dear Sir/Madam

APPLICATION FOR BUILDING CONSENT
PROJECT NO. 98009174
24A LARCH PLC
DWELLING ALTERATIONS/OFFICE

To enable us to review your application and ensure compliance with the Building Code you are requested to supply the following further information to the Building Consent Section of the Environmental Services Unit:-

1. The submitted plans do not meet the minimum standard of information required by New Zealand Standard 3604:1990 clause 2.7. The documents must show compliance with all applicable parts of the New Zealand Building Code. Please provide three sets of amended documents. Some of the matters are outlined below.
2. The information shown appears to be incomplete: what is the existing and proposed construction? Complete floor plans and cross sections in both directions are necessary.
3. Do the 250 x 50 floor joists exist, or are they proposed? *proposed*
4. Please indicate your option of a dormer, or extending the roof, together with full construction details, and include the recession planes from both nearby boundaries. *no dormer*
5. Show elevations of the proposal, with opening windows indicated.
6. Please note that the Project Information Memorandum is not available at present and other matters pertaining to the Project Information Memorandum may need to be addressed.

CONTACT RON ELLIOTT

FILE

BUILDING CONSENT TEAM

2ND FLOOR, CIVIC OFFICES, 163 TUAM ST.

P O BOX 237

CHRISTCHURCH

(03) 372-2751

FAX (03) 371-1920

Pending receipt of this information, we shall endeavour to process the remaining aspects of your application as best we can. However, any delay in supplying the information may affect the prescribed period for processing the consent.

Yours faithfully



RON ELLIOTT
for

ENVIRONMENTAL SERVICES MANAGER

CONTACT RON ELLIOTT

FILE

BUILDING CONSENT TEAM

2ND FLOOR, CIVIC OFFICES, 163 TUAM ST.

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CONSENT PROCESSING CHECK SHEET

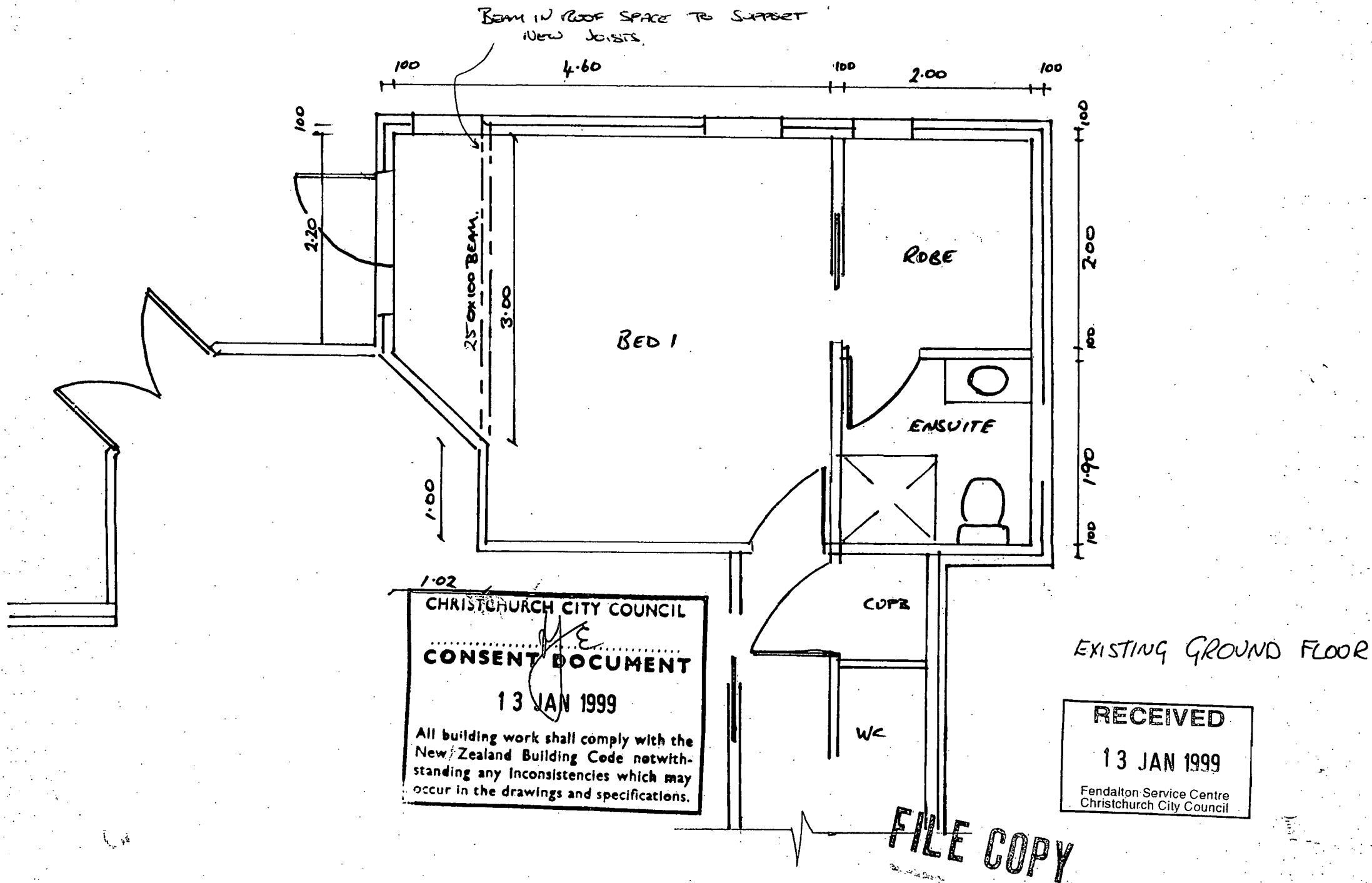
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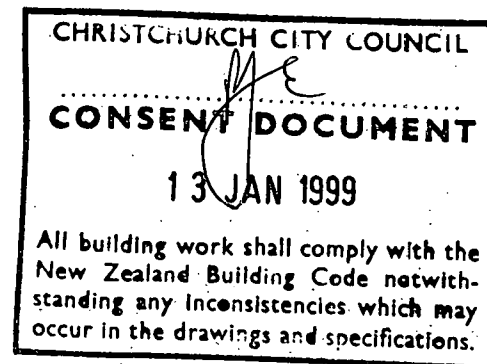
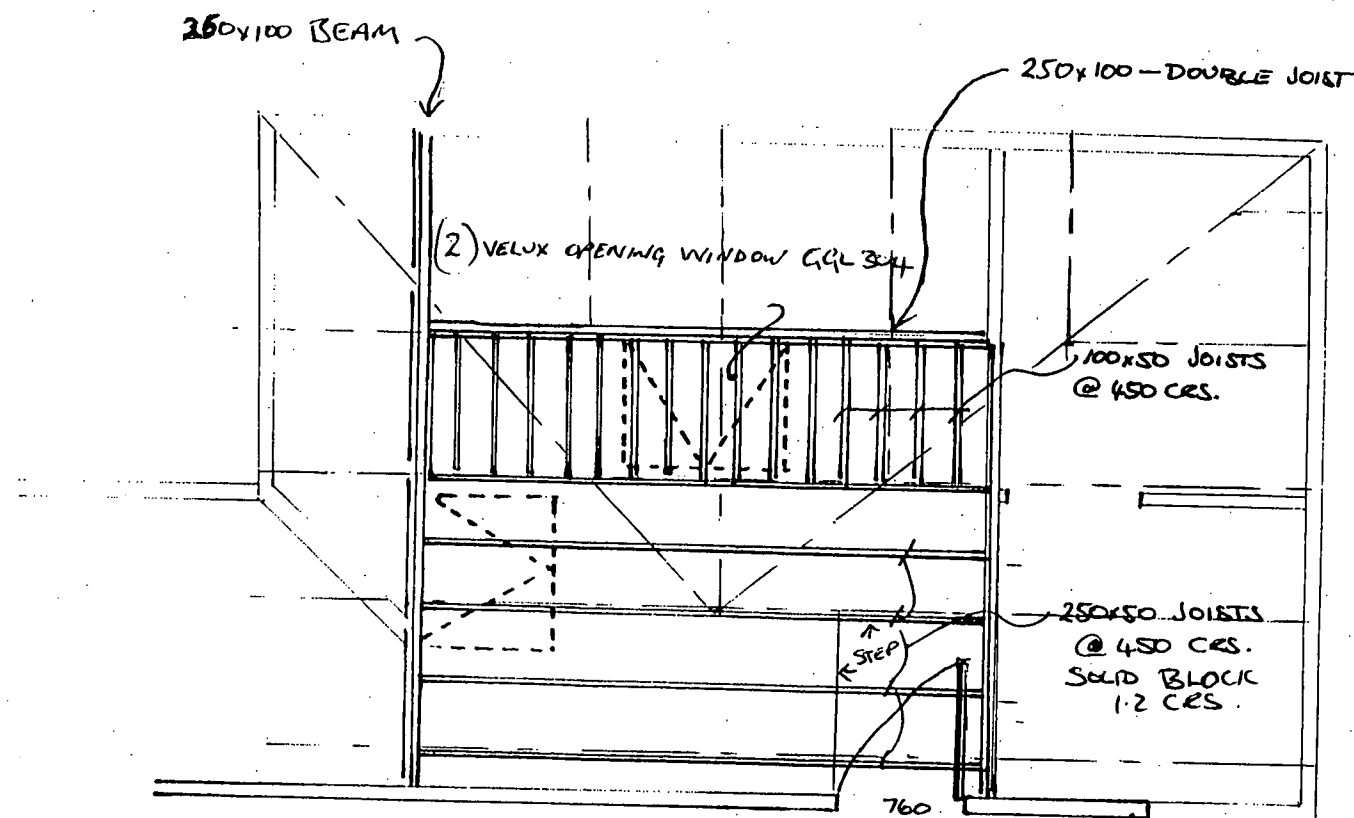
	Section 35: Resource Consent	
	36: Land Subject to erosion, etc C1	
101	37: 2+ Allotments C53, 54	
102, 103 104, 303	38: Building Alterations	
515	46: Changes of Use	
	66: Earthquake Prone	
109, 110	PIM Problems Resolved / Not available	✓
111	Value	✓
112	CT	↑
114	Subdivision Conditions Certificate issued	
	Reserve / Development Fee	
115	Pegging Certificate (2+ Buildings on 1 title)	
501/116	Producer Statements / Scope defined C2, 4	
502	Inspection Procedures	
503/504	Engineer signed set drawings / Confirmation	
	Compl Schedule & Fee	
	Copy of Schedule and BA3 to Bldg Support	
	Credits for Consultants Inspections	
	Hill Site / Retaining walls / Hazards	
120	Demolition C9-22	
121/122	Specifications / Plans	✓
123/124	Site Plan to scale / Internal boundary positions	
125/126	Site levels kerb / Site levels datum	✓
127	Flood prone site MIN FFL.....	
128	Floor Levels: Masonry 150 (FGL) 100 (Paving)	
	Other 225 (FGL) 150 (Paving)	
104	Structural check of existing building	
505	Foundations: Soils OK / Request Report C49	
	Copy Report to Hazard File	
132	Wall and footing size / Reinf C24	
133	Post foundations 3604 section 7	
	Slab: Ties/DPC/Mesh/Joints C84	
135	Tanking: Wall DPC: Top edge sealing	
136	Blockwork: Steel & foundations 4229 App C	
	Subfloor: Ventilation 3604 section 4.8	
138	Part. board clearance-550 mm	
	Pile footings	
	Piles-125x125 / 140 diam H5B	
143	Member sizes	
141	Subfloor bracing	
142/143	Walls: Sizes: Lintels / Beams / Studs	✓
144	Cantilevers: Joists / Lintels	↑
145/146	Offset Loadbearing Walls / 1st floor joists	
147/-	Roof: Truss Design and Layout/Rafters	✓
148	High Points Loads on Lintels 3604 cl 6.6.1.2	
	H3 ply to unventilated skillion roofs	
	Timber Species & Treatment / Window reveals	
150	Bracing	
	Dragon Ties/Ceiling Diaphragms	✓
151	Insulation: Floor/Wall/Clg	✓
152	Sound Insulation G6	

153	Claddings - Brick C52	
155/156	- Plaster systems, Cert / Type C50	
158	- Solid plaster C51	
	- Other	
161	Roofing type & pitch - >500m from sea	
162	Internal Gutters: Size and overflows	
163	Snow boards E2.3.1	
164	Downpipes E1/AS1/Table 5	
301	Fire Codes - SR - Refer to Check sheet F1	
	- SH - Escape 24m dead end	
302/306	- FRR 1m off boundary	
	- Fire wall fixings / battens	
	Access Routes: Into and inside	
166	" " Anti-slip surfaces D1/AS1/Table 1A	
167	Stairs/Accessible: Tread 310+ Riser 180-	
	Common & Main Pvt: Tread 280+ Riser 190-	
	Sec Pvt: Tread 250+ Riser 200-	
	Minor Pvt: Tread 220+ Riser 220-	
168	Step details / all handrails	
169	Barriers B1/AS2 and F4	
	Window sill heights F4	
171	Accessible Parking / External Routes / Entry	
172/173	Ramp entry / Internal routes	
174	Accessible Toilet / Shower Facilities G1	
175	Ventilation E3 and G4	✓
	Safety Glass F2 & NZS 4223:Pt3:1993	
177	Laundry Space G2/AS1/Fig 1	
178	Kitchen Space G3/AS1/Fig1	
179	Sanitary Fixtures G1 - Numbers, Privacy,	
181	Security, WC space	
183	Anti Scalding Device G12/AS1/4.13	
184	Woodburner / Flue height	
	Gas storage over 100 kg	
	Water storage (OPH) G12/AS1/3.1	
186	Backflow prevention	
	Easements: Drains in, Buildings Over	
	Discharge: Wastes & Vents	
190	Foul Drains/Vents/Septic Tanks	
191	Stormwater Drains / Outfalls C6	
193/194	Surface water / Channel	
	Subsoil drains - sump	
	S W Sumps	
197	Common Drains	
490-498	Pools: fences, backflow, discharge C74	
	Highlight sheet - Altn Sol, section 35(1a), Unusual items	✓
199	Partial Processing	

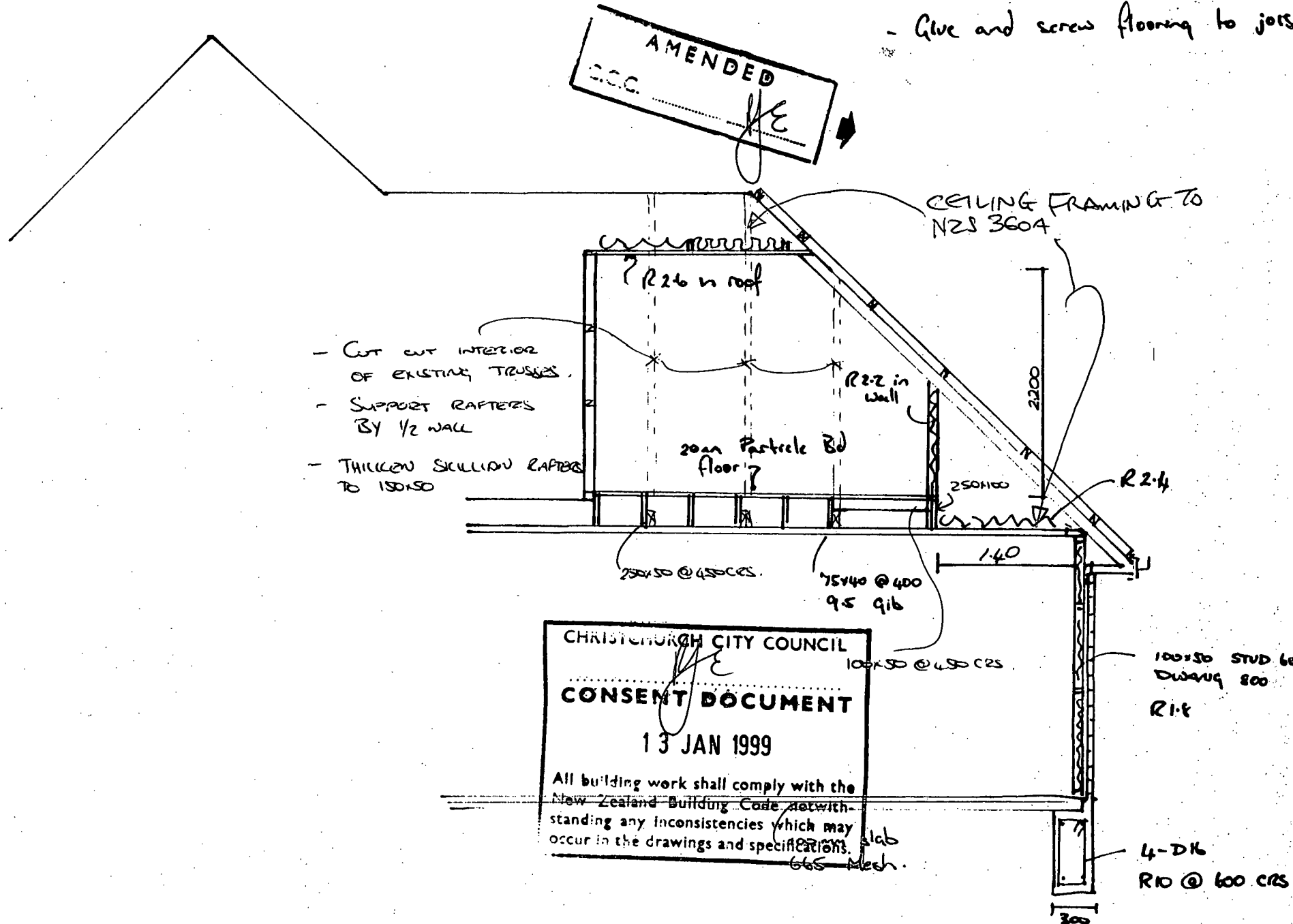
✓ = OK A = Documents Amended
Q = Queried - = Not Applicable

Refer to Amendments Sheet for those items that should be amended on plans.





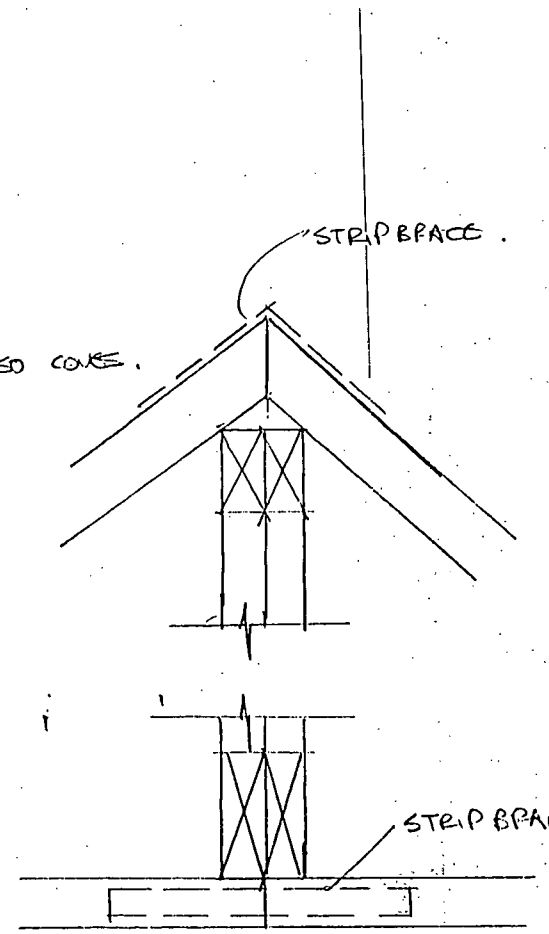
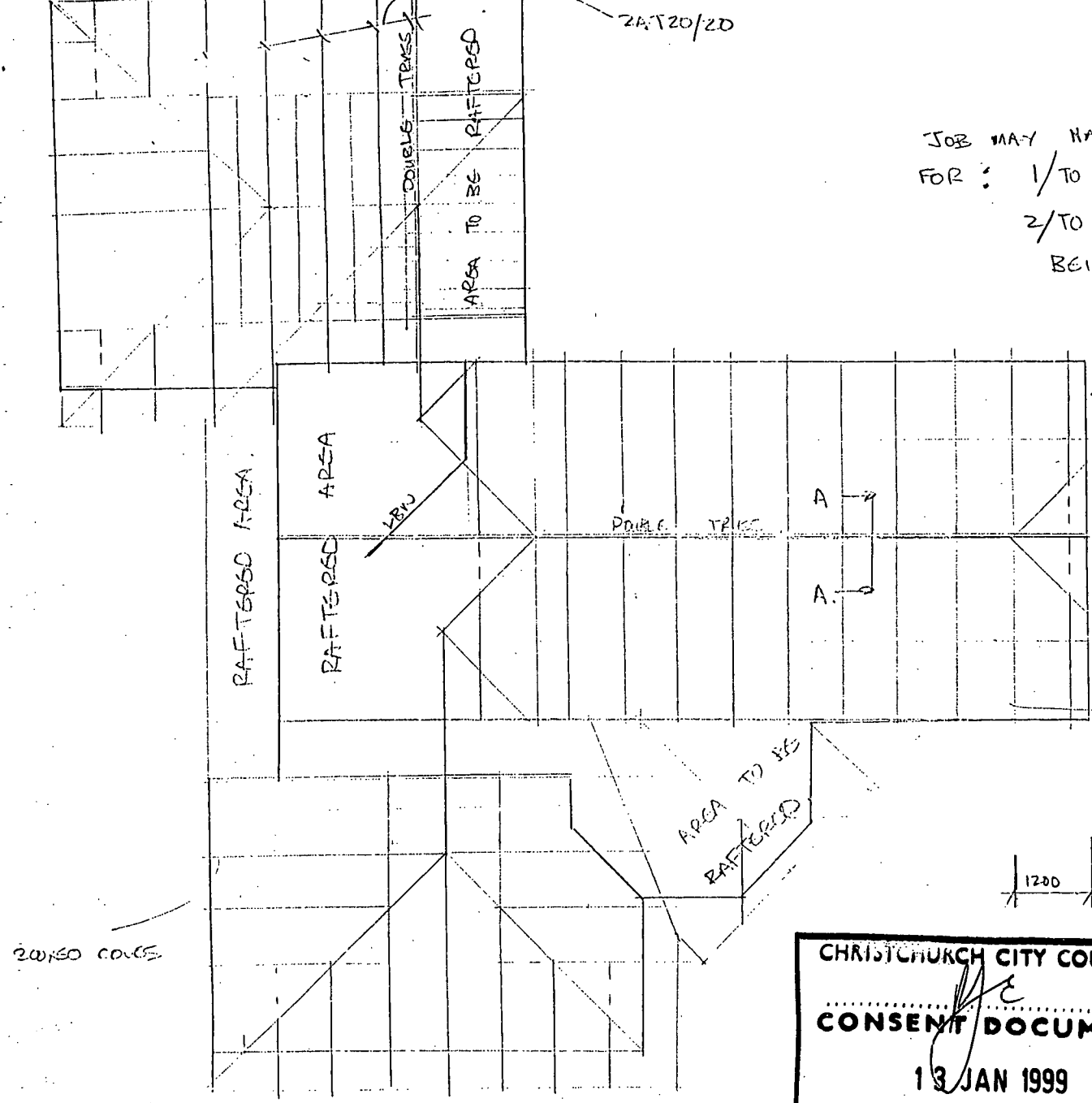
- Line ceiling and walls with 9.5 Gib.
- Glue and screw flooring to joists



24 LARCH PL.

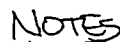
24:20/20

JOB MAY HAVE TO HAVE A HEEL DEPTH
FOR : 1/TO KEEP SOFFIT ABOVE WINDOWS
2/TO PREVENT FIRST FLOOR GIRDER TRAYS
BEING COVERED.

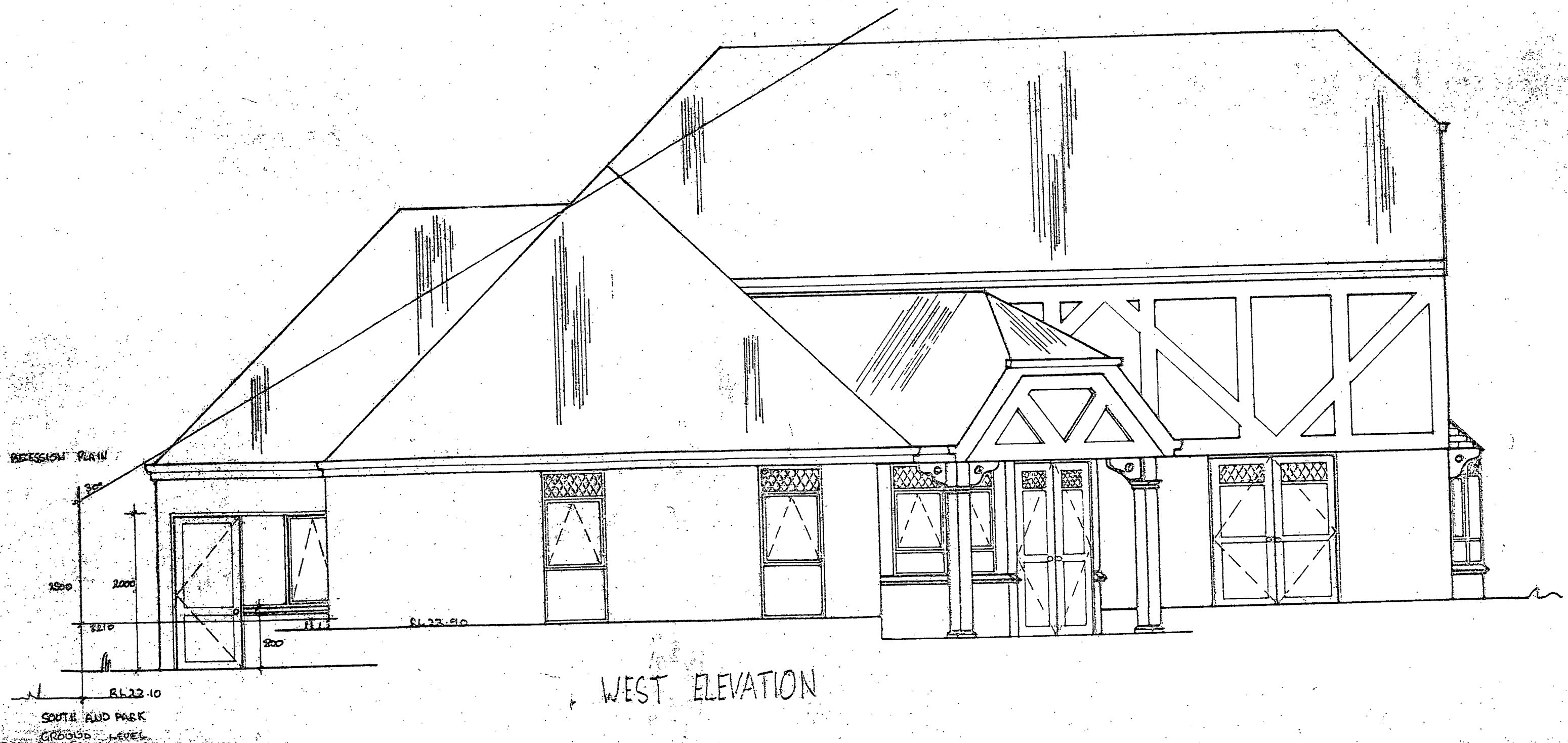


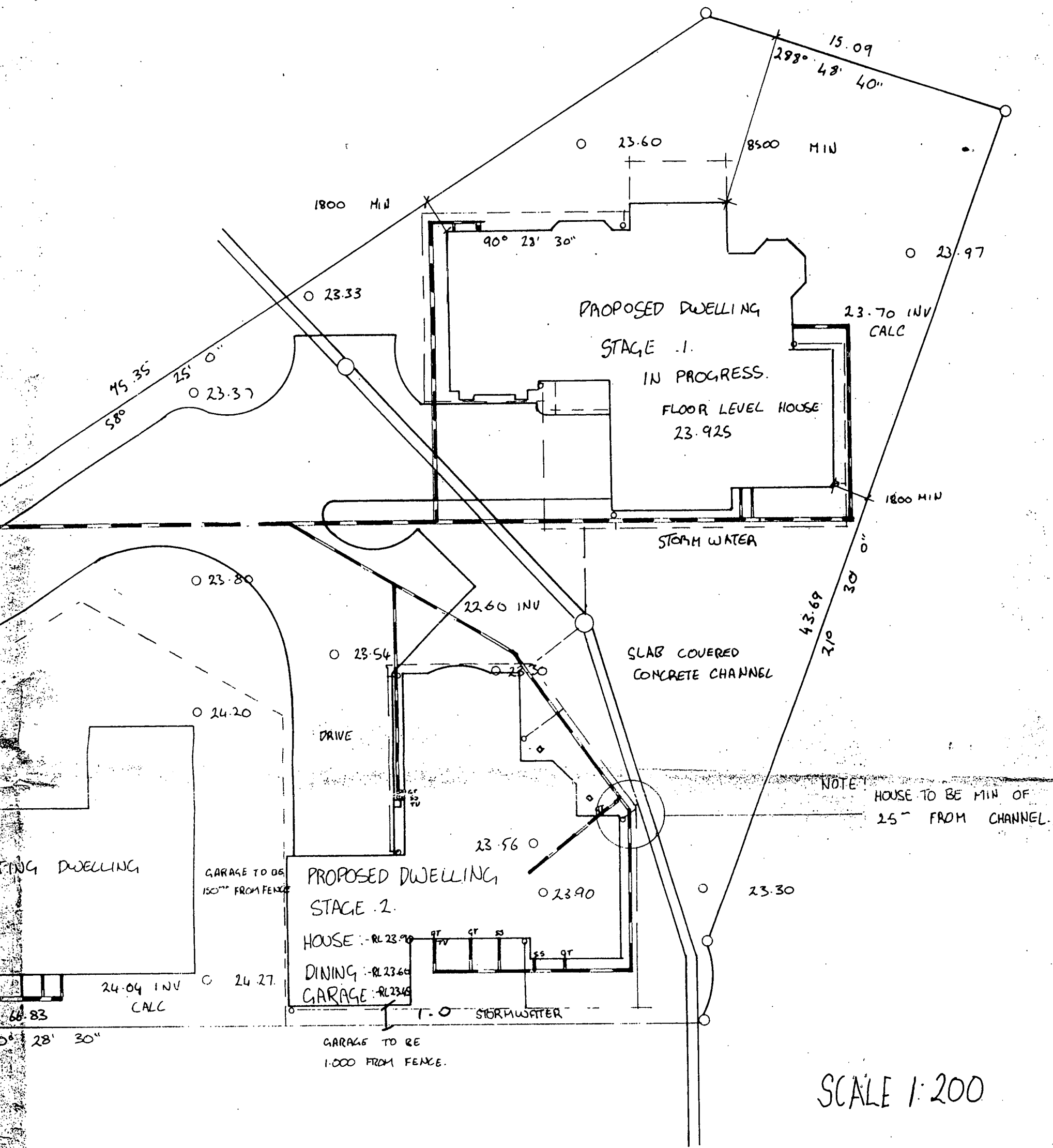
CHRISTCHURCH CITY COUNCIL
[Signature]
CONSENT DOCUMENT
13 JAN 1999
All building work shall comply with the
New Zealand Building Code notwith-
standing any inconsistencies which may
occur in the drawings and specifications.

Page 1 of 2



- 1/ CONCRETE TO BE 17.5 MPa ORDINARY / GRADE
- 2/ STEEL : LAP LENGTHS D16 : 600mm MESH : 225mm
- ... CORNERS TO BE CONTINUOUS



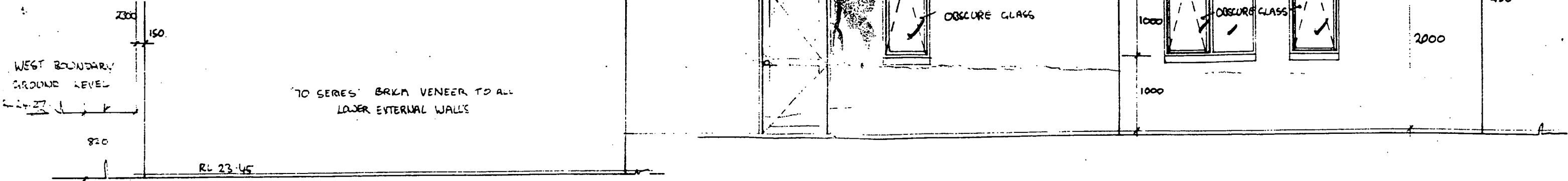


2. PART OF RURAL SECTION 1000
29.42
DWELLING - 158.42
DWELLING 1. - 204.54^{m2} IN PROGRESS
DWELLING 2. - 168.64^{m2}
SITE COVER - 531.18^{m2} = 23 %

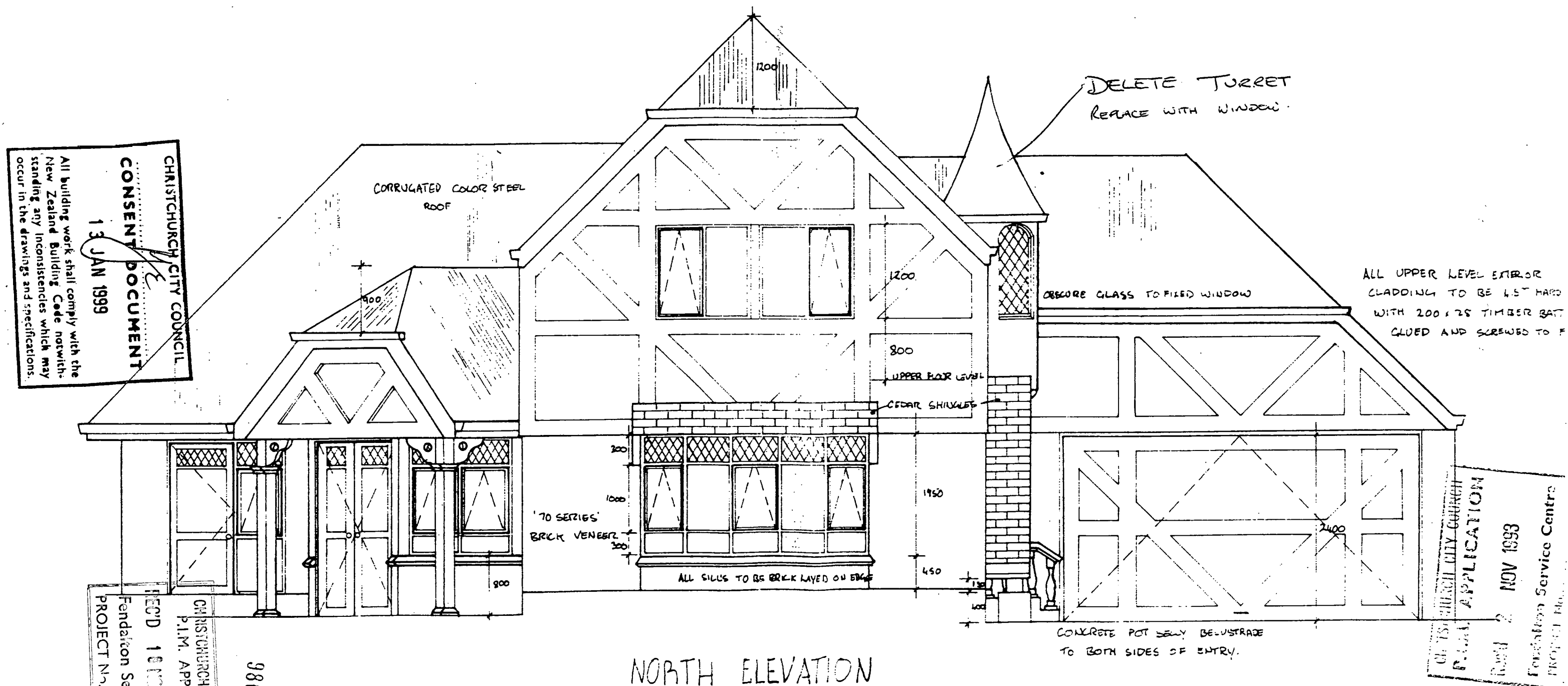
FILE COPY

CHRISTCHURCH CITY COUNCIL
H. Elliott
CONSENT DOCUMENT
13 JAN 1999
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

CHRISTCHURCH CITY COUNCIL
P.L.M. APPLICATION
REC'D 10 JAN 1999
Federation Service Co Ltd
PROJECT No. 9809174



SOUTH ELEVATION



NORTH ELEVATION

SCALE 1:50

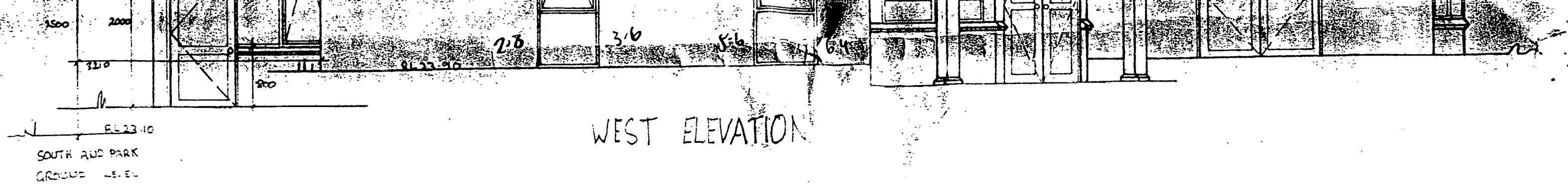
RESIDENCE FOR MR + MRS LASSEN AT 24 LARCH PLACE

CHRISTCHURCH CITY COUNCIL
CONSENT DOCUMENT
13 JAN 1999
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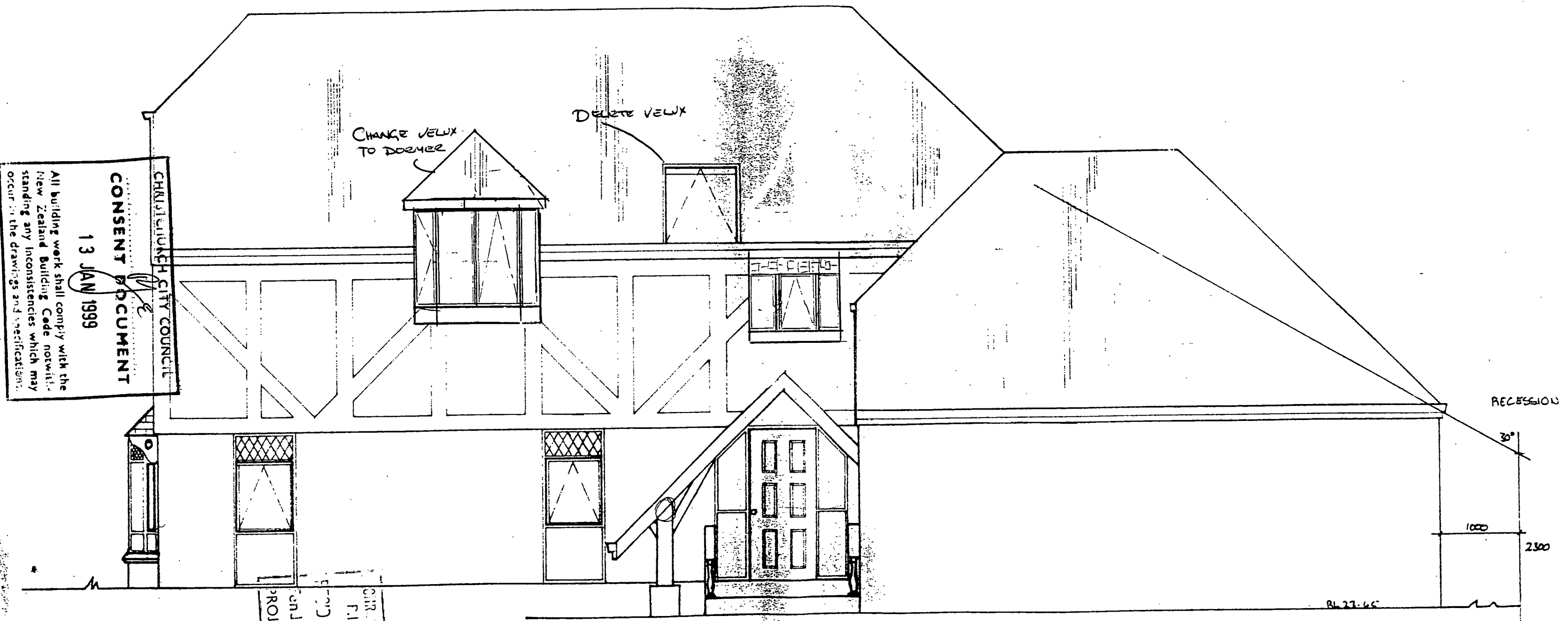
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P.M. APPLICATION
HECD 10 NOV 1993
Federation Service Centre
PROJECT NO.

98009174

CHRISTCHURCH CITY COUNCIL
P.M. APPLICATION
10 NOV 1993
Federation Service Centre
PROJECT NO.



WEST ELEVATION



EAST ELEVATION

SCALE 1:50

CHRISTCHURCH CITY COUNCIL
13 JAN 1999
CONSENT DOCUMENT
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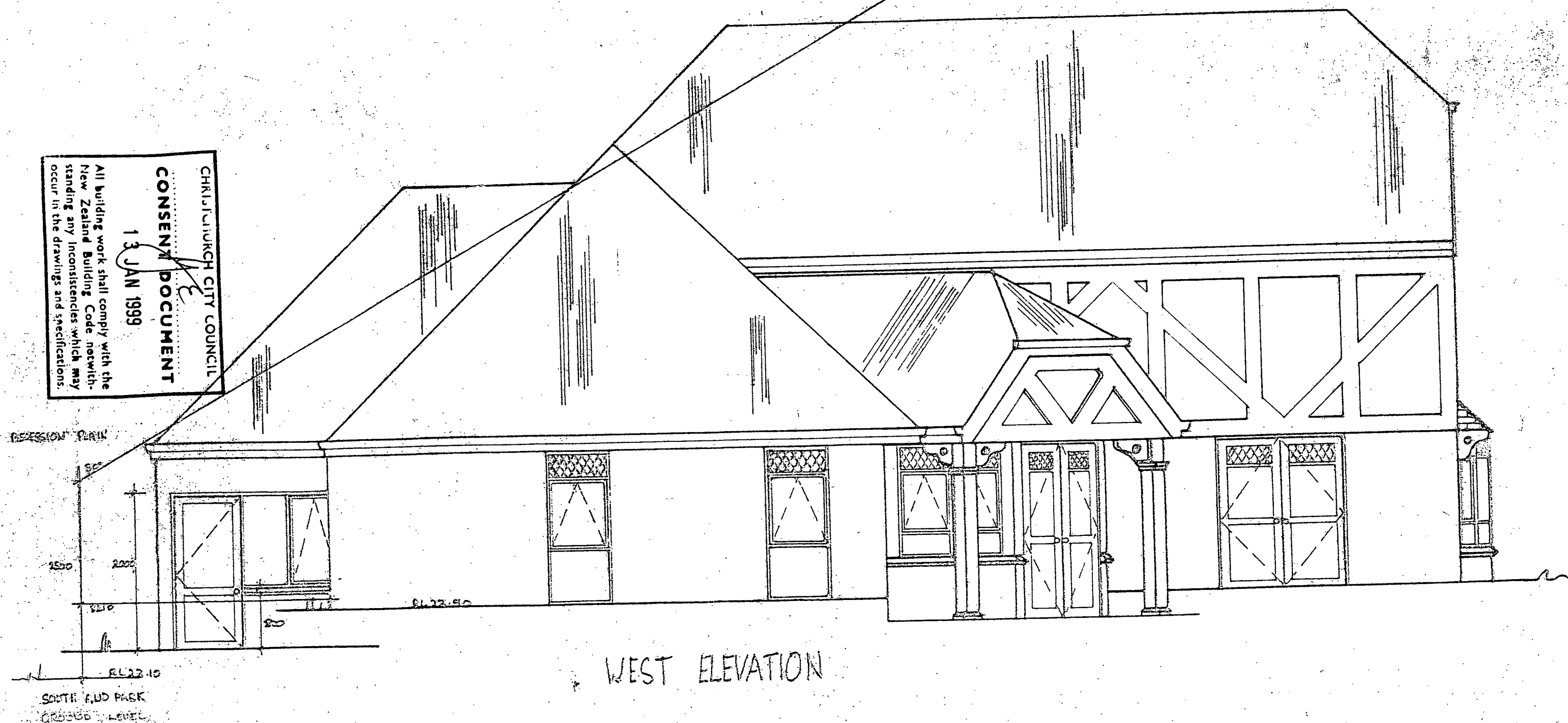
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P.L.M. APPLICATION
PROJECT No. 1000000000
Fendalton Service Centre

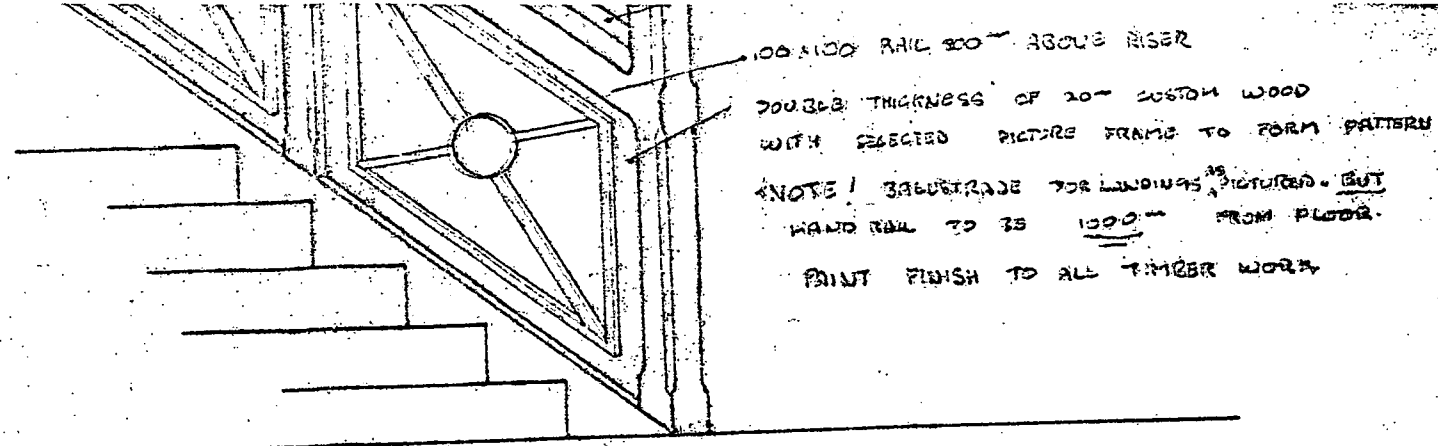
RESIDENCE for MR + MRS LASSEN AT 24 LARCH PLACE

CHRISTCHURCH CITY COUNCIL
P.L.M. APPLICATION
Rec'd 17 JAN 1999
Fendalton Service Centre
PROJECT No. 1000000000

50

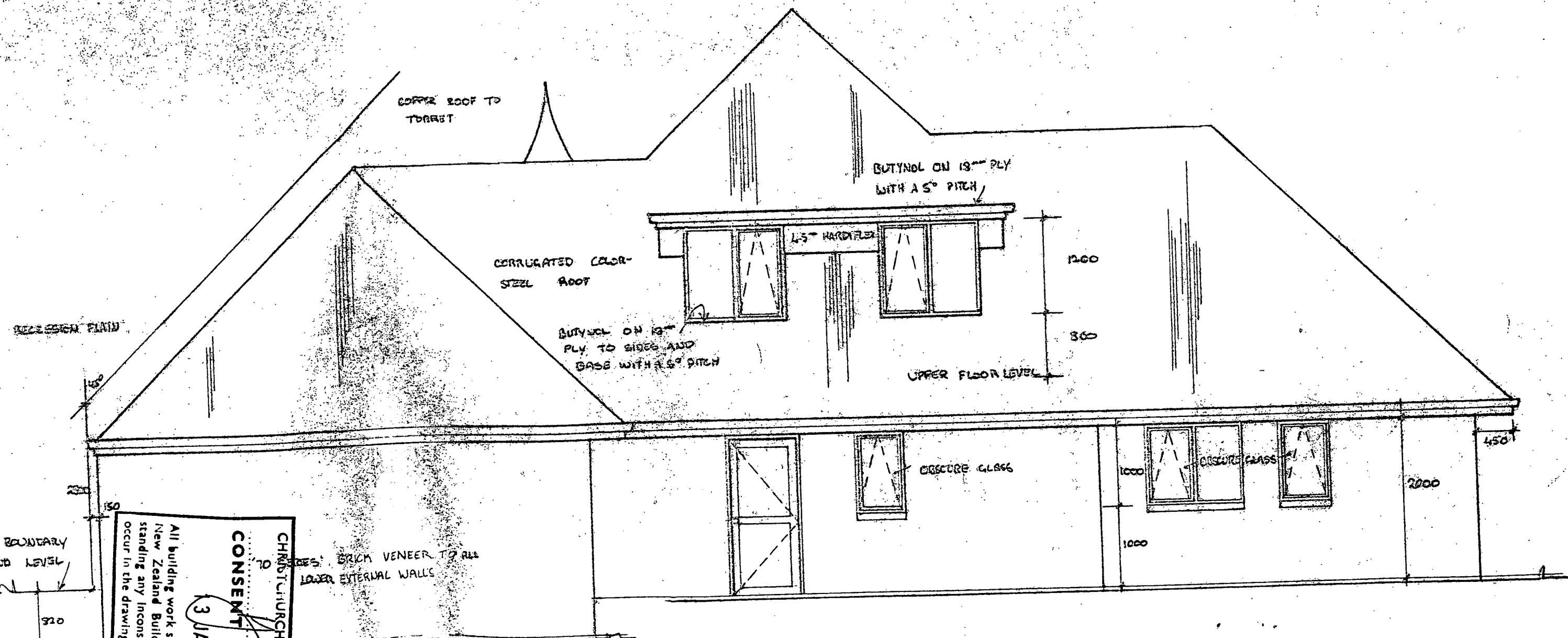
CHRISTCHURCH CITY COUNCIL
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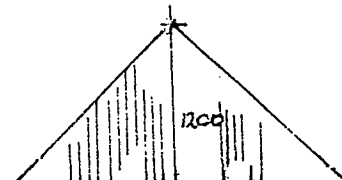
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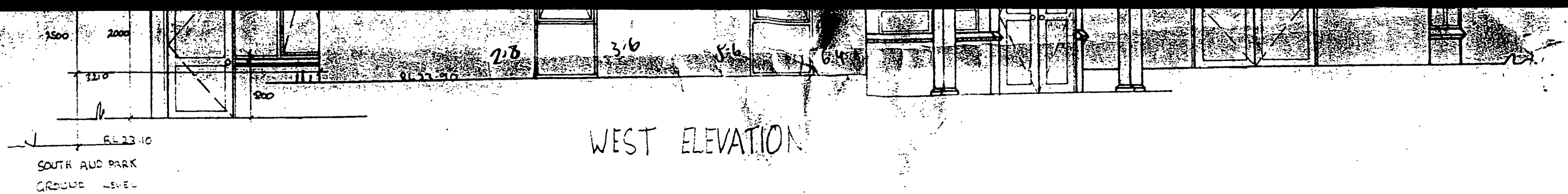
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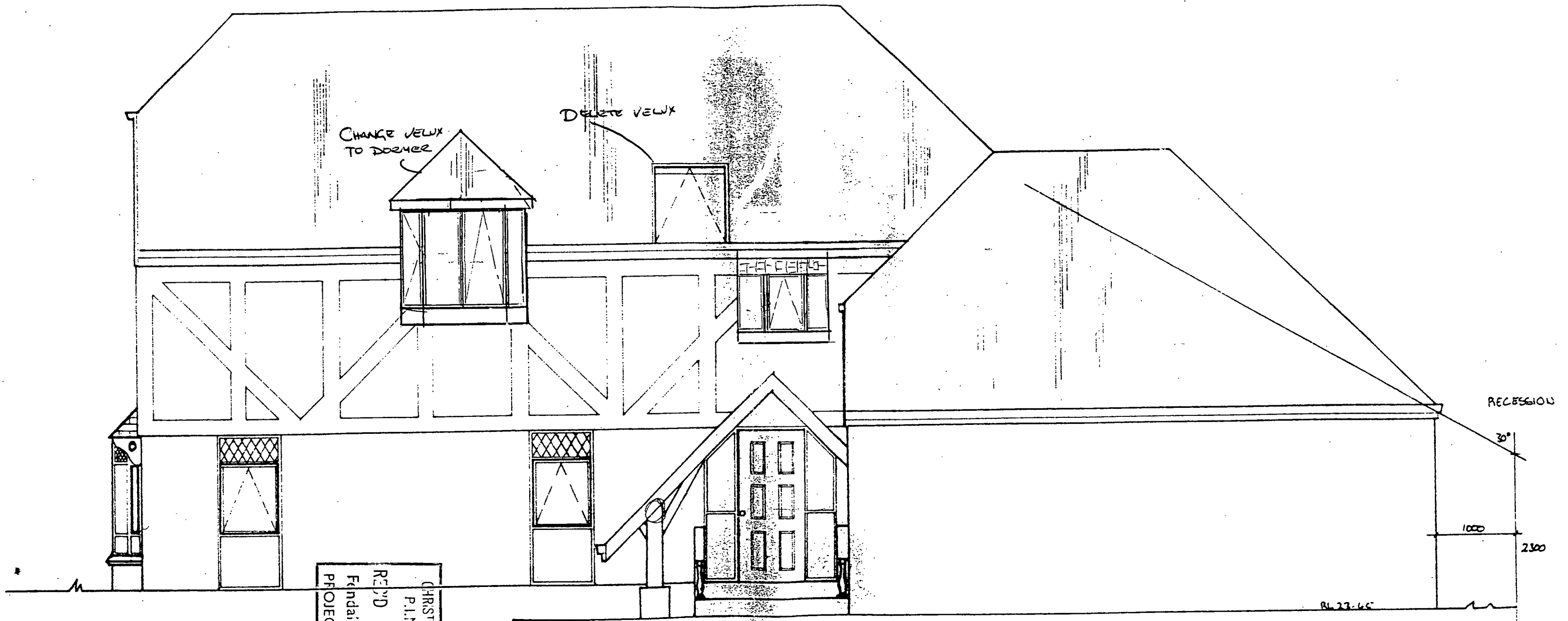
SOUTH ELEVATION

CHRISTCHURCH CITY COUNCIL
3 JAN 1999
CONSENT DOCUMENT
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WEST ELEVATION



EAST ELEVATION

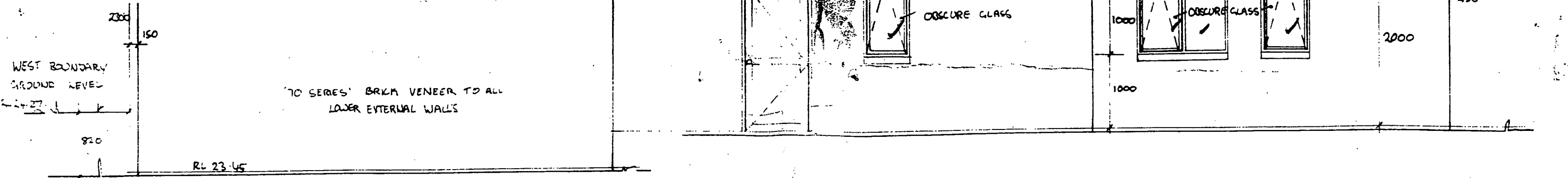
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CHRISTCHURCH CITY COUNCIL
P.L.M. APPLICATION
RECD 18 NOV 2003
Fendalton Service Centre
PROJECT No.

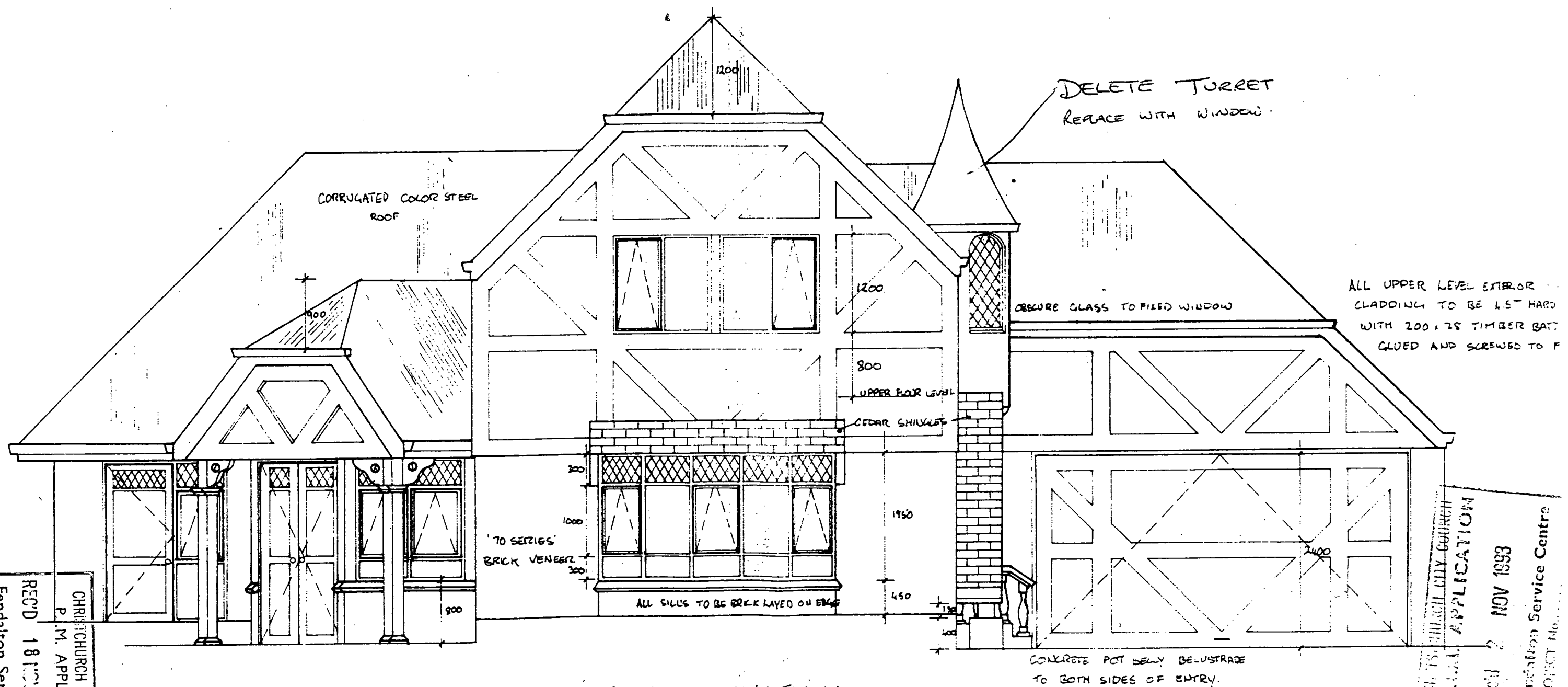
CHRISTCHURCH CITY COUNCIL
P.L.M. APPLICATION
RECD 17 JAN 2004
Fendalton Service Centre
PROJECT No.

RESIDENCE for MR + MRS LASSEN AT 24 LARCH PLACE

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SOUTH ELEVATION



NORTH ELEVATION

SCALE 1:50

CHRISTCHURCH CITY COUNCIL
P.M. APPLICATION
REC'D 18 NOV 2003
Fendalton Service Centre
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RESIDENCE FOR MR & MRS LASSEN AT 24 LARCH PLACE

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