

## APPLICATION FOR BUILDING PERMIT

Wanganui City Council

Date: 19/1/83

THE CITY ENGINEER,

DEAR SIR,

I hereby apply for a Building Permit to erect/demolish outbuilding

according to site plan and detailed plans, elevation, cross sections and specifications of building deposited herewith, in duplicate.

## OWNER

Name MR REA  
Address 9 DURHAM RD  
WANGANUI  
Phone \_\_\_\_\_

## BUILDER

Name F. KERR  
Mailing Address R.D. 4  
WANGANUI Ph: 57686  
PLUMBER \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Ph: \_\_\_\_\_

## PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

## SITE

Street No 9  
Street Name DURHAM RD  
Town / District WANGANUI

## LEGAL DESCRIPTION

Valuation Roll No 13140/513  
Lot 2 D.P. 8906  
Section \_\_\_\_\_ Block \_\_\_\_\_  
Survey District \_\_\_\_\_

## DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT DOMESTIC ~~SEMI~~ GARAGE

## FLOOR AREA

## DWELLING UNITS

Whole Sq. Metres 43.2 Number Erected \_\_\_\_\_

## ESTIMATED

## VALUES

\$

Building

2529 00

Plumb &amp; Drain (Labour)

TOTAL

2529 00

## NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING  
-include dwelling added, exclude domestic garages
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED  
-include conversions and domestic garages
- ☐ NEW CONSTRUCTION  
OTHER THAN BUILDINGS  
-include demolitions

## FEES APPLICABLE

BUILDING PERMIT ..... \$ 25.00  
PLUMBING PERMIT (NO. ....) \$ \_\_\_\_\_  
PREPAID CROSSING ..... EXST \$ \_\_\_\_\_  
PREPAID SEWER CONNECTION \$ \_\_\_\_\_  
PREPAID WATER CONNECTION \$ \_\_\_\_\_  
STORMWATER CONNECTION ..... AT COST  
BUILDERS DEPOSIT ..... \$ \_\_\_\_\_  
TOTAL COUNCIL FEES... \$ 25.00  
BUILDING RESEARCH LEVY..... \$ \_\_\_\_\_  
TOTAL FEES... \$ 25.00

RCPT. 33401  
RCPT. \_\_\_\_\_  
P.W.R. 33657  
P.W.R. \_\_\_\_\_  
P.W.R. \_\_\_\_\_  
P.W.R. \_\_\_\_\_  
RCPT. \_\_\_\_\_  
RCPT. \_\_\_\_\_

## COMMERCIAL BUILDINGS

IF VALUED AT MORE THAN \$60,000 :

Estimated Commencing Date .....  
Completion .....  
Building Projects Authority No. ....  
Predominant Activity of owner : .....

APPLICANTS SIGNATURE : F. Kerr

PERMIT MAY BE ISSUED SUBJECT TO THE FOLLOWING CONDITIONS :

13140/513

9 DUCHAM RD

LOT 2 D.P. 8906

M.M. MEADS

# BUILDING PERMIT CHECK LIST

Property Reference: 9 Durham Rd.

Type of Building: Garage

Net Site Area

672 m<sup>2</sup>

Zoning

R2

Reserves

REQUIREMENTS		REQUIRED	PROVIDED	O.K.
1.	Coverage	235 m <sup>2</sup>	173.9 m <sup>2</sup>	✓
2.	Density			—
3.	Height			
4.	Front yard (including beautification)			—
5.	Side yards		< 7.5 m	✓
6.	Rear yards		< 7.5 m	✓
7.	Outdoor living space			
8.	Storage area			
9.	Service area			
10.	Car spaces			✓
11.	Vehicular access	3m min	4.5 m	✓
12.	Loading Bay/Crossings/ Distance from intersection			—
13.	Trees/Historic Places			—
14.	Proposed road/service lane			—
15.	Road widening & BLR			—
16.	Easements/Site Dimensions			—
17.	Floor area ratio			
18.	View Protection Plane			
19.	Sunlight Protection Plane			
20.	Services			

Design Approval Required Yes/No

Date:.....

Dispensation Required in Respect of Nos:.....

Dispensation Approved/Declined

Lot No. 2 D.P. 8906 Sec: \_\_\_\_\_  
Locality: 9 Durham Co

Not Applicable	Satisfactory Provision Made	Date	Amount of Fee Where Applicable
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- APPROVED TOWN PLANNER:

Permit may be issued subject to the following conditions:

[illegible]

GENERAL REMARKS

BUILDING INSPECTOR:

HEALTH INSPECTOR:

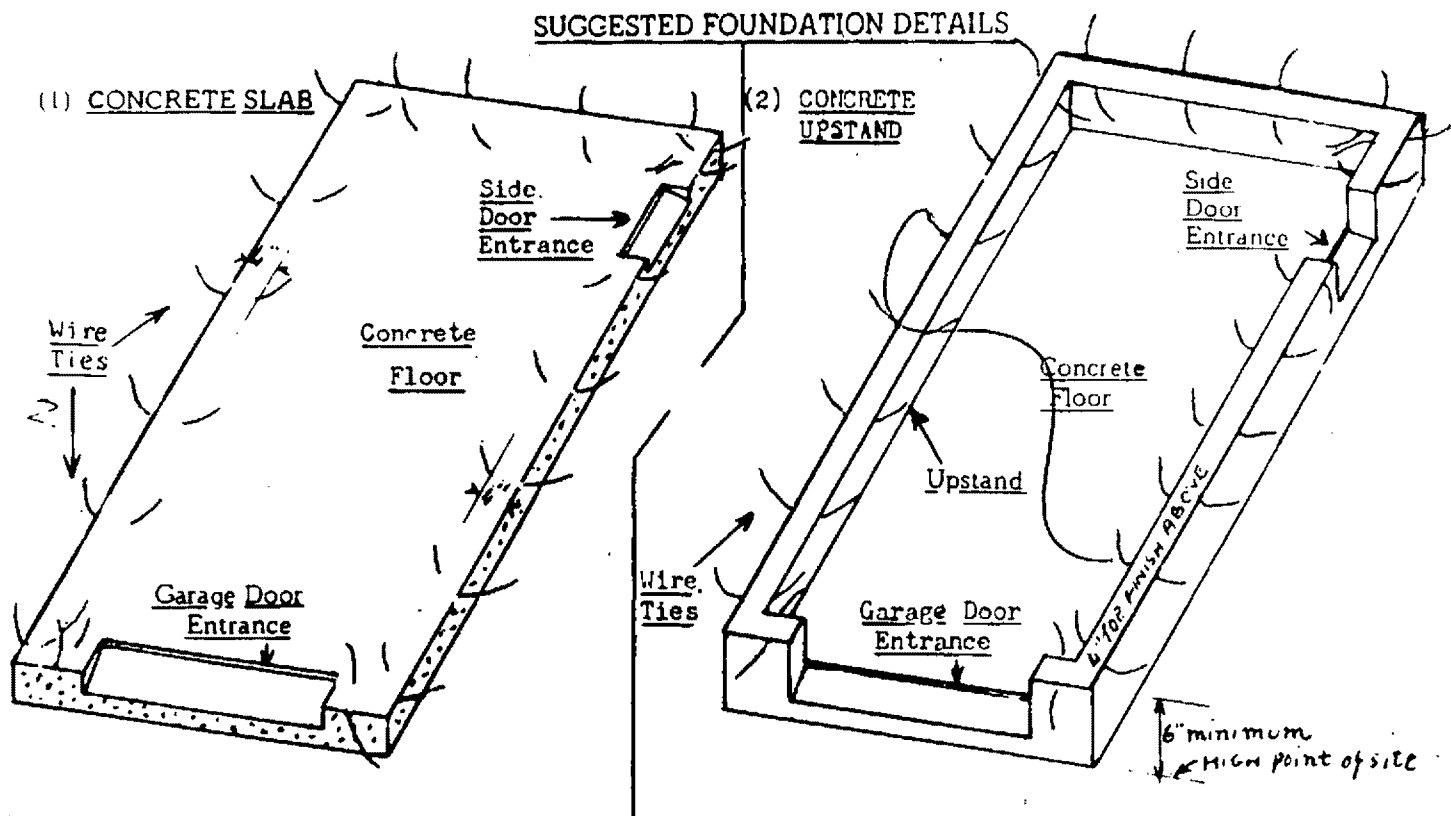
DRAINAGE ENGINEER:

WATER ENGINEER:

DESIGN ENGINEER:

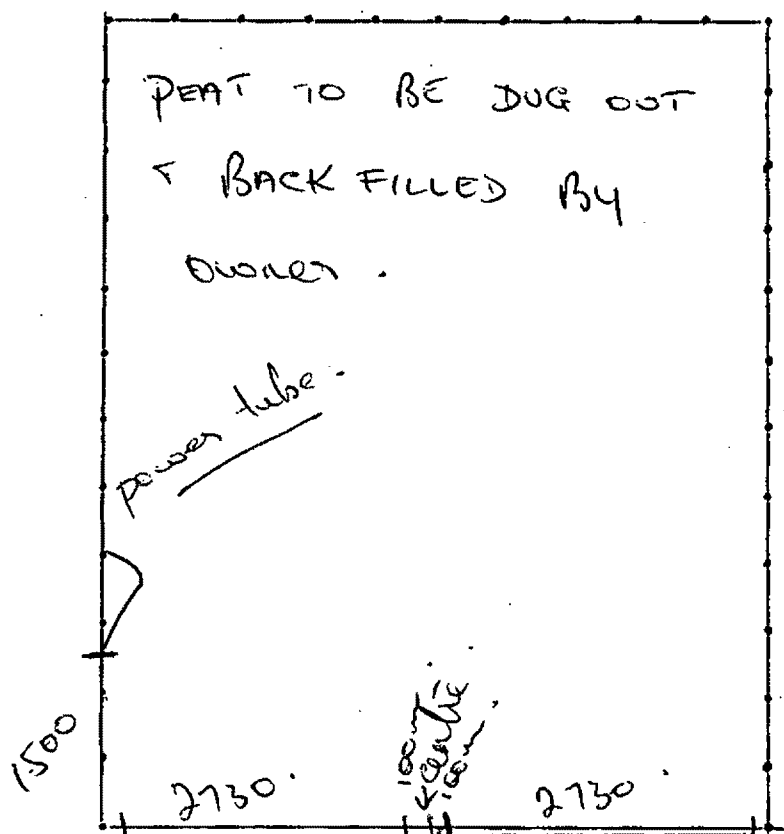
TOWN PLANNING:

# SUGGESTED FOUNDATION DETAILS



## (3) FLOOR PLAN

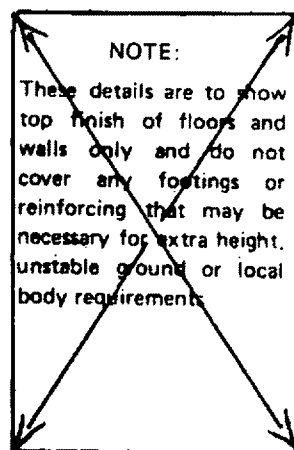
600



## (4) FLOOR SLAB OR BASE WALL

### MUST

- NOT EXCEED EXTERNAL MEASUREMENTS as Weatherboards come down over concrete.
- MUST BE SQUARE (Providing that side measurements are correct. diagonal measurements should be equal viz.



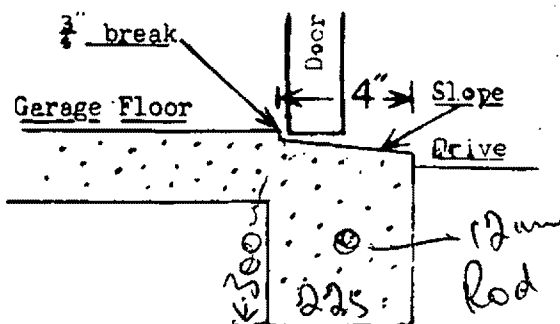
- Edges of floor or top of base wall MUST BE LEVEL. If concrete is not level, bottom plates must be packed up, as the building must be built level.
- Wire ties: Position No 8 gauge WIRE TIES, at approximately 4'0" centres, and 3" each side of all door openings.

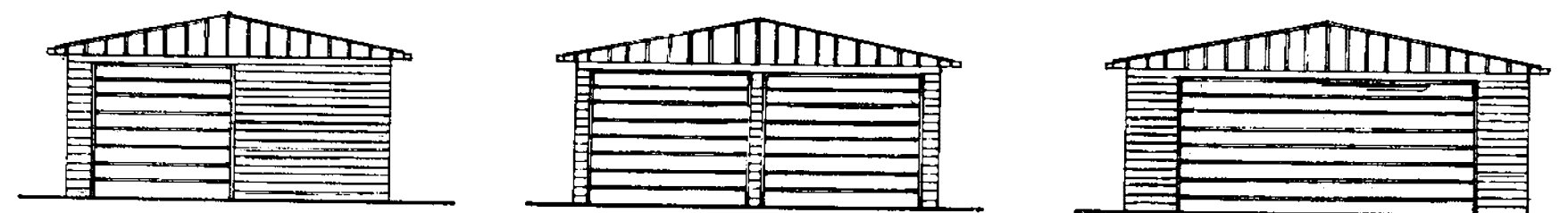
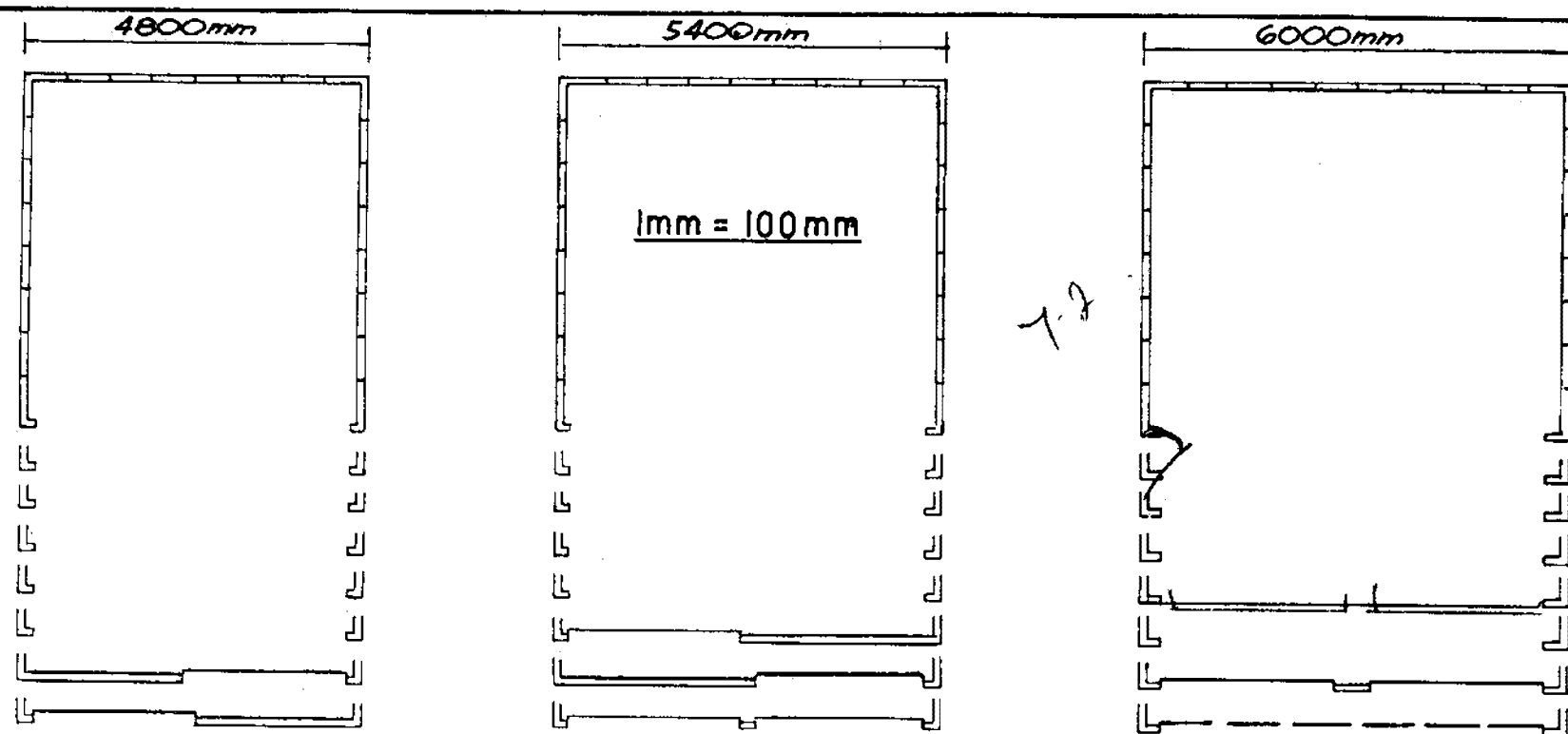
(5) DOOR SILLS (Shaded above) A slope should be provided under doors to drain out the rain that collects on the doors and drips off the bottom edge. Sills may be formed with trowel or float before the concrete sets.

(6) You are advised not to do any work on this until permit has been cleared by council.

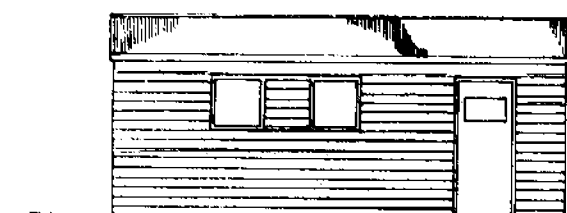
COPYRIGHT SKYLINE BUILDINGS LTD.

ACC/SK 57MET.

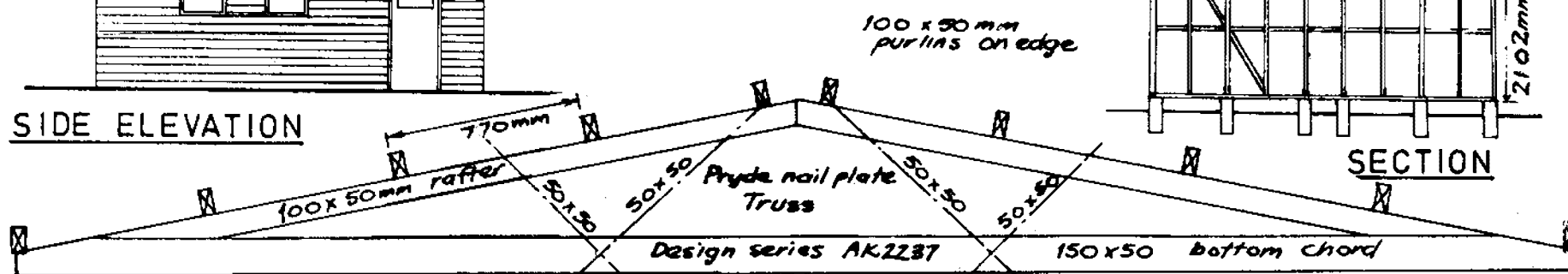




ELEVATION



SIDE ELEVATION



SCALE 1m = 25m

### Detail of 6000mm span truss

Trusses for 5400mm & 4800mm are similar, but reduced. 6000mm & 5400mm have stiffeners of 100 x 50mm. 4800mm has 50 x 50mm. When 4500mm doors are fitted in double garages, the gable end is formed with a similar truss and completely metal lined.

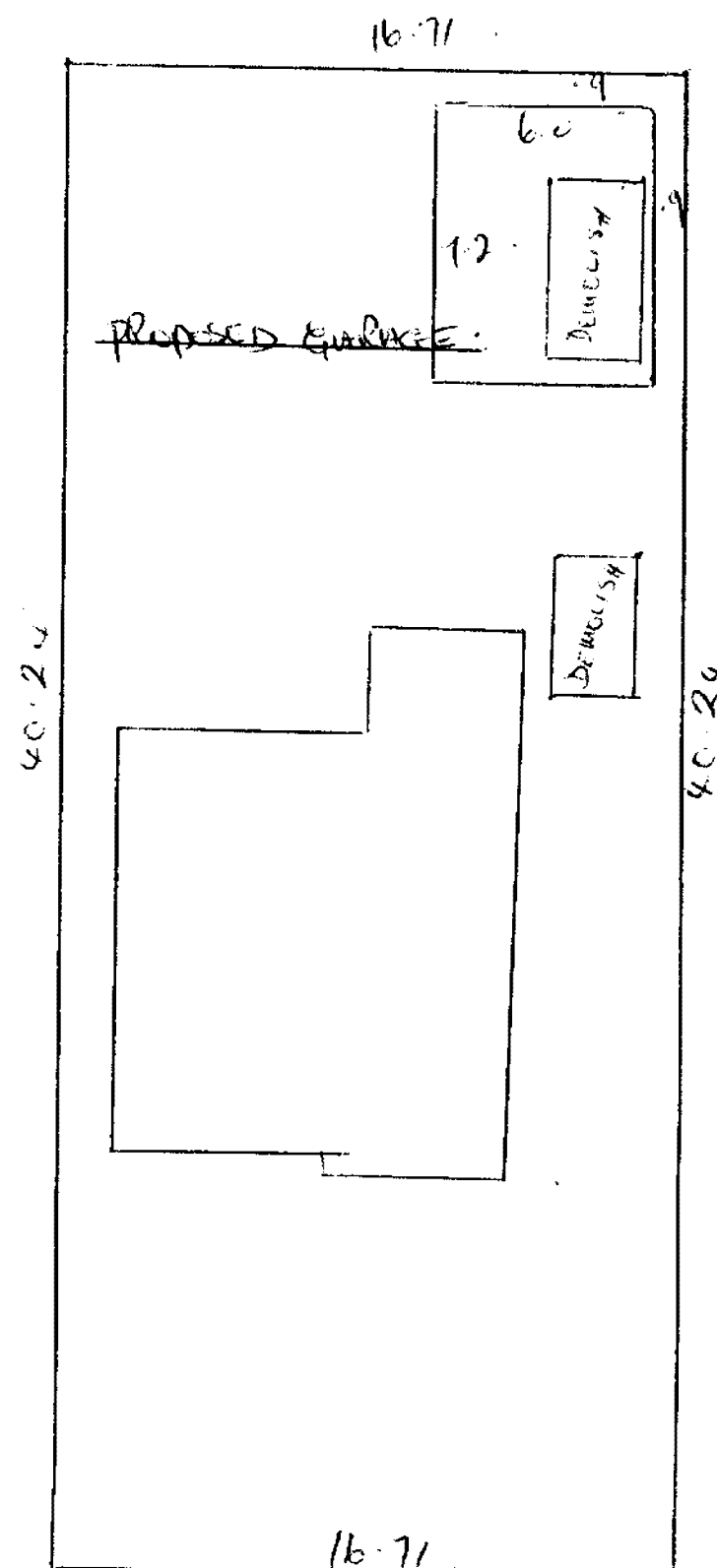
- SPECIFICATIONS:**
- Foundations:** 200 x 150mm concrete piles at 1200mm & 600mm centres under studs or continuous concrete dwarf walls or complete floors.
  - Dampcourse:** 2 ply d.p.c. under all plates.
  - Framing:** All timber is boron treated machine gauged radiata. All framing is housed i.e. studs checked into plates & nogs checked into studs. Studs at 600mm centres top and bottom plates and nogs - 100 x 50mm.
  - Wall Braces:** 75 x 50mm cut on edge.
  - Door Beams:** Minimum 150 x 50mm with minimum of 13mm check in at each end.
  - Roof trusses and purlins:** as per detail drawing placed over studs at 1800mm and 2400mm centres to suit.
  - Dragon ties:** 75 x 50mm at 45° over top plate to each corner.

**Roofing:** 26g. galv. corr. iron single sheets. **Ridging:** 26g. galv. lead edged. **Walls:** 26g. galv. metal weatherboards. **Spouting:** 24g. galv. iron gutters fixed ea. side. **Downpipes:** 75 x 50mm galv. iron. **Doors:** 24g. or 26g. metal doors on overhead gear or galv. roller doors.

GARAGE, SHED at 9 DURHAM RY. for MR REA.

## SKYLINE GARAGES

manufactured by Skyline Buildings Ltd.



STORMWATER TO BE  
DISPOSED OF

IN ACCORDANCE WITH  
PLUMBING & DRAINAGE  
REGS.

SITE PLAN 1mm = 200mm.

WANGANUI CITY COUNCILBUILDING PERMIT

9 DURHAM ROAD

Lot

2

D.P.

8906

Section

Blk.

Owner:

MR REA

Footway No.:

Builder:

I.D. KERR

Valuation No.: 13140/513

Type of Work:

ERECT DOMESTIC GARAGE

Permit No.:

A 74494

Value:

\$2529

INSPECTIONS

Date:

28.1.83

DATE

10.9.83

Not Started.

10.4.83

Completed.