



ARIZTO

Property information prepared for:

Lot 3 112a Hart Road

About us

Welcome to the new era of Smarter Real Estate! We are very excited to have joined Arizto Real Estate which is making waves across New Zealand and now with our launch into the Nelson/Tasman Region. With many years of experience, we have come together collectively with the aim to change the common perspective of the real estate industry by providing a straightforward and professional quality service that locals can trust. It's time for a change and for the better! Let us help you navigate your real estate journey today.





ARIZTO

Notice of Disclaimer

To be read before reading the contents of the Memorandum

This Information Memorandum (the “Memorandum”) is in relation to the advertised property at property at **Lot 3 112a Hart Road** (“the Property”) and has been prepared by Smarter Real Estate (“the Advisors”) for **Rodger Pons** (“the owner”) on the basis of information provided to the Advisors by the Owner. This Memorandum is for use solely by selected parties in considering their interest in making an offer to acquire the property.

This Memorandum has been prepared solely to assist interested parties in deciding whether to express their interest in the assets and then making their own evaluation of the property and its assets. This Memorandum does not purport to contain all information that a prospective purchaser may require. In all cases, interested parties should conduct their own investigation, analysis and verification of the data contained in this Memorandum and the property. Neither the delivery of this Memorandum nor any contractual agreement concluded thereafter shall under any circumstances create any implication that there has been no change in the affairs or prospects of the property since the date of this Memorandum or since the date as at which any information contained in this Memorandum is expressed to be applicable.

The Advisors have not independently verified any of the information contained in this Memorandum. None of the Advisors or Owners make any representation or warranty as to the accuracy or completeness of the information contained in this Memorandum and none of the Advisors or Owners shall have any liability for any statements, opinions, information or matters (express or implied) arising out of, contained in or derived from, or for any omissions from, or failure to correct any information in this Memorandum, or any other written or oral communications transmitted to any recipient of this Memorandum in relation to the property.

Retention of this Memorandum will constitute acceptance by the recipient and readers of these terms and conditions and any recipients who do not accept any of the terms and conditions should return the Memorandum to the Advisors immediately.



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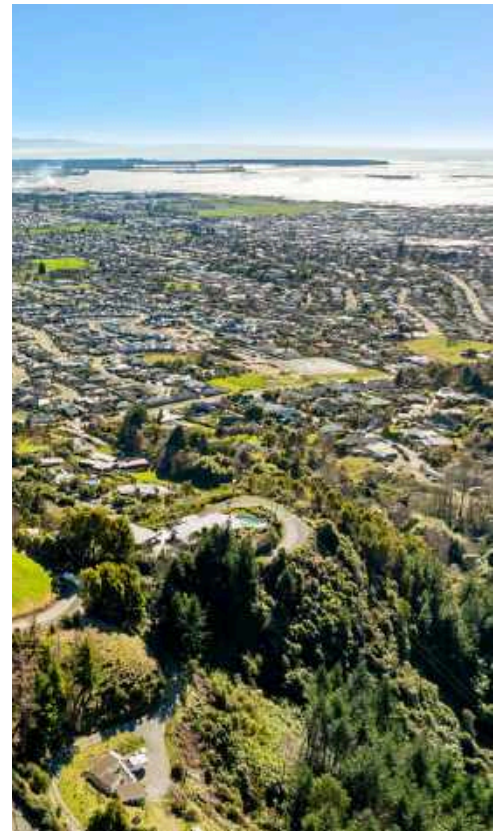
Property Information

Property Address	Lot 3 112a Hart Road
Certificate of Title	TBA
Legal Description	TBA
Zoning	TBA
Capital Value	TBA
Annual Rates	TBA
Size of Land (sqm)	5000m2 approx (Subject to final survey)

Aspect	North / West
Contour	Mixed - Flat, sloping to steep
Waste / Septic	To Be installed by purchaser
Water	To be Installed by purchaser
Power	To the boundary
Internet	To the boundary
Fencing	NA
	Covenants Apply



ARIZTO



Welcome to a once-in-a-lifetime opportunity to secure a magnificent 5,000sqm (approx) section on the picturesque outskirts of Richmond.

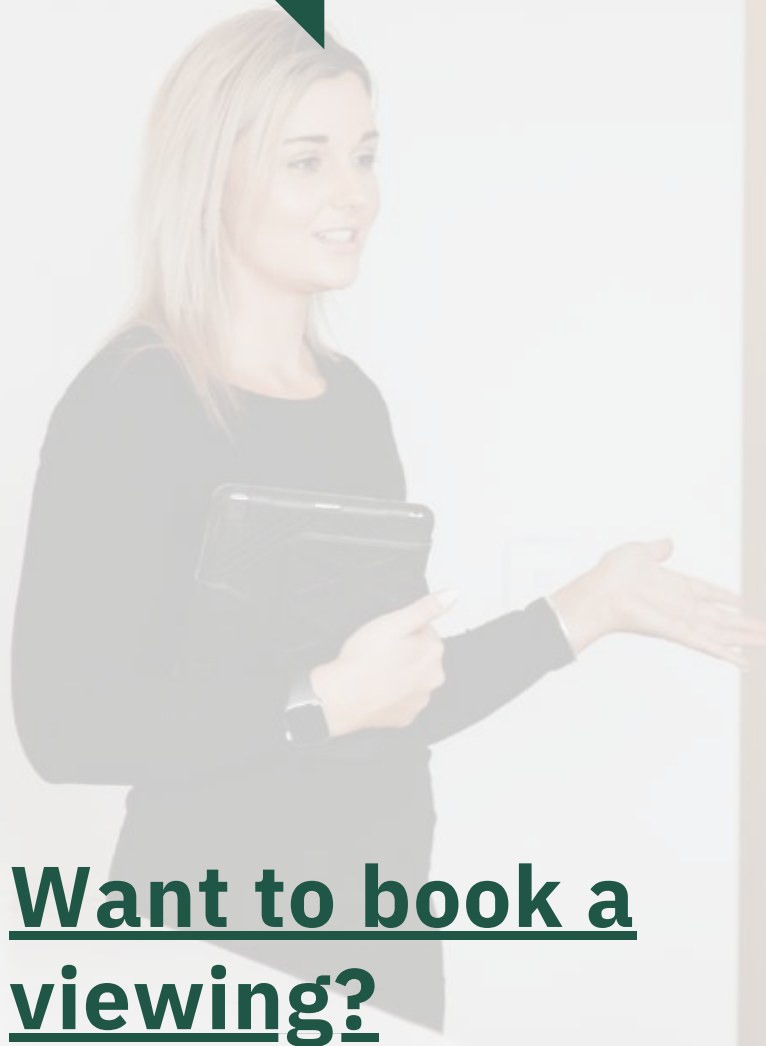
This expansive piece of land offers breath-taking panoramic views that stretch across the serene Tasman Bay, the lush Waimea Plains, and the majestic mountains beyond.

Nestled in a wonderful semi-rural location, it promises peace, tranquility, and the most stunning outlook that changes with the seasons.



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**Priced at:
Offers Over \$747,000**



**Want to book a
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Taylor Mant
Licensed Salesperson

027 625 3533
taylor.m@arizto.co.nz

Arizto Real Estate (Smarter Real Estate) Licensed REAA 2008



RESOURCE CONSENT DECISION

Resource consent number: RM120973

Pursuant to Section 104B of the Resource Management Act 1991 ("the Act"), the Tasman District Council ("the Council") hereby grants resource consent to:

Rodger Leendert Pons

(hereinafter referred to as "the Consent Holder")

Activity authorised by this consent:

Subdivision: To subdivide the land described as Lot 2 DP 420028 (CFR 477199) into three lots with:

- Lot 1 of 0.486 hectares;
- Lot 2 of 0.504 hectares (net area of 0.483 ha plus 0.021 ha access);
- Lot 3 of 0.535 hectares (net area of 0.487 ha plus 0.048 ha access).

Land Use: to authorise a private way access (right of way) that will exceed six users and does not comply with the right of way formation requirements in Rule 16.2.2(a) of the Tasman Resource Management Plan.

Location details:

Address of property: 112A Hart Road, Richmond
Valuation number: 1943046206

Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:

CONDITION OF LAND USE CONSENT RM120973 (RIGHT-OF-WAY)

1. The right-of-way access shall be constructed in accordance with the conditions of subdivision consent RM120973.

CONDITIONS OF SUBDIVISION CONSENT RM120973

General

1. The subdivision and development shall be carried out in accordance with the revised application plan by Cotton & Light titled "Proposed Subdivision of Lot 2 DP 420028"; Job No. R983 dated November 2012 and attached to this consent as **Plan A**.

Easements

2. Easements shall be created over any services located outside the boundaries of the allotments that they serve as easements in gross to the appropriate authority or appurtenant to the appropriate allotment. The survey plan which is submitted for the purposes of Section 223 of the Act shall include reference to easements.



Consent Decision Environment Court



Engineering Plans

3. Engineering plans detailing all works and services shall be submitted to the Council's Engineering Manager and approved prior to the commencement of works on the subdivision. All plans shall be in accordance with the conditions of this subdivision consent, and shall otherwise comply with either the Council's Engineering Standards & Policies 2013 or be specifically approved by the Council's Engineering Manager. The plans shall include all works required by conditions 8 to 11 of this consent.
4. All works shall be completed in accordance with the approved engineering plans prior to the signing of the Section 224 certificate.

Commencement of Works and Inspection

5. The Council's Engineering Manager, or his delegate, shall be contacted at least 5 working days prior to the commencement of any engineering works. In addition, 5 working days' notice shall be given to the Council's Engineering Manager, or his delegate, when soil density testing, pressure testing, beam testing or any other major testing is to be undertaken.
6. No engineering works shall commence until the engineering plans required by Condition 3 has been approved and signed by the Council's Engineering Manager.
7. At the completion of works, the Developer's Professional Advisor shall provide the Council's Engineering Manager with:
 - a) written certification that the works have been constructed in accordance with the conditions of this consent and to the standards required by the engineering plans required by Condition 3;
 - b) written confirmation of servicing required by Condition 13; and
 - c) the updated geotechnical report required by Condition 14.

Advice Note:

Developer's Professional Advisor (DPA) means the person, appointed by the developer being a Registered Professional Surveyor or a Chartered Professional Engineer, who shall be responsible for:

- a) The investigation, design and obtaining of approvals for the works;
- b) Contract administration and oversight of the works;
- c) Certification upon completion of the works;
- d) All communication on such matters with Council.

Rights-of-Way and Access

8. The following improvements to the existing rights-of-way and access to Lots 1 to 3 shall be made:
 - (i) The carrieway of the access right-of-way from Hart Road shall be modified and constructed (as necessary) to improve passing bays 5 - 8 as shown on the plans prepared by Nelson Consulting Engineers Ltd titled "ROW Plans Identifying Passing Bays and Improvements Site Roading Plan" Job No 10325.1 01 and "ROW Plans Identifying Passing Bays and Improvements Typical Cross Sections" Job No 10325.1 02 dated 8 December 2016 and attached to this consent as Plans B and C respectively.
 - ii) The works shown on Plans B and C referred to in 8(i) above require extending passing bay No 7 to chainage 374m, and extending passing bay No 8 from chainage 390m, both of these two passing bays to have a total seal width of 6.0m with trafficable shoulders on the outside edge. For the avoidance of doubt only passing bays 5, 6, 7 and 8 require improvement.
 - iii) Installation of a convex mirror at the most useful point between chainages 360m and 400m to allow drivers to have visibility of oncoming vehicles in both directions.
 - iv) Installation of edge marker posts around the outside of the bend between chainages 370m and 390m.





Resource Consent

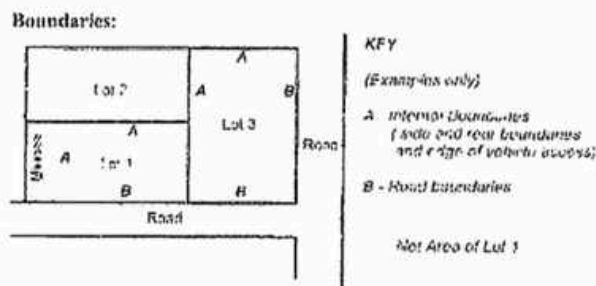
- v) Removal of vegetation within the right-of-way easement area, below the Tunley residence to aid sight visibility through this section of the ROW.
- vi) Extension of the existing retaining wall to the satisfaction of a suitably qualified geotechnical engineer to arrest the localised slumping occurring on the uphill cut face at the Hart Road right-of-way entrance crossing.
- vii) Seal widening at both the uphill and downhill approach to the Hart Road entrance crossing - 500mm wide over 15m for each approach.
- viii) Installation of a convex mirror on the northern-most post of the existing retaining wall to allow drivers to have visibility of on-coming vehicles at the Hart Road right-of way entrance crossing.
- ix) A 3.5m wide metalled access to the Lot 1 Building Site Area as shown on the Nelson Consulting Engineers Plan No 10325.1 dated 27 October 2012 shall be also shown on the Engineering plans. The gradient of the access shall be no more than 1 in 6, or otherwise meet the requirements of the Tasman District Council Engineering Standards and Policies current at the date this consent was granted.
- x) Sealing of the existing metalled entrance to the Lot 3 building site, with the sealing extending to the current farm gate.
- xi) Installation of "Passing Bay" signs at the downhill and uphill end of each of passing bays 4 – 8 as shown on Plan B.

Stormwater

- 9. The Consent Holder shall install protection from erosion at the outlet of culvert F as shown on the "Geotechnical and Civil Engineering Plan" prepared by Nelson Consulting Engineers Limited – 27 October 2012.
- 10. The Consent Holder shall provide an appropriate stormwater system to collect and convey stormwater from the internal boundaries to the two existing culverts discharging to the southern catchment. Both outlets from the culverts are to be made fit-for-purpose so that they are adequately armoured or otherwise protected from scour.

Advice notes:

For the purpose of this consent "internal boundaries" shall mean the same as described in the diagram below, reproduced from page 2/6 TRMP.



There are two existing culverts, culvert F and a second culvert opposite the vehicle entrance for the dwelling on Lot 2 DP 441194. The consent holder is required to ensure both outlets from the culvert are fit-for-purpose.

Wastewater

- 11. The Consent Holder shall provide prior to the issue of a Section 224 Certificate an updated assessment report from a suitably qualified engineer including dimensioned plans identifying and confirming that each of the proposed allotments 1-3 have sufficient suitable areas for on-site waste water disposal in accordance with AS/NZS 1547:2012, and that each lot is suitable for on-site wastewater disposal; and include the following:





- i) The assessment shall be in accord with all of the requirements listed in Condition 12 of this consent, and shall set out any additional recommended conditions to ensure sustainable operation of waste treatment and disposal systems on Lots 1-3.
- ii) The assessor shall collaborate with the geotechnical assessment required to confirm building site stability in terms of Condition 14 of this consent.
- iii) The report shall include revised plans for the areas identified as Wastewater Disposal Areas on the "Building Site and Effluent Disposal Site Plan" prepared by Nelson Consulting Engineers Limited dated 27 October 2012 and the plan "Planting for Slope Stability in the Nelson City – Richmond Area" prepared by Nelson Consulting Engineers Limited and undated that were supplied with the consent application;
- iv) Subject to the revised assessment, the Wastewater Disposal Area on proposed Lot 2 is expected to increase in size, extending into part of the existing building platform as shown on the plans referenced in 11(iii) above.
- v) The date of certification shall be no more than 6 months old at the time of the signing of the Sec 224 certificate for this subdivision.

Conditions recommended in accordance with 11(i) above shall be registered as consent notice conditions on the relevant allotments.

12. The following requirements shall apply specifically to wastewater disposal on lots 1-3:
- (i) All waste water shall be treated to a secondary level, prior to disposal via dosed sub-surface irrigation fields.
 - (ii) Certification is required from a chartered professional engineer practising in geotechnical engineering that the land proposed for effluent disposal is and will continue to be stable or can be made stable with the proposed land application system installed.
 - (iii) All effluent field laterals which run across slopes exceeding 15 degrees are to be installed by hand and mechanical excavation of these trenches shall not occur.
 - (iv) Mulch shall be applied to all land application slopes before discharge into the system, such mulch to be protected with bird netting and once applied shall be maintained.
 - (v) Following development, all remaining land located near to any of the land application areas, shall be either contoured to direct surface water away from the land application areas, or a cut off drain to achieve such diversion installed.
 - (vi) All land application areas shall also be protected from vehicles and grazing animals to ensure that the soil structure is not detrimentally affected and infiltration laterals are not damaged.
 - (vii) All dwellings constructed on the proposed three lots shall be designed and constructed with full water-use reduction plumbing fixtures and fittings.
 - (viii) The effluent disposal system shall be the subject of a maintenance contract with a service agent to the satisfaction of the Manager, Resource Management and Planning, and be subject to a maintenance programme requiring 6 monthly service of the system, the results of which shall be supplied to Council within 2 weeks of the maintenance service being done. This maintenance shall address the treatment system, cut off drains, the disposal field, planting, mulching and condition of the topsoil, and in particular shall also review plant health by the removal of dead foliage, replacement of any plants that have died and the cutting back of grasses in springtime to encourage new growth.

These requirements (i) to (viii) shall be registered as consent notice conditions for Lots 1-3.

- 13 The Consent Holder shall plant prior to the issue of the Section 224 certificate the areas identified as Wastewater Disposal Areas on the revised plans required by Condition 11 of this consent.

Earthworks

14. All earthworks shall comply with the scope and requirements the earthworks consent RM120978 including the Sediment and Erosion Control Plan required under condition 3 of consent RM120978.





Building Site Stability and Suitability for Wastewater Disposal

15. The Consent Holder shall provide prior to the issue of a Section 224 Certificate an updated geotechnical report from a chartered professional geotechnical engineer including dimensioned plans identifying and confirming that each building site area is suitable for residential buildings, particularly in relation to any cuts, fills, or batters, and identifying adequate areas for positioning retention tanks.
- The certification for residential development shall be in accordance with NZS 4404:2010 Schedule 2A.
 - Where fill material has been placed on any part of the building site area, a certificate shall be provided by suitably qualified Chartered Professional Engineer, certifying that filling has been placed and compacted in accordance with NZS 4431:1989.
 - The assessor shall collaborate with the suitability assessment for on-site wastewater disposal required by Condition 11 on this consent.
 - The date of certification shall be no more than 6 months old at the time of the signing of the Sec 224 certificate for this subdivision.

Development conditions recommended in accordance with this condition shall be registered as consent notice conditions on the relevant allotments.

Power and Telephone

16. Each allotment shall be serviced with underground power and telephone connections to the boundary of the lots. Written confirmation of servicing shall be provided to Council by the relevant utility provision prior to application for 224(c) certificate for each stage. All power and telephone reticulation in the subdivision shall be underground.

Financial Contributions

17. The Consent Holder shall pay a financial contribution for reserves and community services in accordance with following:
- The amount of the contribution shall be 5.62 per cent of the total market value of a 2,500 square metre notional building area (at the time subdivision consent is granted) within the allotment.
 - A financial contribution is payable on two allotments. A credit has been given for the existing title that currently makes up the property.
 - The Consent Holder shall request in writing to the Council's Consent Administration Officer (Subdivision) that the valuation be undertaken. Upon receipt of the written request the valuation shall be undertaken by the Council's valuation provider at the Council's cost;
 - If payment of the financial contribution is not made within two years of the granting of the resource consent, a new valuation shall be obtained in accordance with (b) above, with the exception that the cost of the new valuation shall be paid by the Consent Holder, and the 5.62 per cent contribution shall be recalculated on the current market valuation. Payment shall be made within two years of any new valuation.

Advice Note:

A copy of the valuation together with an assessment of the financial contribution will be provided by the Council to the Consent Holder.

Consent Notices

18. The following consent notices shall be registered on the certificates of title for lots 1-3, pursuant to Section 221 of the Resource Management Act. The consent notices shall be prepared by the Consent Holder and submitted to the Council for approval and signing. All costs associated with approval and registration of the consent notices shall be paid by the Consent Holder.
- All of the matters listed in Condition 12 of this consent relating to on-site wastewater treatment and disposal.
 - All other recommended conditions from the on-site wastewater suitability report provided in accordance with Condition 11 of this consent.





- (c) The construction of all buildings shall be within the Building Areas shown on the geotechnical report provided in accordance with condition 14 of this consent.
- (d) All other recommended conditions from the geotechnical report required under condition 14 of this consent.
- (e) The owner shall comply with all conditions of the respective stormwater discharge permit:
Lot 1 RM120974
Lot 2 RM120975
Lot 3 RM120976

Each discharge permit authorising the discharge of stormwater to each of the lots should be transferred to new owners when the ownership of each lot changes. Discharge permits do not "attach to the land" and as such should be transferred to subsequent owners as there are ongoing consent requirements that need to be met.

Advice Note:

The existing consent notice (8414651.10) on CT477199 shall be extinguished at the time of the registration of the new consent notices.

ADVICE NOTES

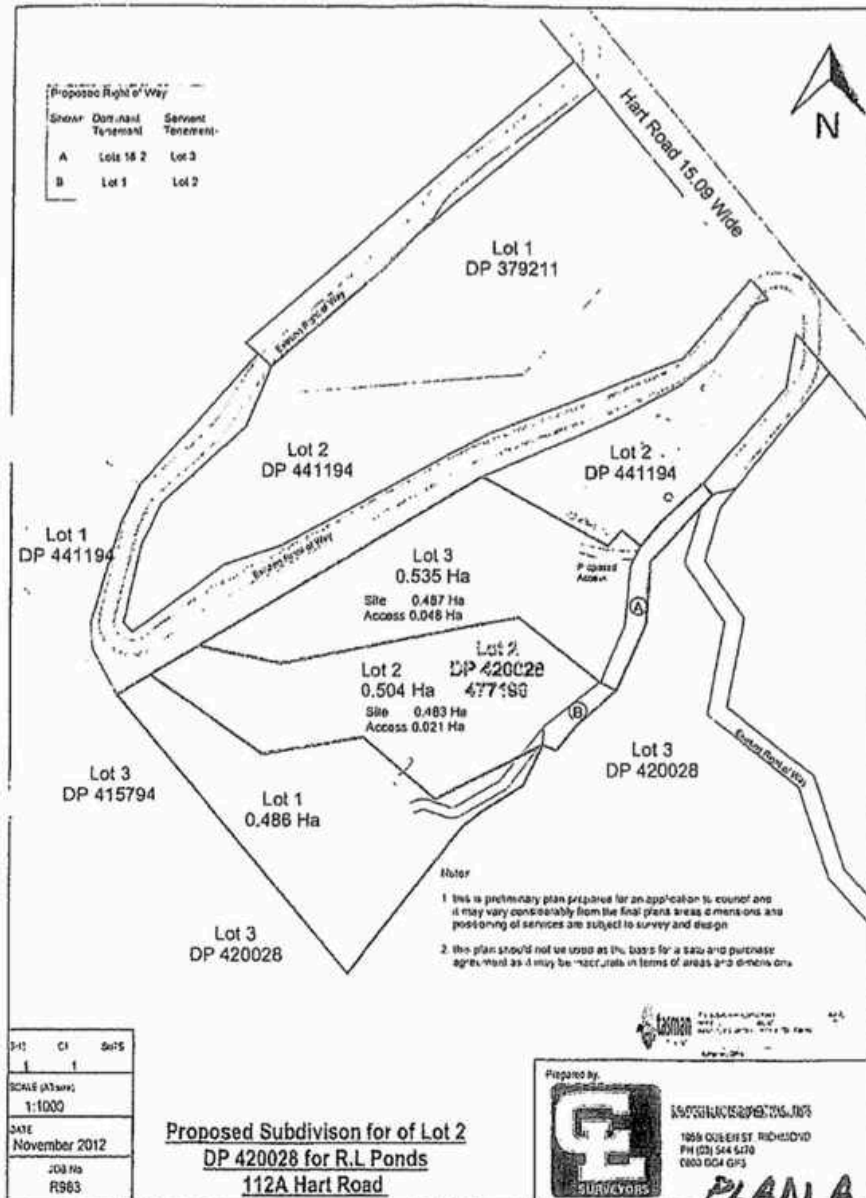
1. Council will not issue the Section 224(c) certificate in relation to the stages in this subdivision until all development contributions payable for each stage have been paid in accordance with Council's Development Contributions Policy under the Local Government Act 2002. Development Contributions will be payable on 2 allotments in respect of roading and stormwater.
2. The Development Contributions Policy is found in the Long Term Council Community Plan (LTCCP) and the amount to be paid will be in accordance with the requirements that are current at the time the relevant development contribution is paid for each stage.
3. All consent notices shall be prepared by a solicitor and the cost met by the Consent Holder.





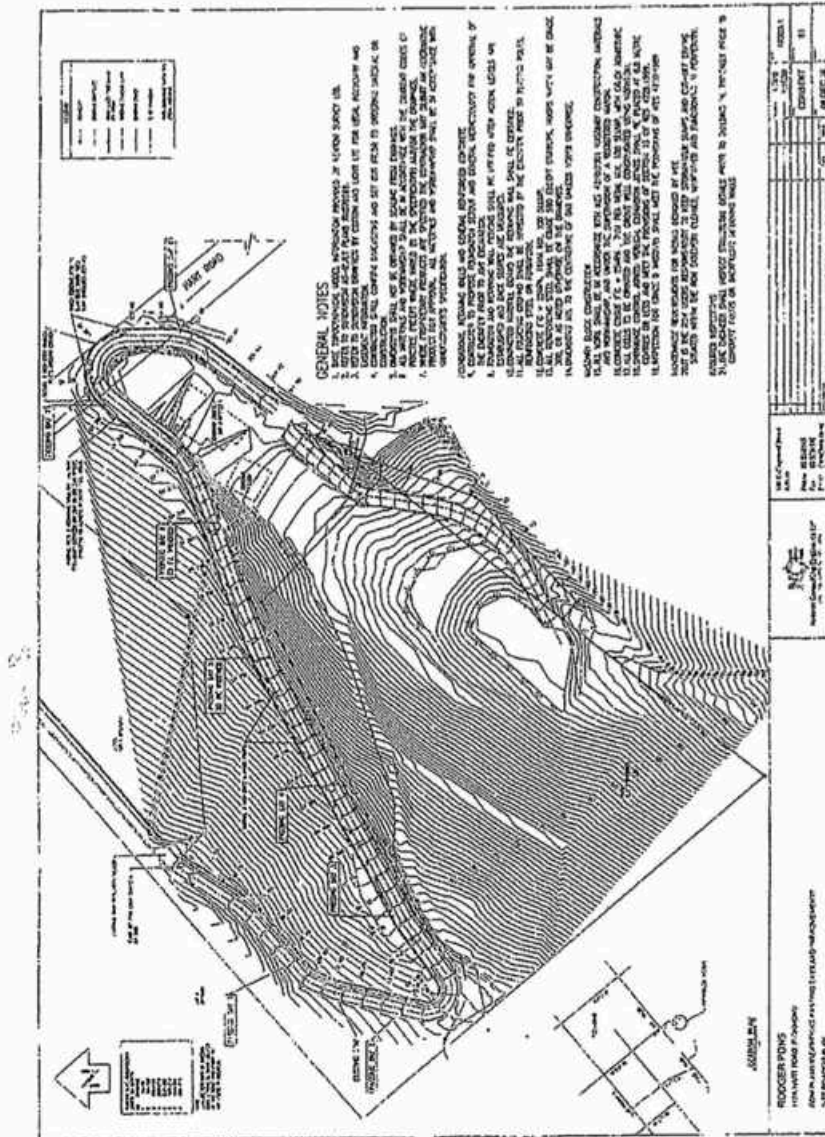
Resource Consent

Plan A:
 Cotton & Light "Proposed Subdivision of Lot 2 DP 420028"; Job No. R983 dated November 2012



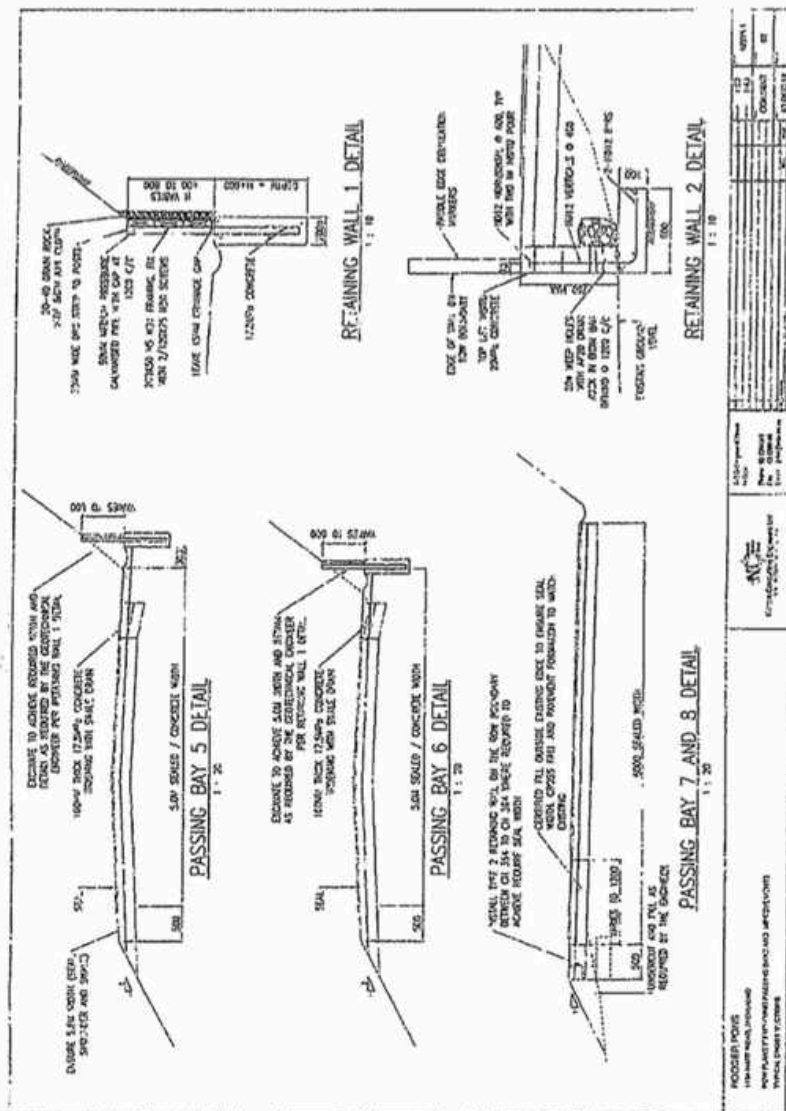


Plan B:
 Nelson Consulting Engineers "ROW Plans Identifying Passing Bays and Improvements Site Roading Plan" Job No 10325.1 01 dated 8 December 2016





Plan C:
Nelson Consulting Engineers "ROW Plans Identifying Passing Bays and Improvements Typical Cross Sections" Job No 10325.1 02 dated 8 December 2016





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